



ARCHITECTURAL & PRELIMINARY SITE PLAN REVIEW BOARD

FRANK J. CHIARA – VILLAGE TRUSTEE LIAISON

TIMOTHY T. TWEEDY, P.E. – CHAIRMAN

JOHN LOCKWOOD

ANTHONY KRUYNSKI

ROGER KUEHNLENZ

TOM KUBLER

EDWARD CHATTERTON (ALTERNATE)

EDWARD BETSCH (ALTERNATE)

RENEE MARCUS, AIA – SUPERINTENDENT OF BUILDINGS

LUCILLE LANGONE – SECRETARY

Part 2

SEPTEMBER 28, 2022

8:00 pm

Note Location Change: Village Hall – Fire Fighters Hall, 2nd Floor

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
1	8:00 p.m.	266	Whittier Avenue	Re-submission Addition	Rajinder Pal Kaur	M. Azeem, PE
2	8:05 p.m.	15	Fern Street	Second Story Addition	Michael & Jaclyn O'Donohue	DRV Architect, PC
3	8:10 p.m.	256	Jericho Turnpike	Sign	Prakash Chavda, CPA	Nimble Signs
4	8:15 p.m.	1	Carnation Avenue (Centennial Hall)	Re-submission New Site Plan & Updated Architectural Drawings	Friedman Group	GRCH Architecture PC

Questions about the projects can be emailed to ARB@FPVillage.org prior to the meeting to allow for the Village and Applicant to be prepared with answers.

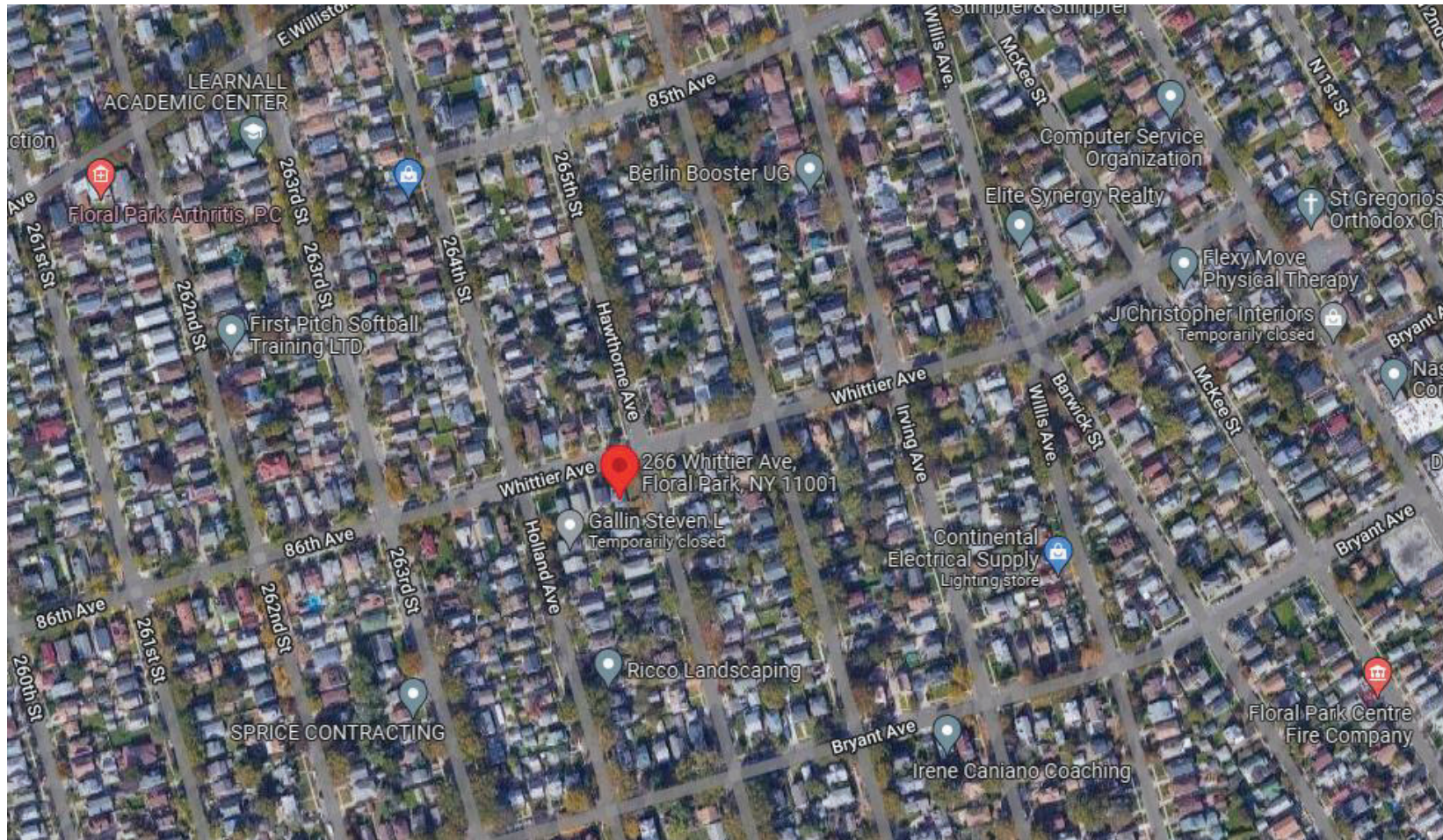
Supporting documents will be posted to the Architectural Review Board web page at least 24 hours prior to the meeting.

Click [here](#) for the ARB webpage

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
1	8:00 p.m.	266	Whittier Avenue	Re-submission Addition	Rajinder Pal Kaur	M. Azeem, PE



266 Whittier Avenue (Aerial View)















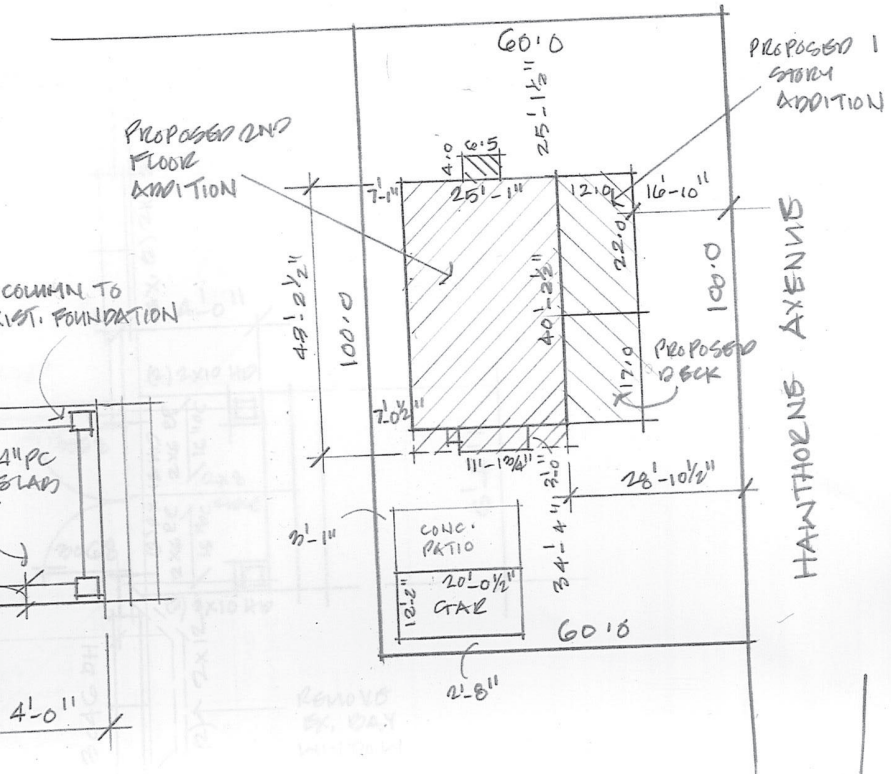
WHITTIER AVE
THORNE AV







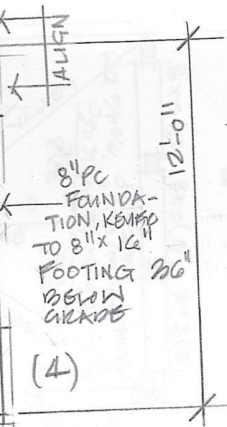
WHITTIER AVENUE

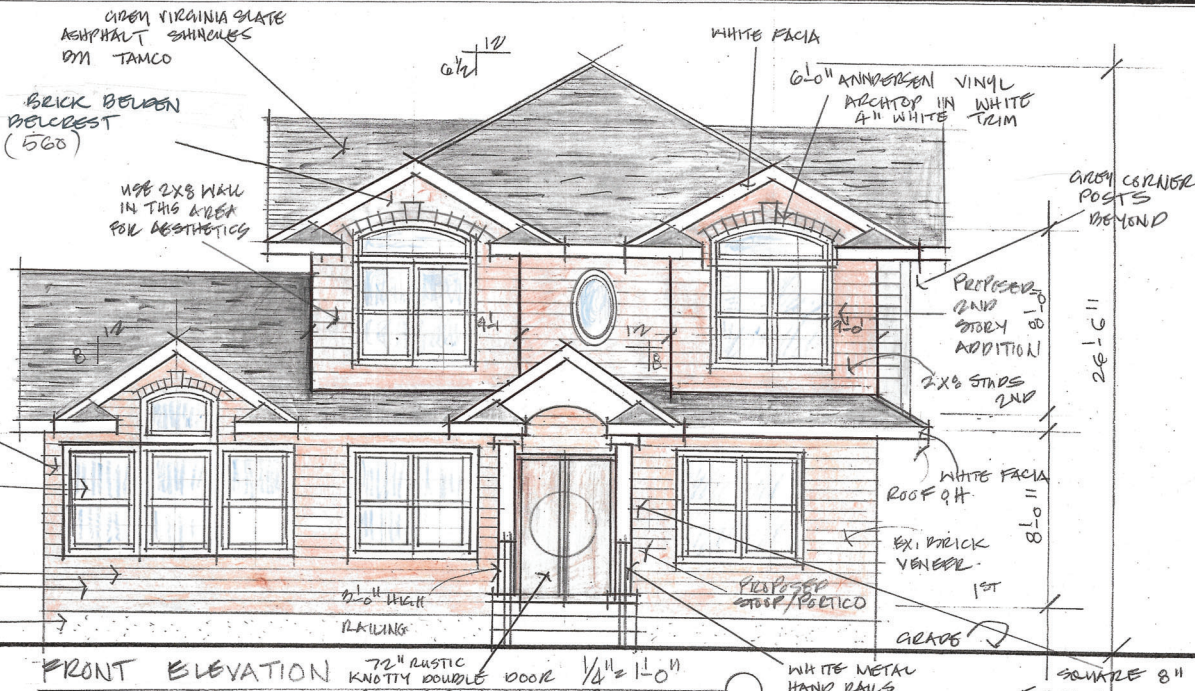


LOT PLAN 1"=20'

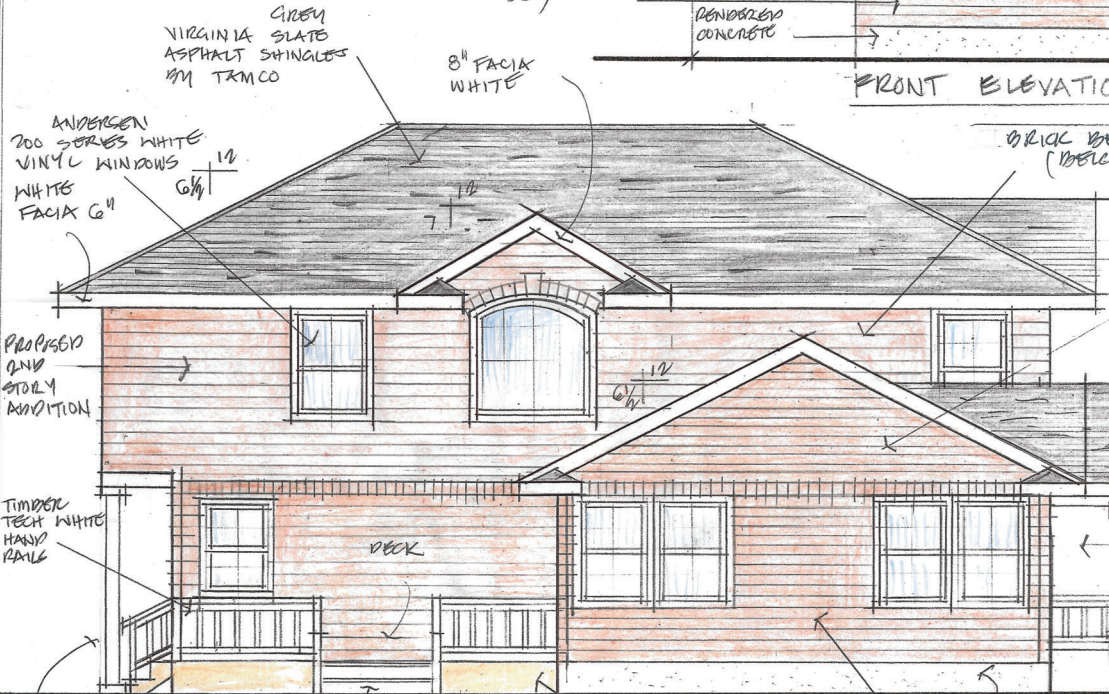
ZONING COMPUTATION (REG R1)

LOT AREA : 6000 SQ FT
 EXIST FIRST FLOOR : 1042.92 SQ FT
 SECOND FLOOR TOTAL : 1117.62 SQ FT
 NEW PORTICO : 26 SQ FT
 NEW FIRST FLOOR : 264 SQ FT
 DECK : 204 SQ FT
 TOTAL FLOOR AREA : 2423.94 SQ FT
 EXIST. DETACHED GARAGE : 244 SQ FT
 LOT COVERAGE : 27.5 %

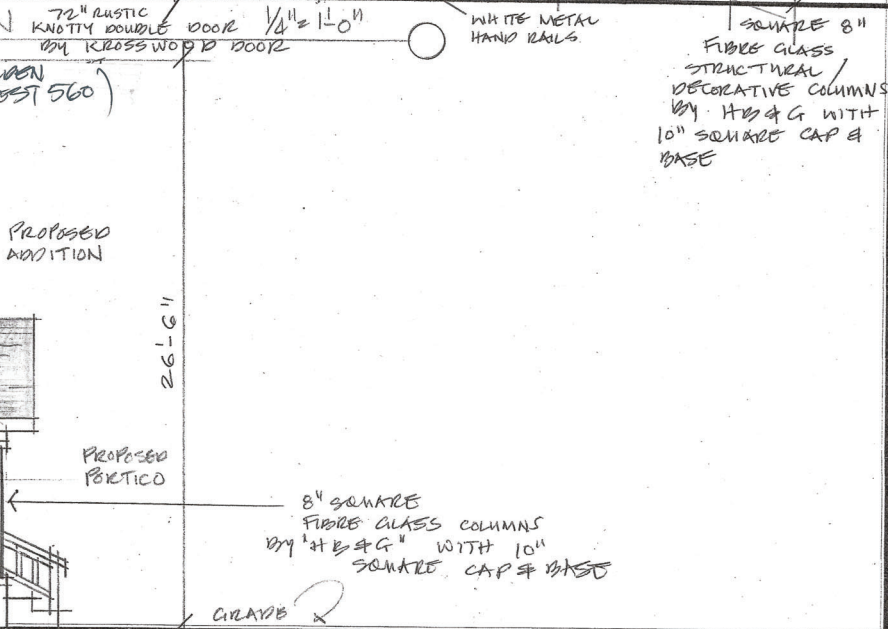




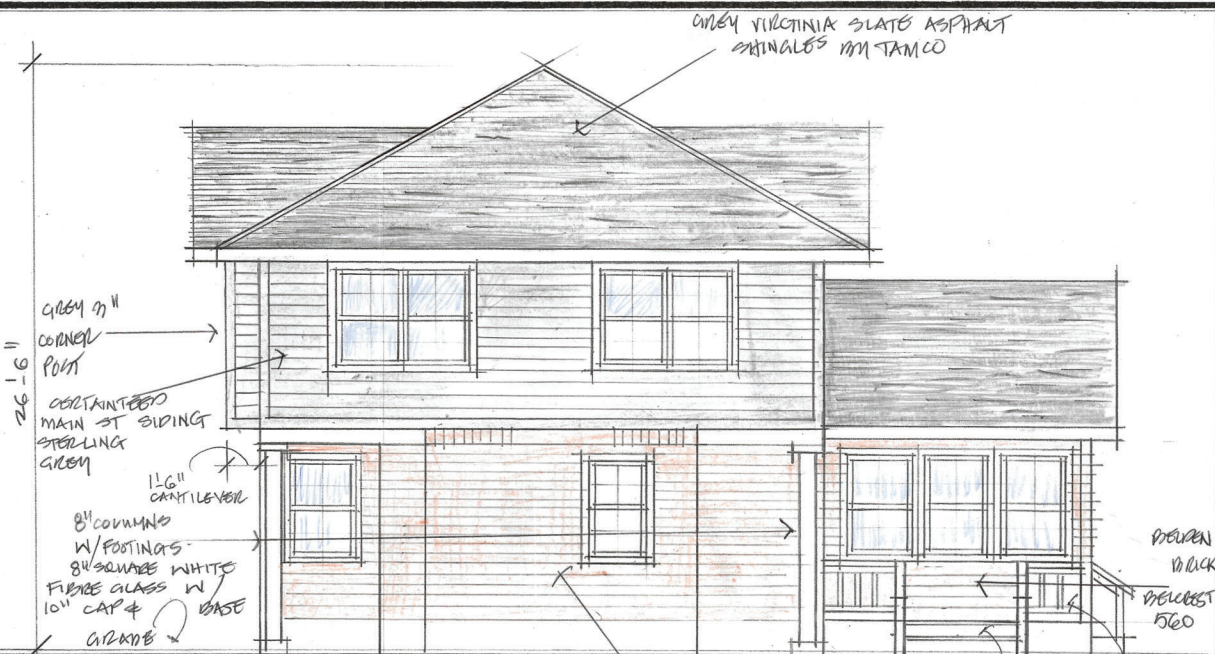
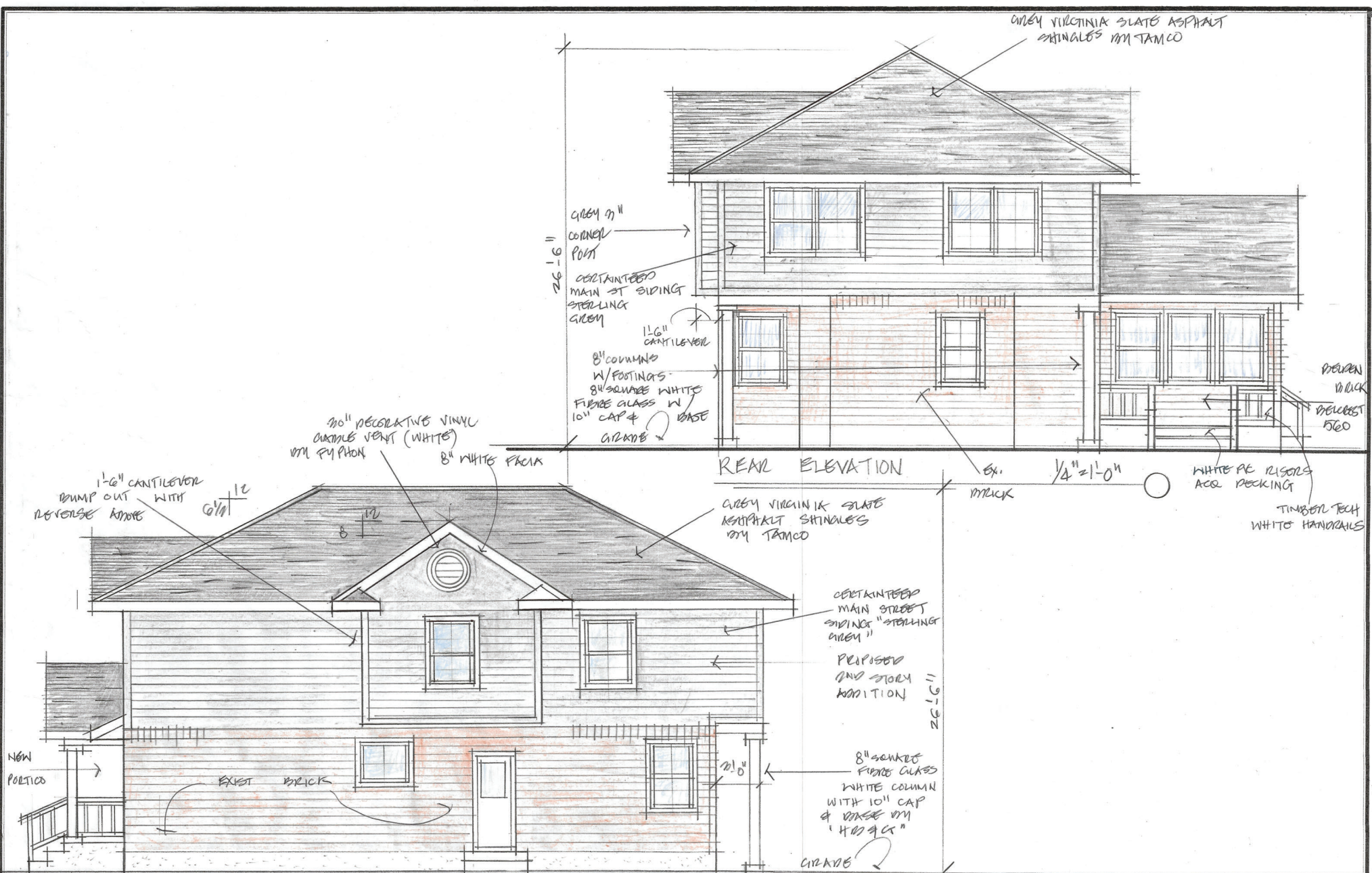
FRONT ELEVATION



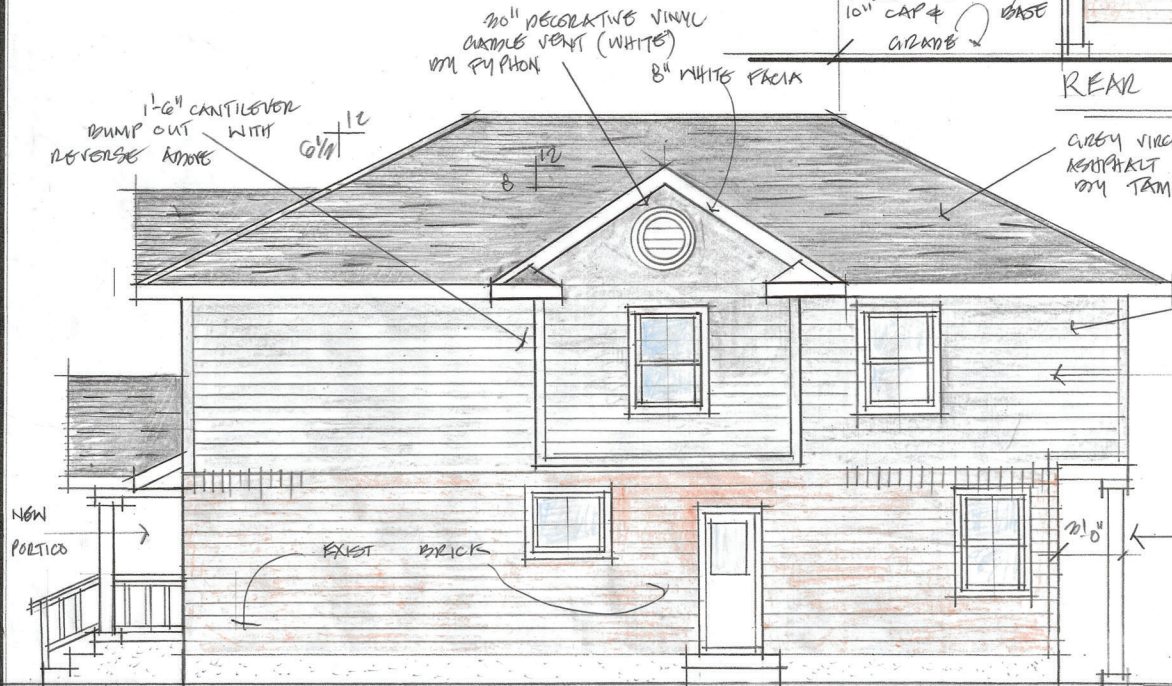
LEFT SIDE ELEVATION



<p>M. AZEEM P.E. 27 TAMARA COURT MELVILLE, N.Y. 11747 PHONE: (631) 920-2806</p>		
<p>PROJECT TITLE: 266 WHITTIER AVENUE, FLORAL PARK NY PROPOSED ONE STORY & SECOND STORY ADDITIONS</p>		



REAR ELEVATION
 1/4" = 1'-0"
 WHITE BRICK
 BRICK
 WHITE BRICK
 ACID PECKING
 TIMBER TECH
 WHITE HANDRAILS



RIGHT SIDE ELEVATION
 1/4" = 1'-0"

M. AZEEM P.E.
 27 TAMARA COURT MELVILLE, N.Y. 11747
 PHONE: (631) 920-2806

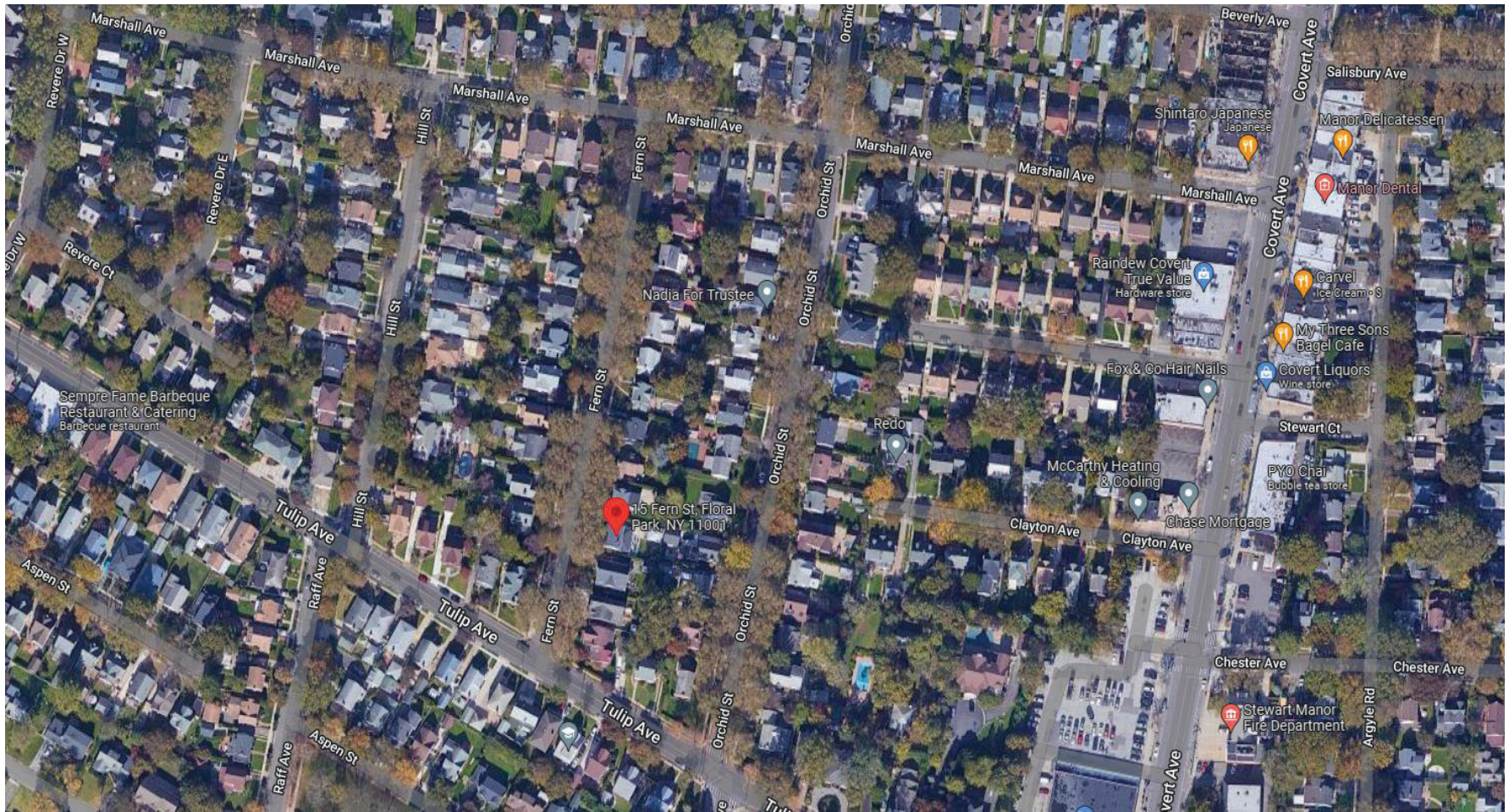
PROJECT TITLE:
 266 WHITTIER AVENUE, FLORAL PARK NY
 PROPOSED ONE STORY & SECOND STORY ADDITIONS



Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
2	8:05 p.m.	15	Fern Street	Second Story Addition	Michael & Jaclyn O'Donohue	DRV Architect, PC



15 Fern Street (Aerial View)





SIDE ELEVATION
(NORTH)



REAR ELEVATION
(EAST)



Subject House

SIDE ELEVATION
(SOUTH)





House to the right



House to the left

FERN STREET

(LIGHTHOUSE ROAD)
TULIP AVENUE

4' L x 48" H

GATE 88" x 48" H.

31' L x 48" H

NO OVERSIGHT, ERROR OR OMISSION ON THE PART OF THE BUILDING INSPECTOR OR HIS REPRESENTATIVE SHALL LEGALIZE THE ERECTING, CONSTRUCTION, ALTERATION, REMOVAL, USE OR OCCUPANCY OF ANY BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO THE PROVISIONS OF THE STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE VILLAGE ORDINANCES

APPROVED
INC. VILLAGE OF FLORAL PARK
DATE: 04.06.21
SIGNED: [Signature]
BUILDING DEPT.

UA SURVEY
VIEW SURVEY

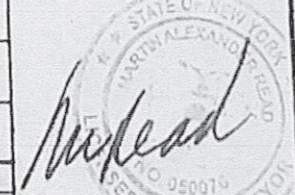
The offsets or dimensions shown from structures to the property lines are for a specific purpose and use, and therefore, are not intended to guide in the erection of fences, retaining walls, pools, patios, planting areas, additions to buildings and any other construction. Subsurface and environmental conditions were not examined or considered as a part of this survey. Easements, Rights of Way of record, if any, are not shown. Property corner monuments were not placed as a part of this survey.

© 2014 BBV PC

BBV Barrett Bonacci & Van Weele, PC
Civil Engineers
Surveyors
Planners
175A Commerce Drive
Hauppauge, NY 11788
t 631.435.1111
f 631.435.1022
www.bbvpc.com

Tax Map: SECTION 32 BLOCK 260 LOT 22
Map of: REVISED MAP OF HILLCREST, SECTION NO. 3
Map Lot: 22 Map Block: --
Filed: 5/18/1928 CASE# 2657 MAP# 931 County: NASSAU
Situate: INCORPORATED VILLAGE OF FLORAL PARK

Unauthorized alteration or addition to this survey is a violation of Section 7209 of New York State Education Law

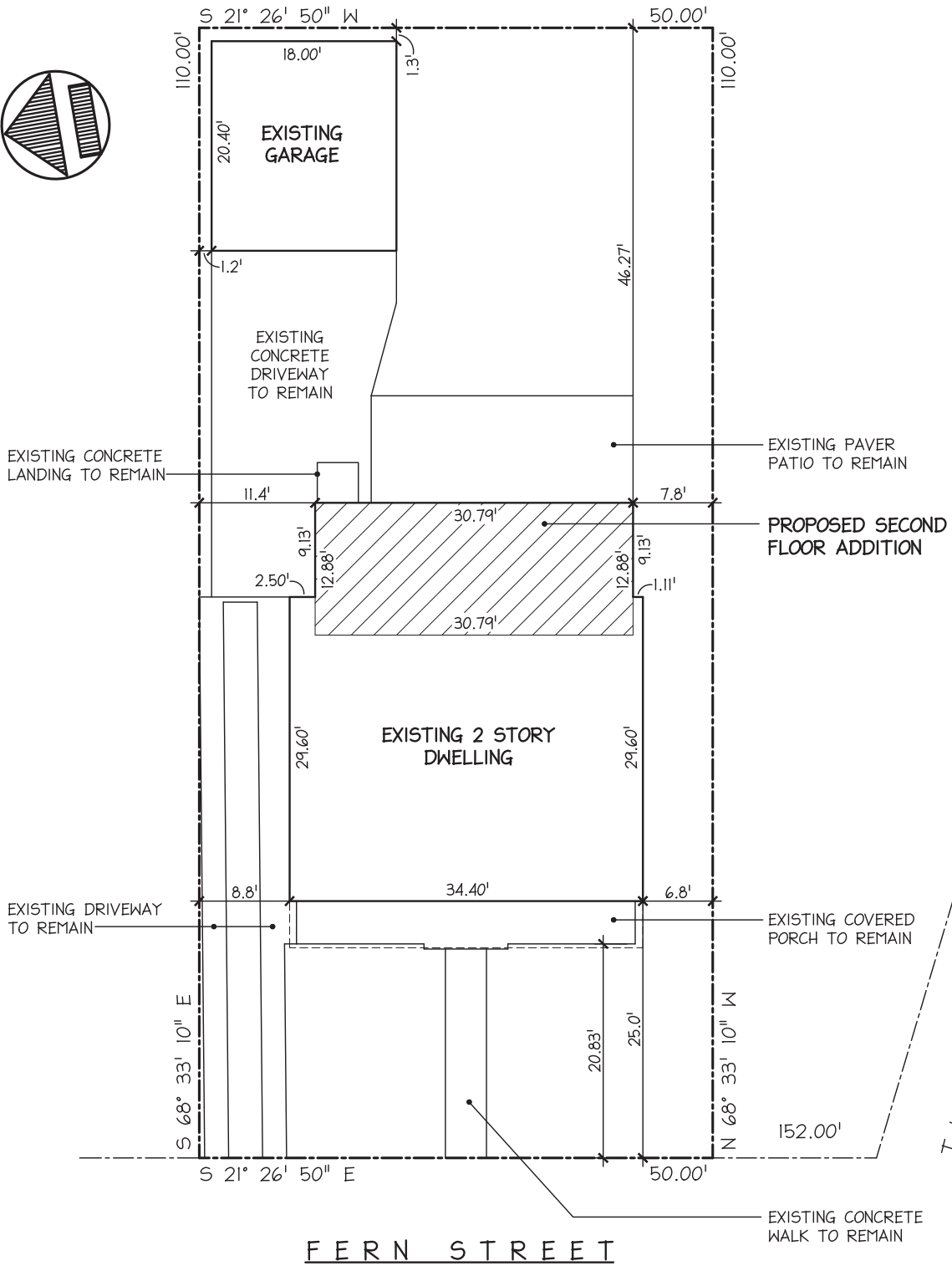


Copies of this survey map not bearing the land surveyor's embossed seal and signature shall not be considered to be a true and valid copy

Certified to: **JACLYN O'DONOHUE**
Title No.: **14-AN-47694**
ADVANTAGE TITLE AGENCY, INC.
STEWART TITLE INSURANCE COMPANY

Revision	By	Date

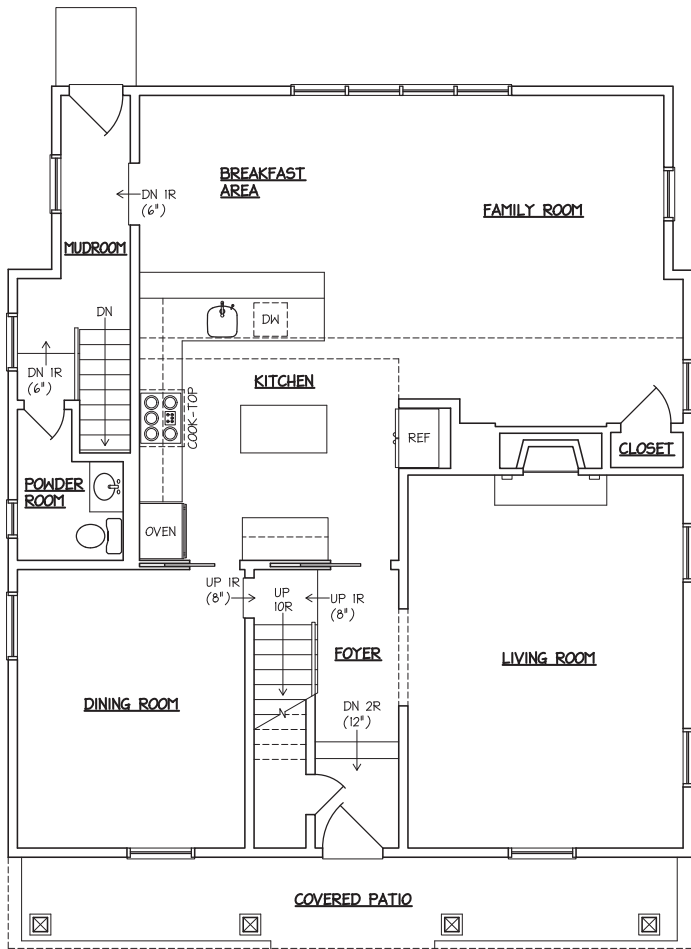
Surveyed by: R.B. Drafted by: A.V.R. Checked by: M.A.R.



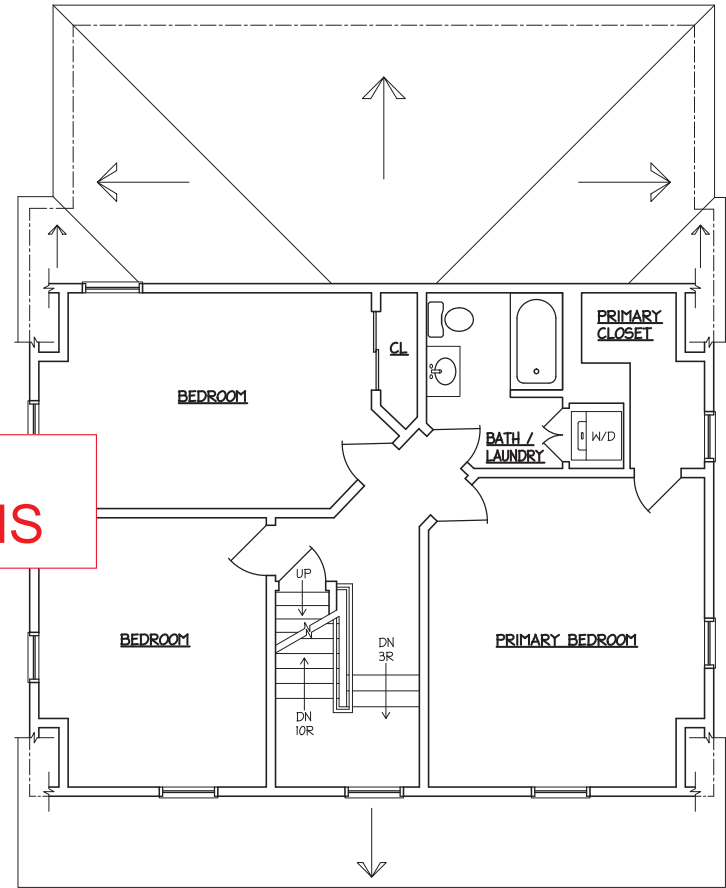
1
C-001

SITE PLAN

SCALE: 1" = 10'-0"



**EXISTING
FLOOR PLANS**



1 **FIRST FLOOR PLAN**
EX-001 SCALE: 1/4" = 1'-0"

2 **SECOND FLOOR PLAN**
EX-001 SCALE: 1/4" = 1'-0"



1 WEST (FERN STREET) ELEVATION
EX-002 SCALE: 1/4" = 1'-0"



2 SOUTH (SIDE) ELEVATION
EX-002 SCALE: 1/4" = 1'-0"

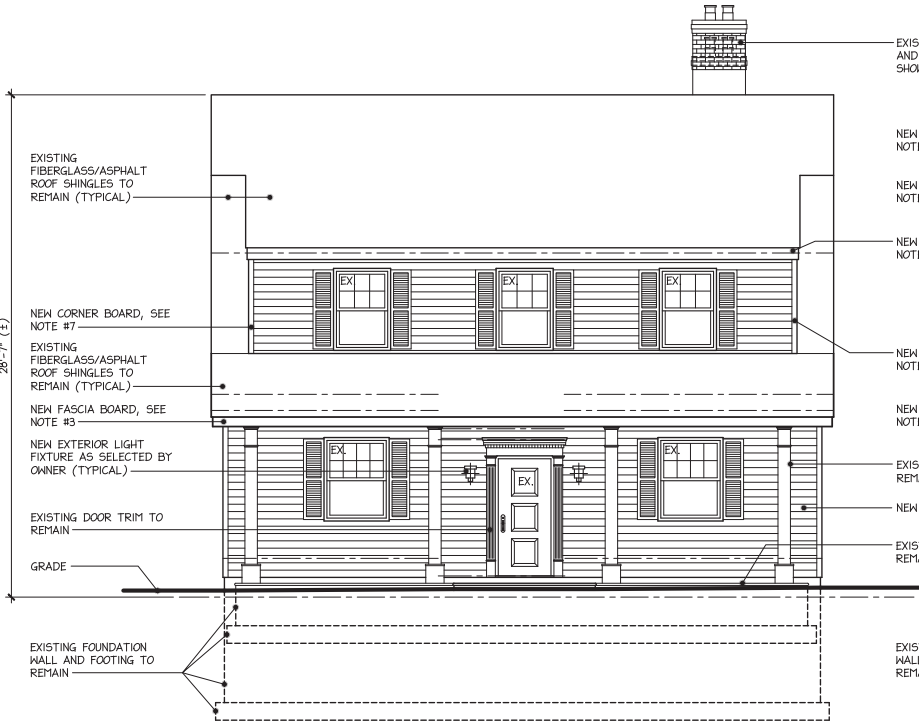
EXISTING
ELEVATIONS



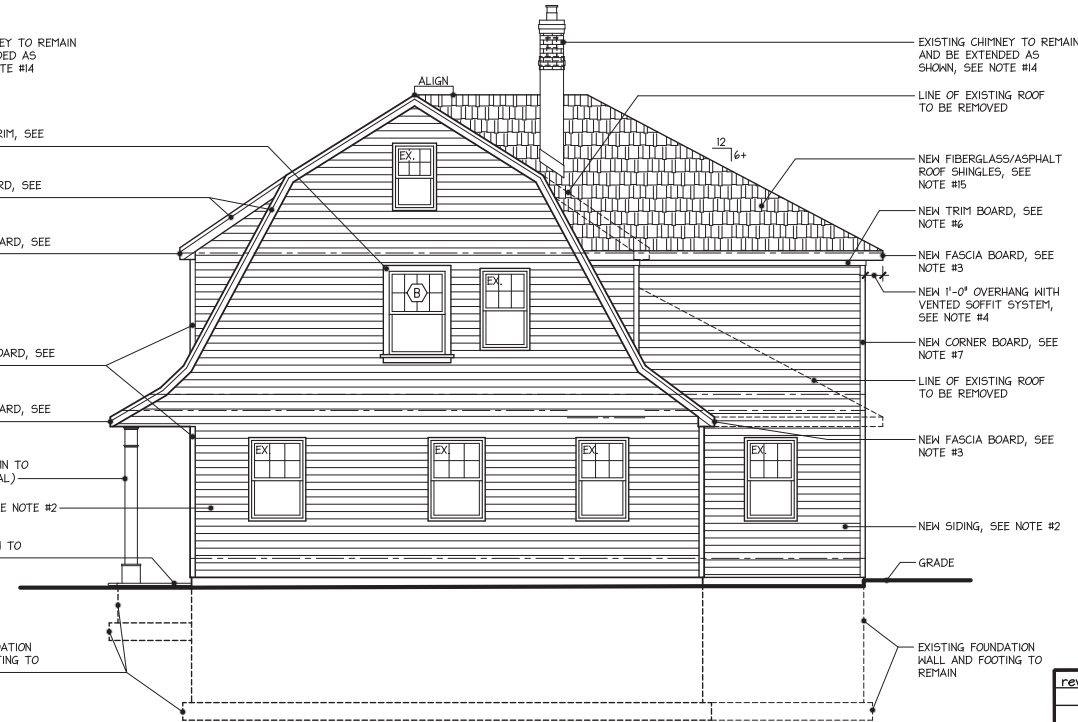
3 EAST (REAR) ELEVATION
EX-002 SCALE: 1/4" = 1'-0"



4 NORTH (SIDE) ELEVATION
EX-002 SCALE: 1/4" = 1'-0"



1 WEST (FERN STREET) ELEVATION
 A-004 SCALE: 1/4" = 1'-0"



2 SOUTH (SIDE) ELEVATION
 A-004 SCALE: 1/4" = 1'-0"

rev.	date	description

IT IS A VIOLATION OF THE PROFESSIONAL SEAL TO ALTER THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

EXISTING CHIMNEY TO REMAIN AND BE EXTENDED AS SHOWN, SEE NOTE #14

EXISTING FIBERGLASS/ASPHALT ROOF SHINGLES TO REMAIN (TYPICAL)

NEW FIBERGLASS/ASPHALT ROOF SHINGLES, SEE NOTE #15

NEW TRIM BOARD, SEE NOTE #6

NEW FASCIA BOARD, SEE NOTE #3

NEW 1'-0" OVERHANG WITH VENTED SOFFIT SYSTEM, SEE NOTE #4

NEW CORNER BOARD, SEE NOTE #7

NEW WINDOW TRIM, SEE NOTE #17

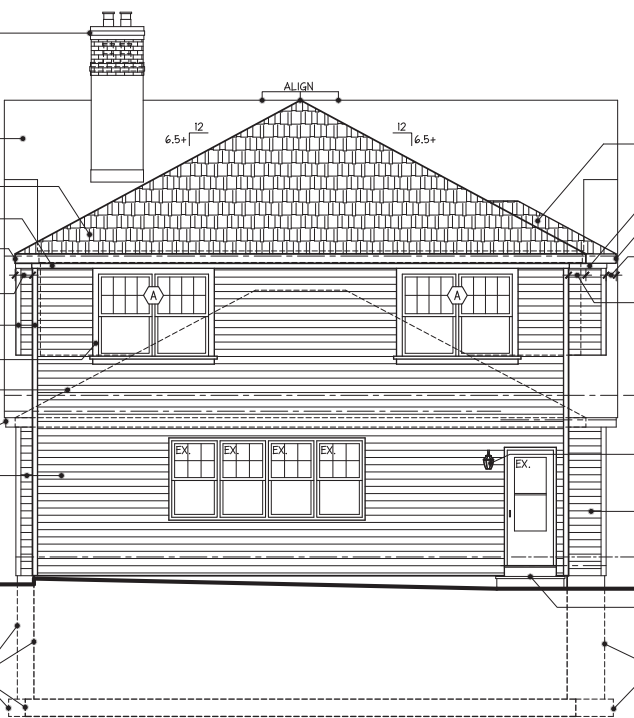
LINE OF EXISTING ROOF TO BE REMOVED

NEW FASCIA BOARD, SEE NOTE #3

NEW SIDING, SEE NOTE #2

GRADE

EXISTING FOUNDATION WALL AND FOOTING TO REMAIN



NEW FIBERGLASS/ASPHALT ROOF SHINGLES, SEE NOTE #15

NEW TRIM BOARD, SEE NOTE #6

NEW FASCIA BOARD, SEE NOTE #3

NEW 7" OVERHANG WITH VENTED SOFFIT SYSTEM, SEE NOTE #4

NEW 1'-0" OVERHANG WITH VENTED SOFFIT SYSTEM, SEE NOTE #4

NEW CORNER BOARD, SEE NOTE #7

T.O. 2ND FLOOR SUBFLOOR (MATCH EXISTING)

LINE OF EXISTING ROOF TO BE REMOVED

NEW EXTERIOR LIGHT FIXTURE AS SELECTED BY OWNER (TYPICAL)

NEW SIDING, SEE NOTE #2

T.O. 1ST FLOOR SUBFLOOR (0'-0" - DATUM TO REMAIN)

EXISTING LANDING TO REMAIN

EXISTING FOUNDATION WALL AND FOOTING TO REMAIN

EXISTING FOUNDATION WALL AND FOOTING TO REMAIN

1 EAST (REAR) ELEVATION
A-005 SCALE: 1/4" = 1'-0"

EXISTING CHIMNEY TO REMAIN AND BE EXTENDED AS SHOWN, SEE NOTE #14

NEW RAKE BOARD, SEE NOTE #5

NEW FASCIA BOARD, SEE NOTE #3

NEW WINDOW TRIM, SEE NOTE #17

NEW CORNER BOARD, SEE NOTE #7

NEW SIDING, SEE NOTE #2

NEW FASCIA BOARD, SEE NOTE #3

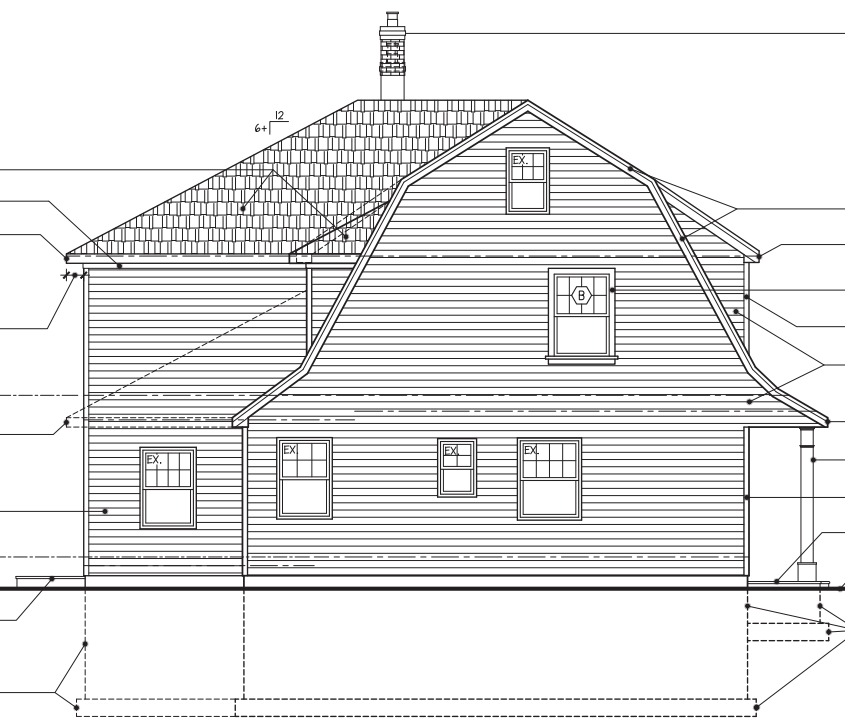
EXISTING COLUMN TO REMAIN (TYPICAL)

NEW CORNER BOARD, SEE NOTE #7

EXISTING PORCH TO REMAIN

GRADE

EXISTING FOUNDATION WALL AND FOOTING TO REMAIN



2 NORTH (SIDE) ELEVATION
A-005 SCALE: 1/4" = 1'-0"

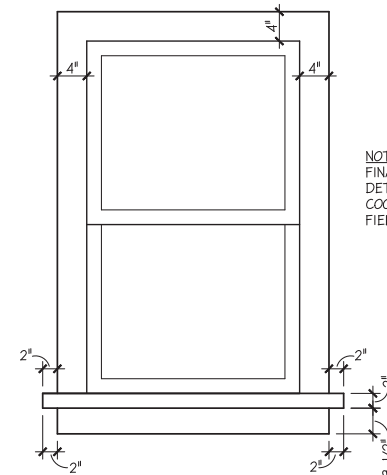
rev.	date

06/30/2022

IT IS A VIOLATION TO ACT UNDER THIS PERMIT TO ALTER AN ITEM

EXTERIOR NOTES:

1. EXISTING SIDING, FASCIAS, RAKES AND TRIM TO BE REMOVED IN TOTAL. REPLACE ANY DAMAGED SHEATHING / WOOD AS REQUIRED.
2. EXTERIOR WALL MATERIAL TO BE CLAPBOARD VINYL SIDING - COLOR AND STYLE AS SELECTED BY OWNER.
3. FASCIAS TO BE 6 1/2" ALUMINUM WRAPPED - COLOR AS SELECTED BY OWNER.
4. SOFFITS TO BE VINYL (50% VENTED), COLOR AS SELECTED BY OWNER.
5. ALUMINUM WRAPPED 1" X 6 1/2" RAKE BOARD WITH 1" X 2" BUILD-OUT. COLOR AS SELECTED BY OWNER.
6. ALUMINUM WRAPPED 1" X 4" TRIM BOARD. COLOR AS SELECTED BY OWNER.
7. VINYL 4" X 4" CORNER BOARD. COLOR AS SELECTED BY OWNER.
8. G.C. TO PROVIDE AND INSTALL SEAMLESS ALUMINUM GUTTERS AND LEADERS FOR PROPER ROOF DRAINAGE. FINISH TO BE WHITE
9. G.C. TO PROVIDE AND INSTALL CONTINUOUS ALUMINUM FLASHING AT ALL WALL TO WALL, WALL TO ROOF, AND ROOF TO ROOF INTERSECTIONS. MINIMUM 12" COVERAGE EACH SURFACE FOR ENTIRE LENGTH.
10. PROVIDE COPPER STEP FLASHING AT CHIMNEYS.
11. G.C. TO PROVIDE AND INSTALL HEAD AND SILL FLASHING AT ALL WINDOWS AND DOORS, PER MANUFACTURER'S SPECIFICATIONS.
12. CHIMNEY CAPS TO BE PROVIDED AND INSTALLED BY G.C.
13. NEW RAISED SHUTTERS. COLOR AND STYLE AS SELECTED BY OWNER.
14. EXISTING BRICK CHIMNEYS TO BE EXTENDED. NEW BRICK TO MATCH EXISTING. G.C. TO PROVIDE SAMPLES FOR OWNER APPROVAL. G.C. TO PROVIDE AND INSTALL CHIMNEY CAPS. MASONRY TIES TO BE DUR-O-WALL, INC.
MODEL - D/A 213
MAXIMUM AREA / TIE - 3.25 SQ.FT.
MAXIMUM VERTICAL SPACING - 24"
MAXIMUM HORIZONTAL SPACING - 24"
15. NEW ROOFING SHINGLES TO MATCH EXISTING. FOR AREAS OF NEW ROOF OVERHANGS, REMOVE EXISTING SHINGLE BACK AS REQUIRED TO PROPERLY WEAVE NEW AND EXISTING SHINGLES FOR NO SHADOW LINES. INSTALL BUILDING PAPER TO OVERLAP EXISTING AND IN ACCORDANCE WITH DETAIL 6/A-006.
16. WINDOW TRIM TO BE ALUMINUM WRAPPED - COLOR AND STYLE AS SELECTED BY OWNER, SEE 3/A-004.



3
A-004

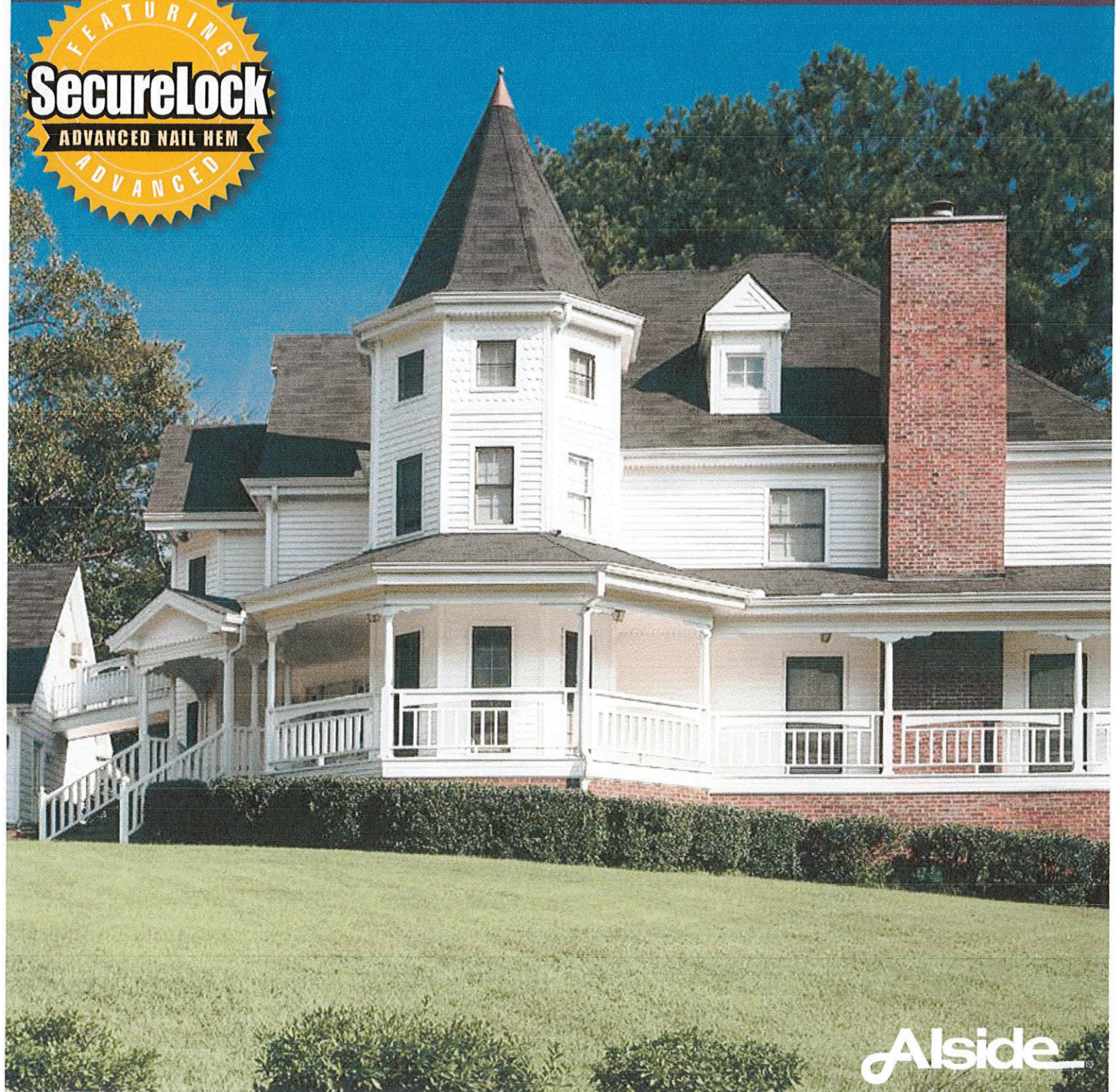
WINDOW TRIM DETAIL

SCALE: 1" = 1'-0"

ODYSSEY Plus[®]

PREMIUM VINYL SIDING

Quality Exterior Products with Easy-Care Convenience



Alside[®]

ODYSSEY PLUS® . . . PERFECT FOR EVERY PROJECT

Odyssey Plus is the perfect siding for homeowners who want outstanding performance, a beautiful appearance and low-maintenance convenience. This attractive easy-care exterior can also enhance the value of your home.



A LEGACY OF EXCELLENCE AND INNOVATION

The first step in the creation, renovation and preservation of your home involves choosing the right products. In Odyssey Plus, you've opened the door to the Alside vinyl siding collection – a premier union of heritage and innovation merged with high-performance materials and future-forward engineering. Our 75 years of industry excellence stands strong as our legacy of leadership and trust, where customer happiness always comes first.

A SUSTAINABLE CHOICE

The home that protects you can also help protect the environment. As a durable, sustainable product with a long service life, Alside vinyl siding reduces the depletion of wood and other natural resources used in home construction. And because it never needs to be painted, it helps prevent paint, stain and other maintenance-related products from harming the earth.



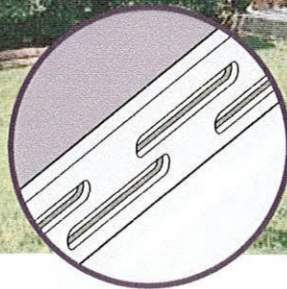
ADVANCED SECURELOCK STAGGERED NAIL HEM SECURES YOUR VINYL SIDING EFFORTLESSLY



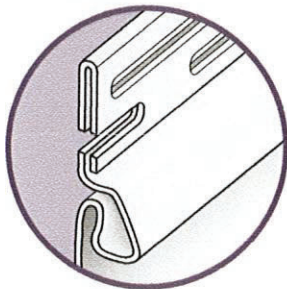
SecureLock advanced lock design from Alside provides unparalleled performance. Double staggered nail slots and a fully rolled over nailing hem ensure exceptional wall gripping strength. In fact, in laboratory tests conducted according to ASTM guidelines, Odyssey Plus withstood extreme-force winds. This strong

locking system also means your siding will lay flat and look beautiful year after year.

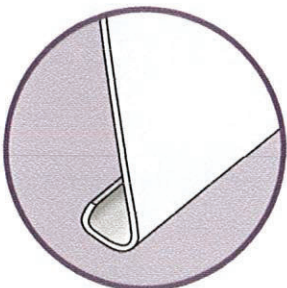
Whether you are replacing your existing siding or building a new home, choose a brand that provides both advanced performance and lasting beauty . . . choose Odyssey Plus.



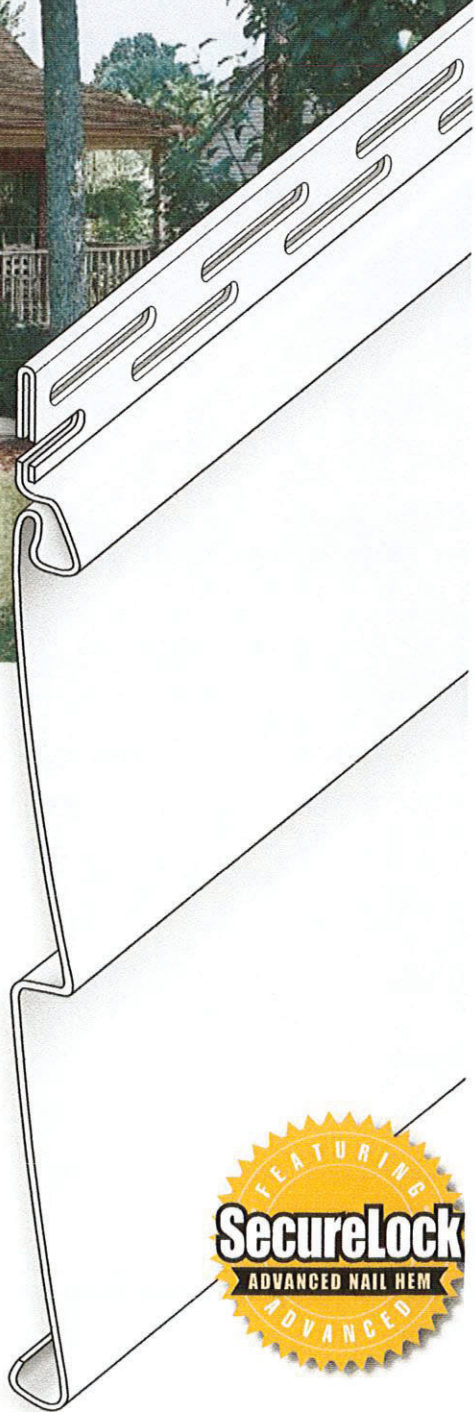
Double staggered nail slots hit a stud every time.



Extra strong rolled over nail hem.



Locking panels resist high winds.





PREMIUM APPEARANCE

Choose from two of America's most popular siding styles – traditional clapboard or beveled-edge dutch lap. Both styles are available in 4" and 5" widths. A natural grain pattern, realistic shadow lines and a low-gloss, look-of-paint finish recreate the distinctive details of genuine wood siding. For maximum design flexibility, choose from up to 24 popular colors including 11 designer hues.

OUTSTANDING PERFORMANCE

Heavy-duty panel thickness (.044" nominal) and an advanced lock design deliver increased rigidity so walls stay straight and smooth. The strengthened lock provides superior holding power, keeping panels tight on walls, even in extreme winds.

CAREFREE UPKEEP

Odyssey Plus is made with durable, weather-resistant vinyl, so there's never any painting or staining. Just a simple rinse with a garden hose will remove most airborne dust and dirt and restore the like-new beauty.

Odyssey Plus is loaded with premium features that are not found in many competing sidings. Make the comparison yourself . . . you'll find Odyssey Plus is one of the best investments you can make in your home.

A VARIETY OF PROFILE DESIGNS

Odyssey Plus offers a wide variety of options when designing your home's exterior. With four profiles to choose from and a full selection of decorative trim and accessories, you can create a custom design that's a clear reflection of your personal taste.

QUICK SPECS: Subtle woodgrain texture
.044" panel thickness
Rolled over nailing hem
1/2" panel projection (D4 profiles); 5/8" panel projection (D5 profiles)
Available in Double 4" clapboard, Double 4" dutch lap, Double 5" clapboard, and Double 5" dutch lap
24 contemporary colors

DID YOU KNOW for nearly two decades vinyl siding has been a leading choice for exterior cladding on new single-family homes. This broad appeal stems not only from its beauty, durability, and easy upkeep, but also from the fact that vinyl siding can add value to homes.

COLOR AND DESIGN INSPIRATION

Odyssey Plus' full array of profiles and colors makes it easy to give your home a style all its own. Whether you prefer a subtle monochromatic color scheme in classic hues or rich architectural colors with contrasting accents, Odyssey Plus has everything you need to achieve your ideal finished look.

STANDARD COLOR COLLECTION



ARCHITECTURAL COLOR COLLECTION*



*Color restrictions by market may apply.

DARKER COLORS STAY TRUE!



Our darker Odyssey Plus colors stay luxurious and true, thanks to ChromaTrue technology. This advanced copolymer compound provides Odyssey Plus with long-term color stability and better performance on darker colors.

THE ART OF THE MIX

There's no need to settle for siding and trim that almost match. Alside's ColorConnect® Color Matching System offers smart solutions for every design approach. ColorConnect standards have been painstakingly applied to select Alside products to ensure you are making tasteful color choices with enduring aesthetic value and the custom look you desire.

Whether it's a rich color that draws your eye to an interesting architectural detail, or neutral hues applied to a historic home, the Alside ColorConnect Color Matching System helps you successfully match the color of your siding with other Alside exterior products and accessories.



The ALSIDE EXTERIOR DESIGN SYSTEM

Coordinated Easy-Care Products



EXTERIOR TRIM, ACCESSORIES AND ACCENTS

Rooflines, corners, windows and door frames – some elements deserve special treatment. Enhancing these areas can give your home a custom finished look while letting your individual style shine through. Our Trimworks® collection of decorative trim and accents, along with shakes, scallops and other ornamental panels, makes it easy to achieve a flawless finish. All options are fully color-coordinated with Odyssey Plus Siding.

PEACE OF MIND

Odyssey Plus Vinyl Siding and Alside accessories are backed by lifetime limited warranties.** For complete warranty information, including limitations, please see a printed copy of the warranty.



HOME VISUALIZER

See the finished look before the work begins! Our Alside siding visualizer lets you create multiple exterior designs with just the click of a mouse. Simply select a house style – or submit a photo of your own home – and choose siding profiles, accents, soffit and trim, along with color options for doors, roofing, shutters and more. Visit www.alside.com/color-design to get started today.



Pertains to Odyssey Plus Vinyl Siding
Consult the VSI website at www.vinylsiding.org
for a current list of certified products and colors.



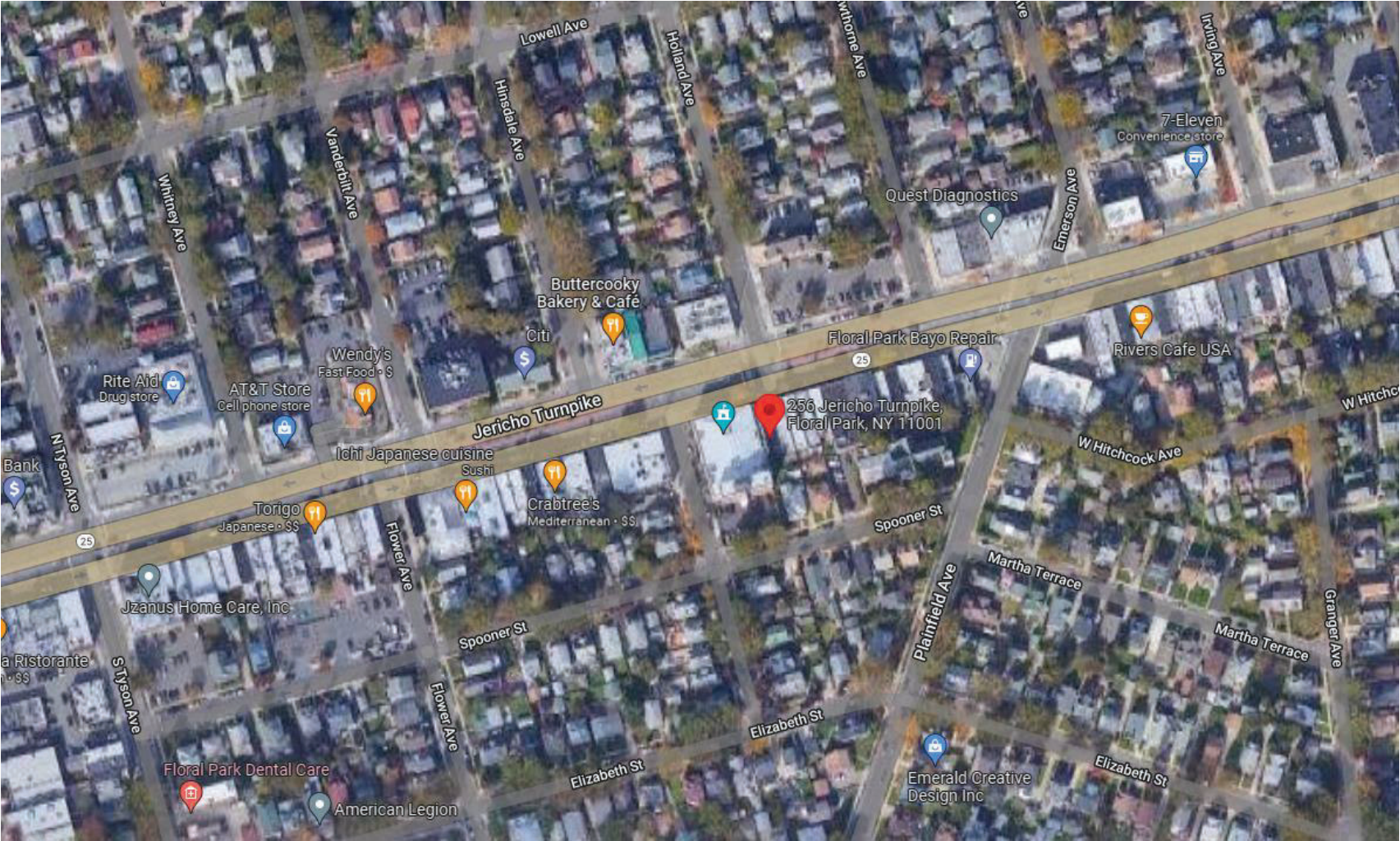
Alside 3773 State Road Cuyahoga Falls, Ohio 44223
1-800-922-6009 www.alside.com



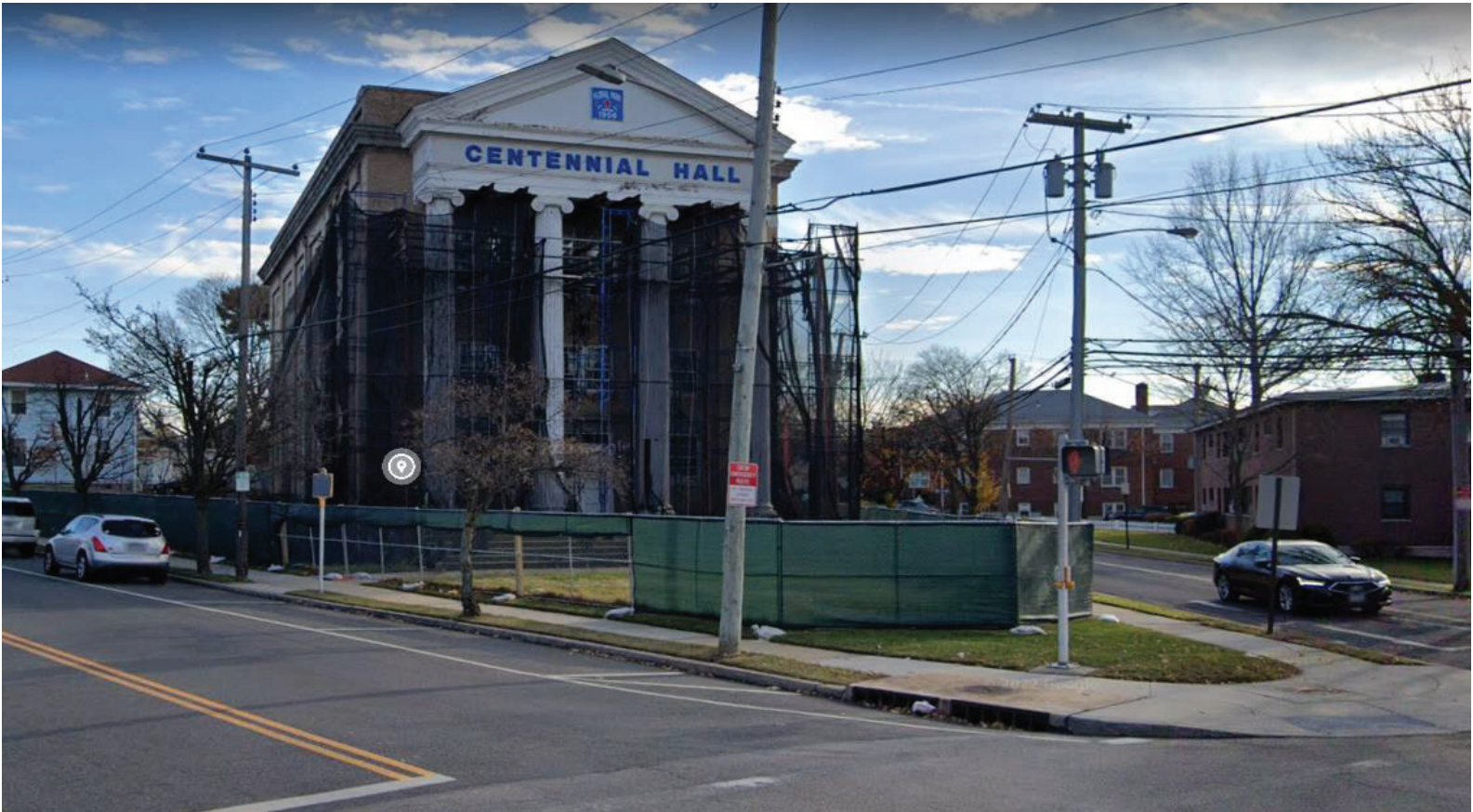
Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
3	8:10 p.m.	256	Jericho Turnpike	Sign	Prakash Chavda, CPA	Nimble Signs



256 Jericho Turnpike (Aerial View)



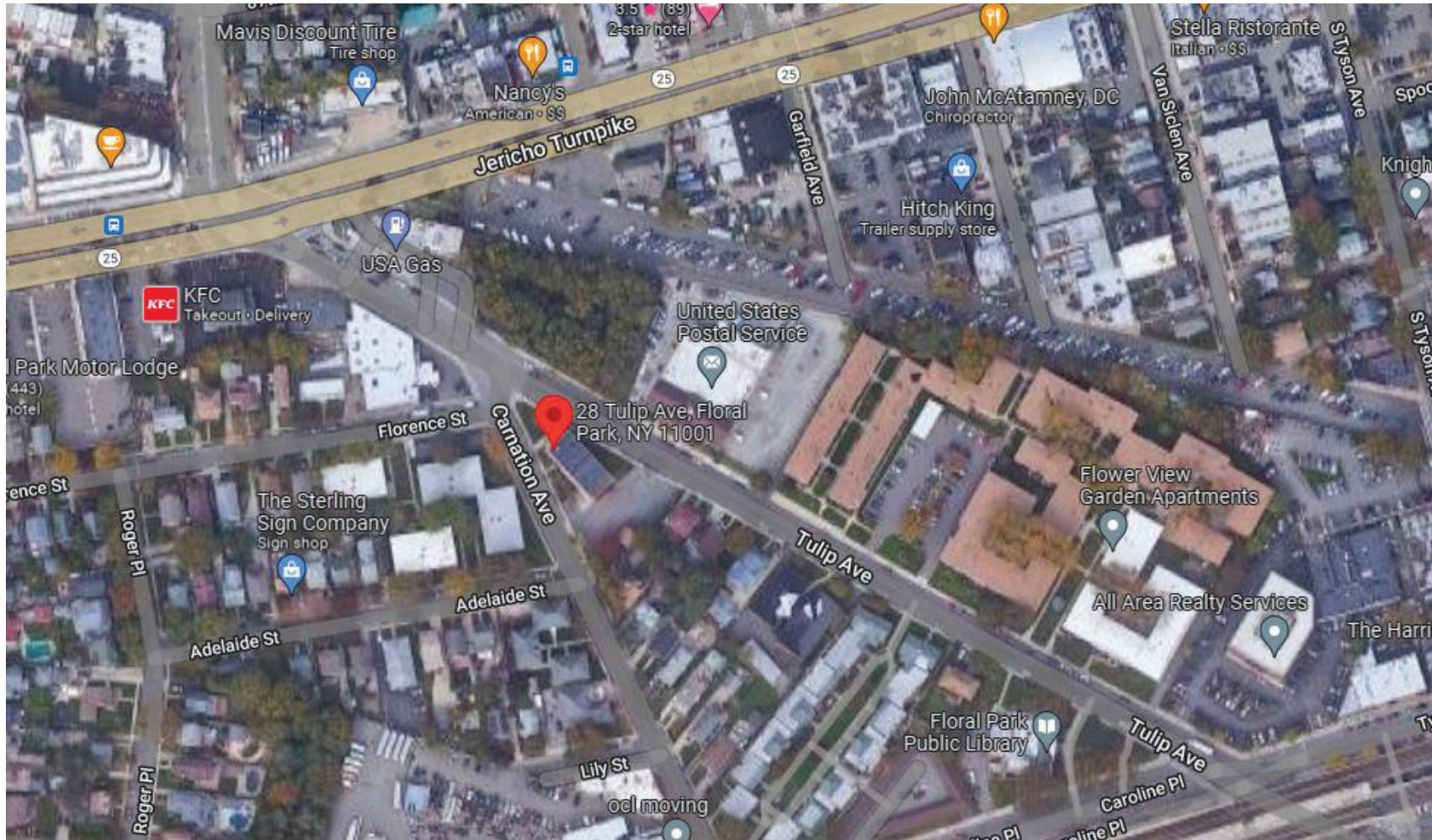
Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
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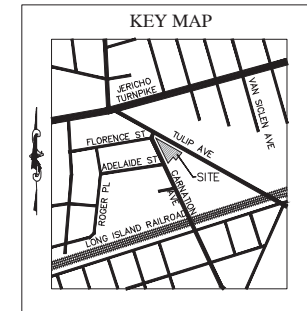
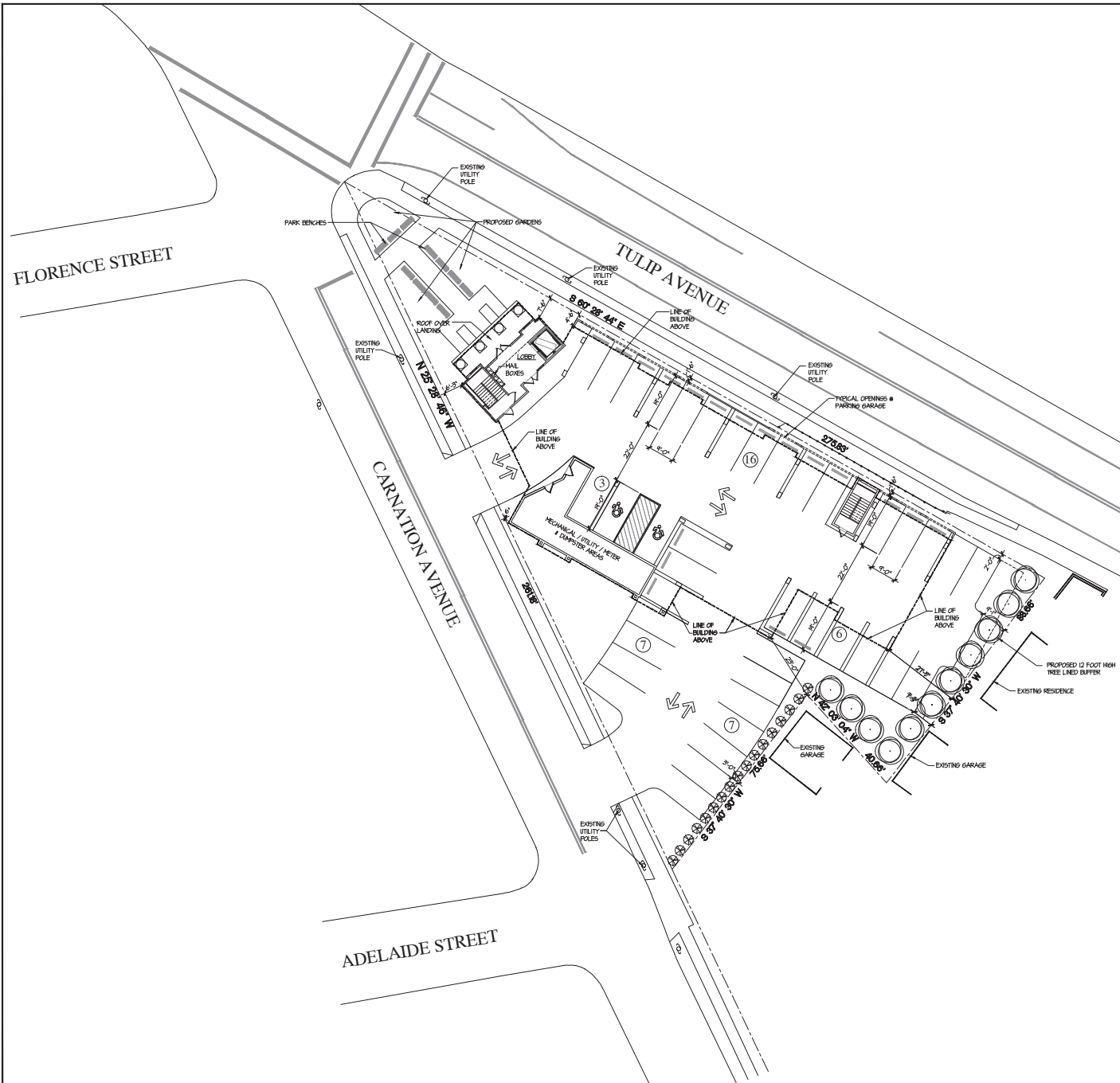


1 Carnation Avenue (Side View)



1 Carnation Avenue (Aerial View)





ONE CARNATION AVENUE
(CENTENNIAL HALL)
FLORAL PARK, NY 11001

GRCHitecture
GRCH Architecture P.C.
3783 Eastern Blvd. South
Suite 202
Middletown, NY 11769
Phone: (815) 271-2022
www.grcharchitecture.com

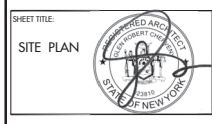
CONSULTANTS

R&M ENGINEERING
Robinson & Muller
Engineers, P.C.
65 5th Street
Huntington, NY 11743
Phone: (631) 271-8200
Fax: (631) 271-2022
www.randm.com

ISSUED	DATE	DESCRIPTION
6	7/14/22	IFB SUBMITTAL
5	5/25/22	ADDL PARKING SPACE
4	5/11/22	TOWN HEARING
3	4/28/22	REVISED ELEVATION
2	4/13/22	REVISED FLOOR PLANS

CLIENT:

FRIEDMAN GROUP
1133 BROADWAY
HEWLETT, NY 11557



STATUS:

BUILDING DATA
TOTAL BUILDING AREA = 29,463 SQ FT

PARKING DATA
TOTAL PARKING AREA = 13,626 SQ FT

PROPOSED OCCUPANCY
R-2 / S-2

SITE DATA

N.C.T.M.:	= DISTRICT 2007 SECTION 32, BLOCK 54, LOTS 15--22
EXISTING USE:	= COMMUNITY BUILDING / PARKING LOT
PROPOSED USE:	= APARTMENT BUILDING
EXISTING ZONE:	= B-2 DISTRICT
SITE AREA:	= 20,921 SF (0.48 AC)
FIRE DISTRICT:	= FLORAL PARK
POST DISTRICT:	= FLORAL PARK, 11001
SCHOOL DISTRICT:	= FLORAL PARK-BELLROSE / SEWANAKKA CENTRAL HS
WATER DISTRICT:	= WATER AUTHORITY OF WESTERN NASSAU COUNTY
SEWER DISTRICT:	= NASSAU COUNTY SEWAGE DISTRICT
DATUM:	= NAVD88

PARKING CALCULATIONS

PARKING REQUIRED	
APARTMENT (24 UNITS)	24 UNITS AT 1 STALL PER UNIT = 24.0 STALLS
VISITOR PARKING	1 STALL PER UNIT = 24.0 STALLS
TOTAL PARKING REQUIRED = 48.0 STALLS	
PARKING PROVIDED	
PAVED STALLS (INCLUDING 1 ACCESSIBLE)	= 39.0 STALLS
TOTAL PARKING PROVIDED = 39.0 STALLS	

ZONING COMPLIANCE

B-2 DISTRICT	REQUIRED	PROVIDED
BUILDING HEIGHT	N/A	47' - 8"
FRONT YARD	N/A	8.9'
REAR YARD	N/A	30.0'
SIDE YARD	N/A	1'-8"
HABITABLE FLOOR AREA	N/A	1'-8"
MINIMUM PARKING	1,000 SF MIN	29,463 SF
	1 STALL PER 200 SF	39 STALLS

LOT COVERAGE

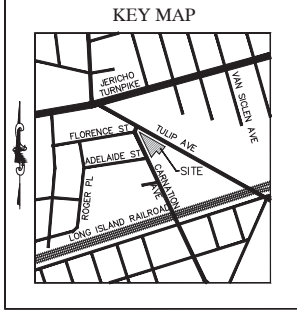
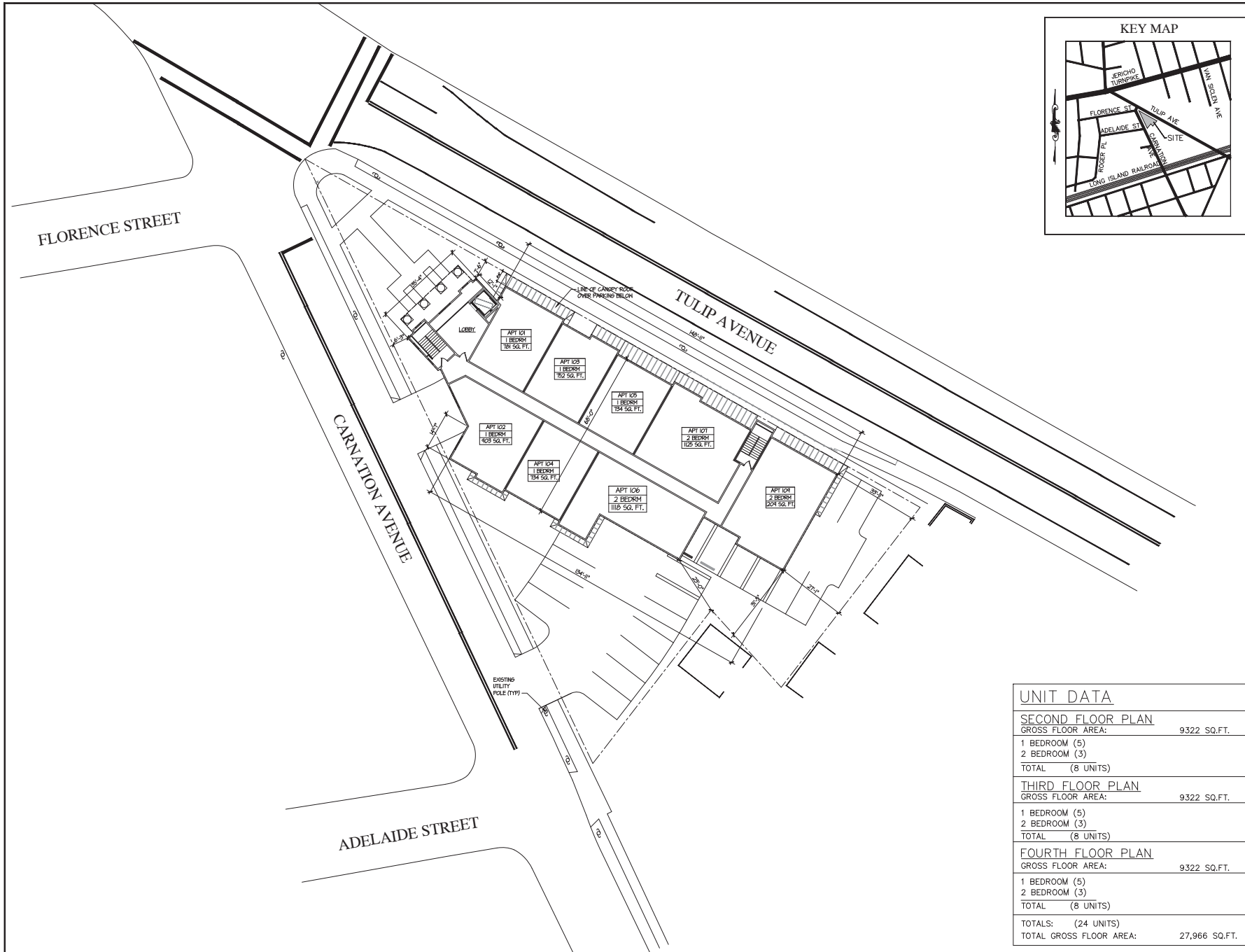
ROOF AREA	9,565 SF / 45.9%
IMPERVIOUS AREA	6,672 SF / 31.8%
NATURAL/LANDSCAPE AREA	4,684 SF / 22.3%
TOTAL AREA	20,921 SF / 100.0%

GRCH Project No.	2022005
Scale:	1/16" = 1'-0"
Designed by:	GC
Drawn by:	GRCH
Checked by:	GC
Date:	8 APRIL 2022

DRAWING No:

S.1

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ONE CARNATION AVENUE
(CENTENNIAL HALL)
FLORAL PARK, NY 11001

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65 Eastview
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Phone: (516) 271-8800
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ISSUED	DATE	DESCRIPTION
2	4/15/22	REVISED FLOOR PLANS
3	4/26/22	REVISED ELEVATION
4	5/11/22	TOWN HEARING
5	6/26/22	ADDL. PARKING SPACE
6	7/14/22	AMB SUBMITTAL

CLIENT:
FRIEDMAN GROUP
1133 BROADWAY
HEWLETT, NY 11557

SHEET TITLE:
TYPICAL APARTMENT
FLOOR PLANS
TWO, THREE & FOUR

STATUS:

GRCH Project No.: 2022006
Scale: 1/16"=1'-0"
Designed by: GC
Drawn by: GC
Checked by: GC
Date: 8 APRIL 2022

DRAWING No.:
S.2

UNIT DATA	
SECOND FLOOR PLAN	
GROSS FLOOR AREA:	9322 SQ.FT.
1 BEDROOM (5)	
2 BEDROOM (3)	
TOTAL (8 UNITS)	
THIRD FLOOR PLAN	
GROSS FLOOR AREA:	9322 SQ.FT.
1 BEDROOM (5)	
2 BEDROOM (3)	
TOTAL (8 UNITS)	
FOURTH FLOOR PLAN	
GROSS FLOOR AREA:	9322 SQ.FT.
1 BEDROOM (5)	
2 BEDROOM (3)	
TOTAL (8 UNITS)	
TOTALS: (24 UNITS)	
TOTAL GROSS FLOOR AREA:	27,966 SQ.FT.

ONE CARNATION AVENUE
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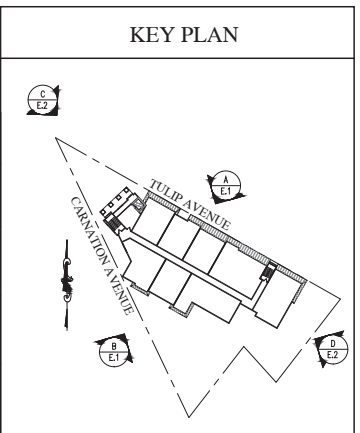


A ELEVATION "A" (NORTHEAST: TULIP AVENUE)
1/8" = 1'-0"



B ELEVATION "B" (SOUTHWEST: CARNATION AVENUE)
1/8" = 1'-0"

EXTERIOR FINISH LEGEND			
A	THIN BRICK VENEER; MANUF.: BRAMPTON BRICK COLOR: GIBSON	E	THIN STONE VENEER; MANUF.: BORAL LIMITED PRODUCT: CULTURED STONE COLOR: SAN FRANCISCO COBBLEFIELD
B	EXTERIOR INSULATION FINISHING SYSTEM (EIFS); MANUFACTURER: DRYVIT FINISH: SANDPEBBLE FINE NT FINISH COLOR: NATURAL-WHITE	F	TRIM BOARDS; MANUF.: CFS INTERNATIONAL PRODUCT: AZEK TRIM COLOR: WHITE
C	SIDING; MANUF.: JAMES HARDIE INDUSTRIES PRODUCT: HARDIEPLANK, CEDARMILL LAP SIDING COLOR: ARCTIC WHITE	G	STEPPED HORIZONTAL BAND; MANUF.: CFS INTERNATIONAL PRODUCT: AZEK TRIM COLOR: WHITE
D	ROOFING; MANUF.: GAF PRODUCT: TIMBERLINE ULTRA HD 30 YR COLOR: CHARCOAL	H	METAL ROOF; MANUF.: BERRIDGE MANUFACTURING PRODUCT: STANDING SEAM METAL ROOF COLOR: DARK GREY



ISSUED	DATE	DESCRIPTION
6	7/14/22	MSB SUBMITTAL
5	6/26/22	ADD. PARKING SPACE
4	5/11/22	TOWN HEARING
3	4/26/22	REVISED ELEVATION
2	4/15/22	REVISED FLOOR PLANS

CLIENT:
FRIEDMAN GROUP
1133 BROADWAY
HEWLETT, NY 11557

SHEET TITLE:
PROPOSED ELEVATIONS A & B

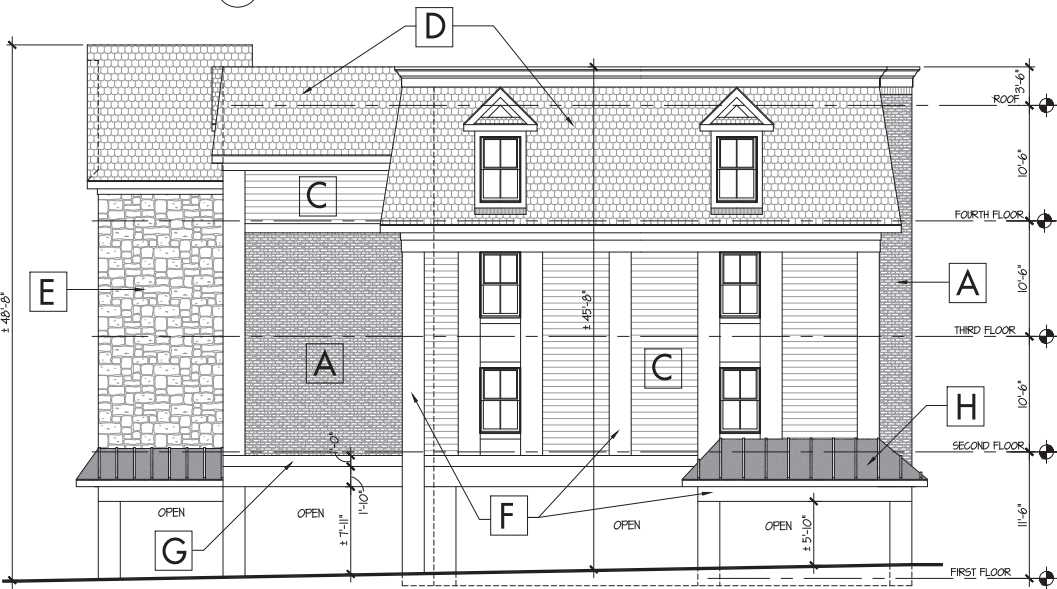
STATUS:

GRCH Project No.: 2022006
Scale: 1/16" = 1'-0"
Designed by: JG
Drawn by: JG
Checked by: JG
Date: 8 APRIL 2022

DRAWING No.:
ELEV-1
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C ELEVATION "C" (NORTHWEST-CORNER OF TULIP AVENUE & CARNATION AVENUE)
ELEV-2 3/16-1'-0"

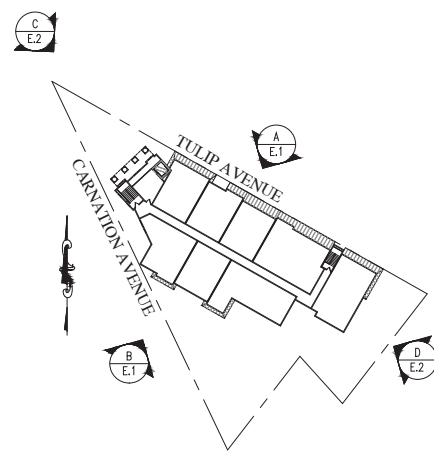


D ELEVATION "D" (SOUTHEAST)
ELEV-2 3/16-1'-0"

EXTERIOR FINISH LEGEND

A	THIN BRICK VENEER: MANUF.: DRAMPTON BRICK COLOR: GIBSON
B	EXTERIOR INSULATION FINISHING SYSTEM (EIFS): MANUFACTURER: DRYVIT FINISH: SANDPEBBLE FINE NT FINISH COLOR: NATURAL-WHITE
C	SIDING: MANUF.: JAMES HARDIE INDUSTRIES PRODUCT: HARDIEPLANK, CEDARMILL LAP SIDING COLOR: ARCTIC WHITE
D	ROOFING: MANUF.: GAF PRODUCT: TIMBERLINE ULTRA HD 30 YR COLOR: CHARCOAL
E	THIN STONE VENEER: MANUF.: BORAL LIMITED PRODUCT: CULTURED STONE COLOR: SAN FRANCISCO COBBLEFIELD
F	TRIM BOARDS: MANUF.: CPG INTERNATIONAL PRODUCT: AZEK TRIM COLOR: WHITE
G	STEPPED HORIZONTAL BAND: MANUF.: CPG INTERNATIONAL PRODUCT: AZEK TRIM COLOR: WHITE
H	METAL ROOF: MANUF.: BERRIDGE MANUFACTURING PRODUCT: STANDING SEAM METAL ROOF COLOR: DARK GREY

KEY PLAN



ONE CARNATION AVENUE
(CENTENNIAL HALL)
FLORAL PARK, NY 11001



ISSUED	DATE	DESCRIPTION
6	7/14/22	AMB SUBMITAL
5	6/26/22	ADDL PARKING SPACE
4	5/11/22	TOWN HEARING
3	4/26/22	REVISED ELEVATION
2	4/15/22	REVISED FLOOR PLANS

CLIENT:
FRIEDMAN GROUP
1133 BROADWAY
HEWLETT, NY 11557

SHEET TITLE:
PROPOSED ELEVATIONS C & D



STATUS:
GRCH Project No.: 2022006
Scale: 1/16"=1'-0"
Designed by: D
Drawn by: GC
Checked by: GC
Date: 8 APRIL 2022

DRAWING No.:
ELEV-2



STREET VIEW FROM CARNATION AVENUE

ONE CARNATION AVENUE, FLORAL PARK, NY
Inc. Village of Floral Park



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ARCHitecture
Architecture
Architecture



STREET VIEW FROM TULIP AVENUE



A handwritten signature in black ink, appearing to be "G.R. Cherveney".

ONE CARNATION AVENUE, FLORAL PARK, NY
Inc. Village of Floral Park

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