ARCHITECTURAL & PRELIMINARY SITE PLAN REVIEW BOARD

MICHAEL F. LONGOBARDI – VILLAGE TRUSTEE LIAISON
TIMOTHY T. TWEEDY, P.E. – CHAIRMAN
JOHN LOCKWOOD
ANTHONY KRUZYNSKI
ROGER KUEHNLENZ
EDWARD CHATTERTON

RENEE MARCUS, AIA – SUPERINTENDENT OF BUILDINGS
LUCILLE LANGONE – SECRETARY

JULY 26, 2023
8:00 pm
Note Location: Village Hall – Fire Fighters Hall, 2nd Floor

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
1	8:00 p.m.	24	Crocus Avenue	Solar	Ondina Pena-Francisco	Trinity Solar
2	8:05 p.m.	150	Tulip Avenue	Sign	Howard Hanna - Coach Realtors	Eclipse Signs
3	8:10 p.m.	19	Hill Street	Proposed New Garage and Front Vestibule	Mohammad Chaudhry	SyMetric Engineering, PC
4	8:15 p.m.	140	Beverly Avenue	Rear Patio Roof	James & Lynn Carleo	Bernard Rodgers, RA
5	8:20 p.m.	231	Violet Avenue	Portico	Peggyanne Hecker	Nicholas Feihel, RA
6	8:25 p.m.	287	Carnation Avenue	Rear Addition	Steve & Trish Deely	Bobby K Architects
7	8:30 p.m.	67	Remsen Lane	Re-submission - Maintain Garage Alteration	Kevin Baccari	Bobby K Architects
8	8:35 p.m.	65	Spruce Avenue	Re-submission - Pergola and Windows	Maria Mole	Mario R. Vergara Architect PC
9	8:40 p.m.	37	Whitney Avenue	Re-submission - Brick and Awnings	Jagdeep Singh	Cleaton Prevalus, RA

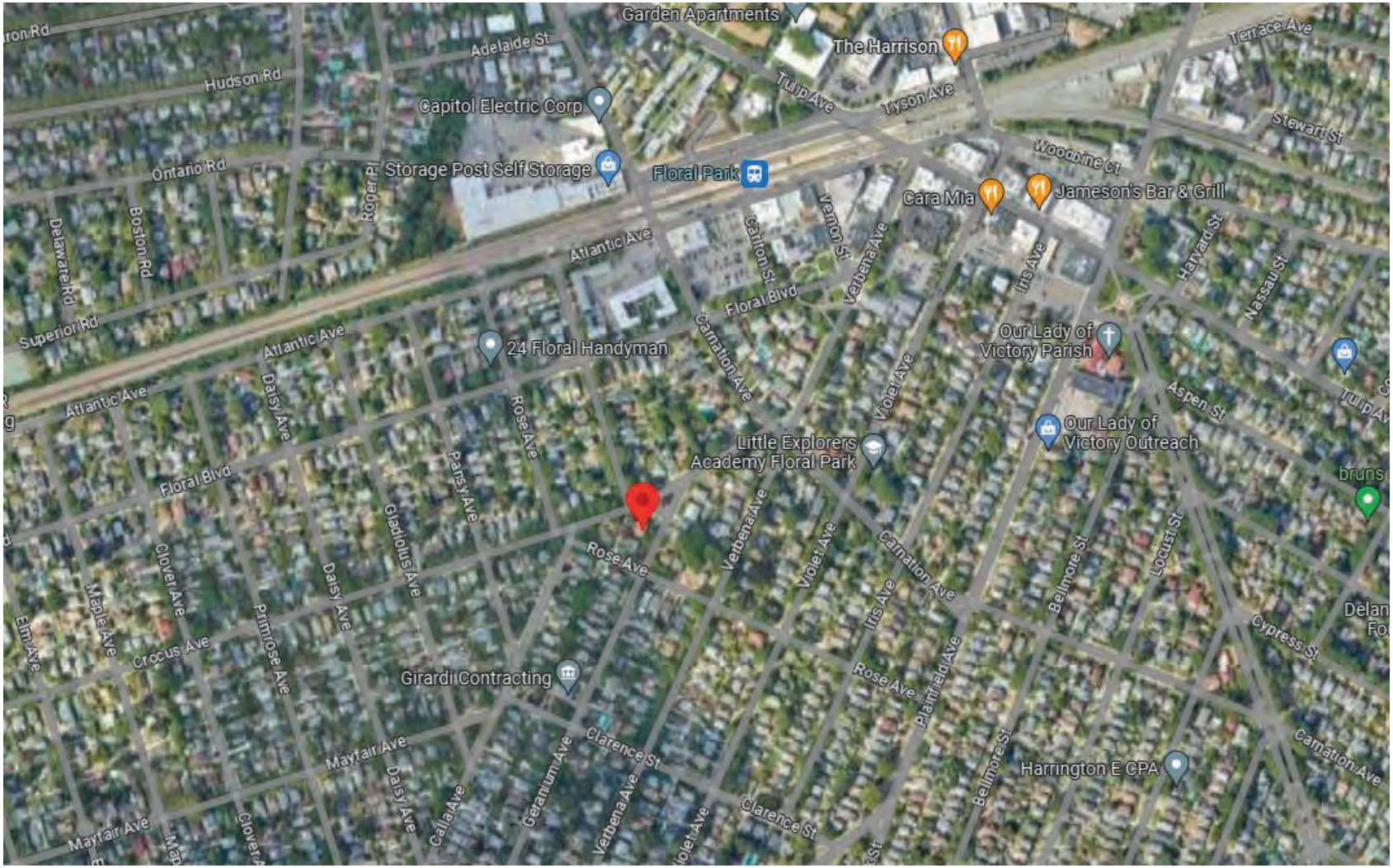
Questions about the projects can be emailed to ARB@FPVillage.org prior to the meeting to allow for the Village and Applicant to be prepared with answers.

Supporting documents will be posted to the Architectural Review Board web page at least 24 hours prior to the meeting.

Click here for the ARB webpage.

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
1	8:00 p.m.	24	Crocus Avenue	Solar	Ondina Pena-Francisco	Trinity Solar

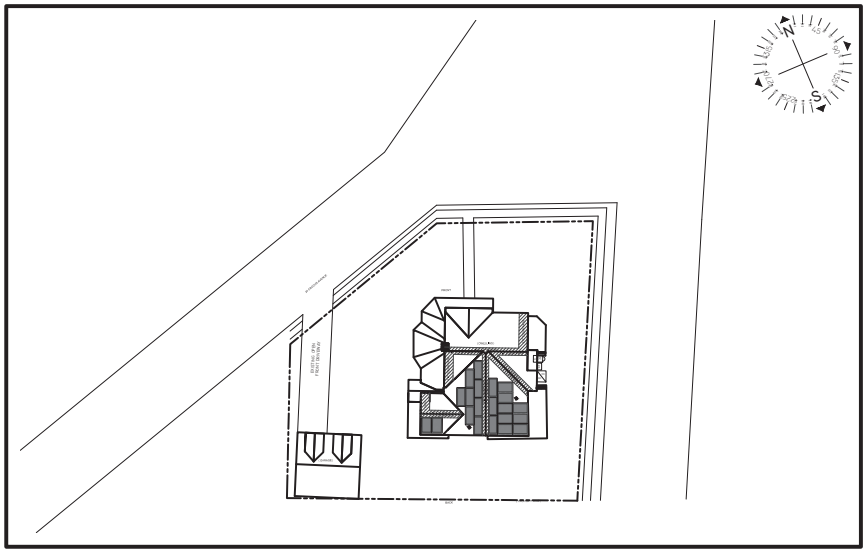
24 Crocus Avenue (Aerial View)



INSTALLATION OF NEW
ROOF MOUNTED PV SOLAR SYSTEM
24 CROCUS AVENUE
FLORAL PARK, NY 11001

VICINITY MAP
SCALE: NTS

SATELLITE VIEW



LOT DIAGRAM
SCALE: 1"=500'

GENERAL NOTES

1. THE INSTALLATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL EQUIPMENT AND FOLLOWING ALL DIRECTIONS AND INSTRUCTIONS CONTAINED IN THE DRAWING PACKAGE AND INFORMATION RECEIVED FROM TRINITY.
2. THE INSTALLATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL EQUIPMENT AND FOLLOWING ALL DIRECTIONS AND INSTRUCTION CONTAINED IN THE COMPLETE MANUAL.
3. THE INSTALLATION CONTRACTOR IS RESPONSIBLE FOR READING AND UNDERSTANDING ALL DRAWINGS, COMPONENT AND INVERTER MANUALS PRIOR TO INSTALLATION. THE INSTALLATION CONTRACTOR IS ALSO REQUIRED TO HAVE ALL COMPONENT SWITCHES IN THE OFF POSITION AND FUSES REMOVED PRIOR TO THE INSTALLATION OF ALL FUSES BEARING SYSTEM COMPONENTS.
4. ONCE THE PHOTOVOLTAIC MODULES ARE MOUNTED, THE INSTALLATION CONTRACTOR SHOULD HAVE A MINIMUM OF ONE ELECTRICIAN WHO HAS ATTENDED A SOLAR PHOTOVOLTAIC INSTALLATION COURSE ON SITE.
5. FOR SAFETY, IT IS RECOMMENDED BY THE MANUFACTURE THAT THE INSTALLATION CREW ALWAYS HAVE A MINIMUM OF TWO PERSONS WORKING TOGETHER AND THAT EACH OF THE INSTALLATION CREW MEMBERS BE TRAINED IN FIRST AID AND CPR.
6. THIS SOLAR PHOTOVOLTAIC SYSTEM IS TO BE INSTALLED FOLLOWING THE CONVENTIONS OF THE NATIONAL ELECTRIC CODE. ANY LOCAL CODE WHICH MAY SUPERSEDE THE NEC SHALL GOVERN.
7. ALL SYSTEM COMPONENTS TO BE INSTALLED WITH THIS SYSTEM ARE TO BE "UL" LISTED. ALL EQUIPMENT WILL BE NEMA 3R OUTDOOR RATED UNLESS INDOORS.
8. 8. THE DC VOLTAGE FROM THE PANELS IS ALWAYS PRESENT AT THE DC DISCONNECT ENCLOSURE AND THE DC TERMINALS OF THE INVERTER DURING

GENERAL NOTES CONTINUED

8. DAYLIGHT HOURS. ALL PERSONS WORKING ON OR INVOLVED WITH THE PHOTOVOLTAIC SYSTEM ARE WARNED THAT THE SOLAR MODULES ARE ENERGIZED WHENEVER THEY ARE EXPOSED TO LIGHT.
9. ALL PORTIONS OF THIS SOLAR PHOTOVOLTAIC SYSTEM SHALL BE MARKED CLEARLY IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE ARTICLE 690.
10. PRIOR TO THE INSTALLATION OF THIS PHOTOVOLTAIC SYSTEM, THE INSTALLATION CONTRACTOR SHALL ATTEND A PRE-INSTALLTION MEETING FOR THE REVIEW OF THE INSTALLATION PROCEDURES, SCHEDULES, SAFETY AND COORDINATION.
11. PRIOR TO THE SYSTEM START UP THE INSTALLATION CONTRACTOR SHALL ASSIST IN PERFORMING ALL INITIAL HARDWARE CHECKS AND DC WIRING CONDUCTIVITY CHECKS.
12. FOR THE PROPER MAINTENANCE AND ISOLATION OF THE INVERTS REFER TO THE ISOLATION PROCEDURES IN THE OPERATION MANUAL.
13. THE LOCATION OF PROPOSED ELECTRIC AND TELEPHONE UTILITIES ARE SUBJECT TO FINAL APPROVAL OF THE APPROPRIATE UTILITY COMPANIES AND OWNERS.
14. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREIN SHALL BE IN ACCORDANCE WITH:
    A) CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS
    B) CURRENT PREVAILING UTILITY COMPANY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS
15. THIS SET OF PLANS HAVE BEEN PREPARED FOR THE PURPOSE OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. ONCE APPROVED, THE INSTALLATION CONTRACTOR IS

GENERAL NOTES CONTINUED

15. RESPONSIBLE FOR INSTALLING ALL SYSTEM COMPONENTS AS DESCRIBED IN THE DRAWING PACKAGE.
16. ALL INFORMATION SHOWN MUST BE CERTIFIED PRIOR TO USE FOR CONSTRUCTION ACTIVITIES.

ABBREVIATIONS

AMP	AMPERE
AC	ALTERNATING CURRENT
AL	ALUMINUM
AF	AMP, FRAME
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AWG	AMERICAN WIRE GAUGE
C	CONDUIT (GENERIC TERM OF RACEWAY, PROVIDE AS SPECIFIED)
CB	COMBINER BOX
CKT	CIRCUIT
CT	CURRENT TRANSFORMER
CU	COPPER
DC	DIRECT CURRENT
DISC	DISCONNECT SWITCH
DWG	DRAWING
EC	ELECTRICAL SYSTEM INSTALLER
EMT	ELECTRICAL METALLIC TUBING
FS	FUSIBLE SWITCH
FU	FUSE
GND	GROUND
GFI	GROUND FAULT INTERRUPTER
HZ	FREQUENCY (CYCLES PER SECOND)

ABBREVIATIONS CONTINUED

JB	JUNCTION BOX
kCMIL	THOUSAND CIRCULAR MILS
kVA	KILO-VOLT AMPERE
kW	KILO-WATT
kWH	KILO-WATT HOUR
L	LINE
MCB	MAIN CIRCUIT BREAKER
MDP	MAIN DISTRIBUTION PANEL
MLO	MAIN LUG ONLY
MTD	MOUNTED
MTG	MOUNTING
N	NEUTRAL
NEC	NATIONAL ELECTRICAL CODE
NIC	NOT IN CONTRACT
NO #	NUMBER
NTS	NOT TO SCALE
OCP	OVER CURRENT PROTECTION
P	POLE
PB	PULL BOX
PH ∅	PHASE
PVC	POLY-VINYL CHLORIDE CONDUIT
PWR	POWER
QTY	QUANTITY
RGS	RIGID GALVANIZED STEEL
SN	SOLID NEUTRAL
JSWBD	SWITCHBOARD
TYP	TYPICAL
U.O.I.	UNLESS OTHERWISE INDICATED
WP	WEATHERPROOF
XFMR	TRANSFORMER
+72	MOUNT 72 INCHES TO BOTTOM OF ABOVE FINISHED FLOOR OR GRADE

DRAWING INDEX

1. T- 001.00 - COVER SHEET
2. S- 001.00 - ROOF LAYOUT
3. S- 002.00 - ELEVATION DETAILS
4. S- 003.00 - ELEVATION DETAILS
5. S- 004.00 CLIMATIC & GEOGRAPHICAL MAP
6. E- 001.00 - ELECTRICAL 3 LINE DIAGRAM

APP DRAWING APPENDIX

***NOTE: To the best of the knowledge, belief, and professional judgment of the undersigned, the plans and specifications depicted on these drawings are in compliance with the applicable provisions of the 2020 New York State Uniform Fire Prevention and Building Code and all supplements.

STATE OF NEW YORK
IHOR MICHAEL BOJCUN
095675
LICENSED PROFESSIONAL ENGINEER

Issued / Revisions

NO.	DESCRIPTION	DATE
R2	SYSTEM SIZE DECREASE	4/14/2023
R1	NOTES REVISION	3/23/2023
P1	ISSUED TO TOWNSHIP FOR PERMIT	3/14/2023

Project Title:

PENA, ONDINA-

TRINITY ACCT #: 2022-07-737963

Project Address:

24 CROCUS AVENUE
FLORAL PARK, NY 11001
40.721474,-73.707765

Drawing Title:

COVER SHEET

Drawing Information

DRAWING DATE:	3/14/2023
DRAWN BY:	KTD
REVISED BY:	IG

System Information:

DC SYSTEM SIZE:	8.4kW
AC SYSTEM SIZE:	7.6kW
MODULE COUNT:	21
MODULES USED:	HANWHA 400
MODULE SPEC #:	Q.PEAK DUO BLK ML-G10+ 400
UTILITY COMPANY:	PSEG-LI
UTILITY ACCT #:	5151432804
UTILITY METER #:	98430100
DEAL TYPE:	SUNNOVA

DWG No:

T-001.00

PAGE: 1 OF 6

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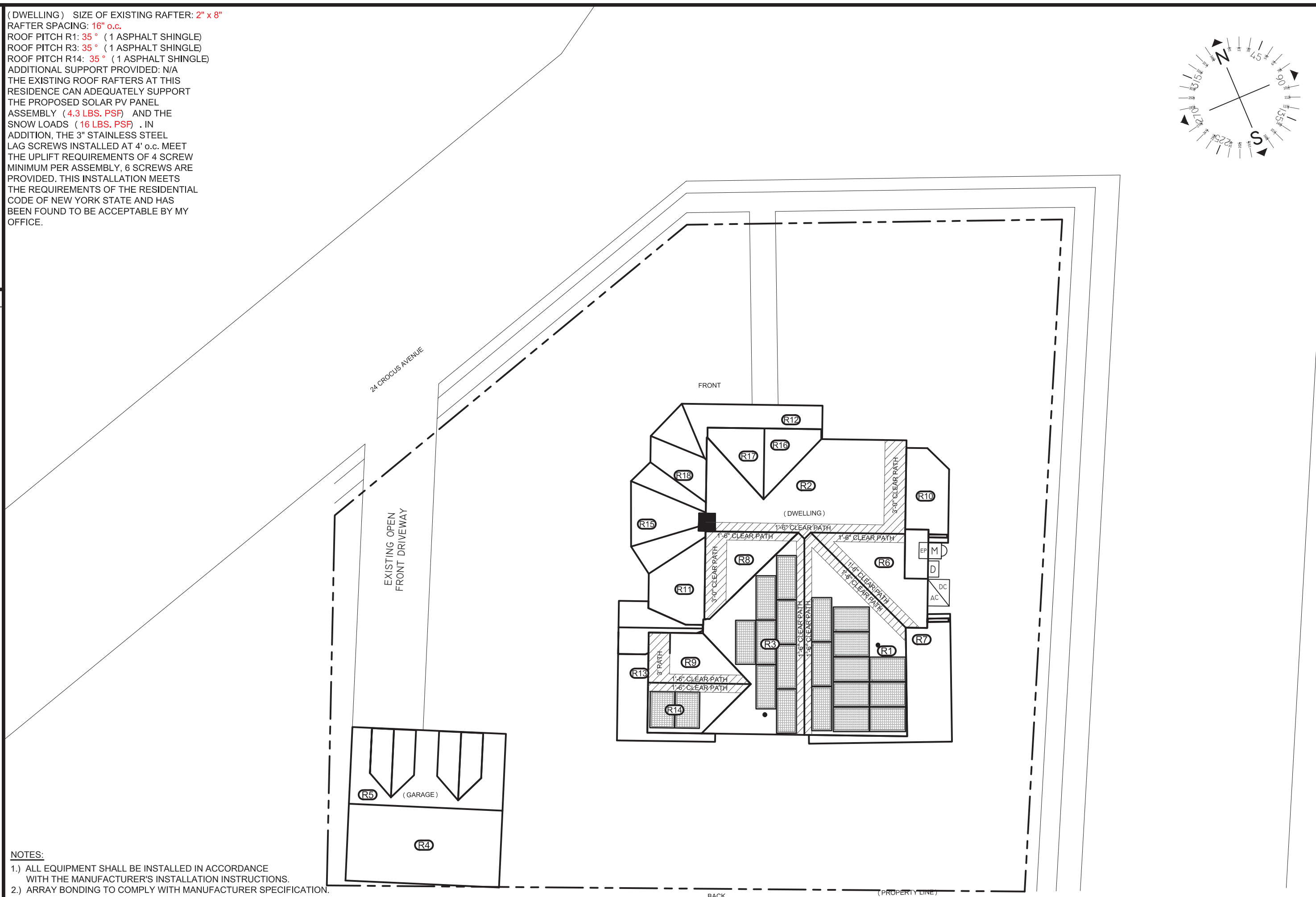
(DWELLING) SIZE OF EXISTING RAFTER: 2" x 8"
RAFTER SPACING: 16" o.c.
ROOF PITCH R1: 35 ° (1 ASPHALT SHINGLE)
ROOF PITCH R3: 35 ° (1 ASPHALT SHINGLE)
ROOF PITCH R14: 35 ° (1 ASPHALT SHINGLE)
ADDITIONAL SUPPORT PROVIDED: N/A
THE EXISTING ROOF RAFTERS AT THIS RESIDENCE CAN ADEQUATELY SUPPORT THE PROPOSED SOLAR PV PANEL ASSEMBLY (4.3 LBS. PSF) AND THE SNOW LOADS (16 LBS. PSF). IN ADDITION, THE 3" STAINLESS STEEL LAG SCREWS INSTALLED AT 4' o.c. MEET THE UPLIFT REQUIREMENTS OF 4 SCREW MINIMUM PER ASSEMBLY, 6 SCREWS ARE PROVIDED. THIS INSTALLATION MEETS THE REQUIREMENTS OF THE RESIDENTIAL CODE OF NEW YORK STATE AND HAS BEEN FOUND TO BE ACCEPTABLE BY MY OFFICE.



NOTES:
1.) ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2.) ARRAY BONDING TO COMPLY WITH MANUFACTURER SPECIFICATION.
3.) ALL LOCATIONS ARE APPROXIMATE AND REQUIRE FIELD VERIFICATION.
4.) AN AC DISCONNECT SHALL BE GROUPED WITH INVERTER (S) NEC 690.13 (E).
5.) ALL OUTDOOR EQUIPMENT SHALL BE RAIN TIGHT WITH MINIMUM NEMA 3R RATING.
6.) ROOFTOP SOLAR INSTALLATION ONLY PV ARRAY SHALL NOT EXTEND BEYOND THE EXISTING ROOF EDGE.

ARRAY SCHEDULE

ROOF 1
MODULES: 11
PITCH: 35
ORIENTATION: 112

ROOF 2
MODULES: 0
PITCH: 35°
ORIENTATION: 24°

ROOF 3
MODULES: 8
PITCH: 35
ORIENTATION: 294

ROOF 4
MODULES: 0
PITCH: 21°
ORIENTATION: 206°

ROOF 5
MODULES: 0
PITCH: 21°
ORIENTATION: 26°

ROOF 6
MODULES: 0
PITCH: 35°
ORIENTATION: 204°

ROOF 7
MODULES: 0
PITCH: 23°
ORIENTATION: 112°

ROOF 8
MODULES: 0
PITCH: 35°
ORIENTATION: 204°

ROOF 9
MODULES: 0
PITCH: 35°
ORIENTATION: 24°

ROOF 10
MODULES: 0
PITCH: 23°
ORIENTATION: 114°

ROOF 11
MODULES: 0
PITCH: 14°
ORIENTATION: 294°

ROOF 12
MODULES: 0
PITCH: 14°
ORIENTATION: 24°

ROOF 13
MODULES: 0
PITCH: 14°
ORIENTATION: 294°

ROOF 14
MODULES: 2
PITCH: 35
ORIENTATION: 204

ROOF 15
MODULES: 0
PITCH: 12°
ORIENTATION: 293°

ROOF 16
MODULES: 0
PITCH: 37°
ORIENTATION: 114°

ROOF 17
MODULES: 0
PITCH: 37°
ORIENTATION: 294°

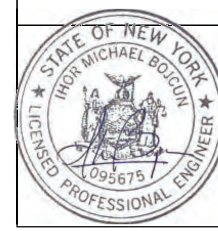
ROOF 18
MODULES: 0
PITCH: 14°
ORIENTATION: 294°

SYMBOL LEGEND

R1	INDICATES ROOF DESIGNATION. REFER TO ARRAY SCHEDULE FOR MORE INFORMATION	UD	INDICATES NEW UNFUSED PV DISCONNECT TO BE INSTALLED OUTSIDE (UTILITY ACCESSIBLE)	SP	INDICATES NEW PV ONLY SUBPANEL TO BE INSTALLED
M	INDICATES EXISTING METER LOCATION		INDICATES NEW PV SOLAR MODULE. RED MODULES INDICATE PANELS THAT USE MICRO INVERTERS. REFER TO EQUIPMENT SCHEDULE FOR SPECS.	DC	INDICATES NEW DC DISCONNECT
EP	INDICATES EXISTING ELECTRICAL PANEL LOCATION: IN BASEMENT	P	INDICATES NEW PRODUCTION METER TO BE INSTALLED OUTSIDE.	SD	INDICATES EXISTING SERVICE DISCONNECT
D	INDICATES NEW FUSED PV DISCONNECT TO BE INSTALLED OUTSIDE (UTILITY ACCESSIBLE)	DC/AC	INDICATES NEW INVERTER TO BE INSTALLED OUTSIDE. REFER TO EQUIPMENT SCHEDULE FOR SPECS.	TS	INDICATES EXISTING TRANSFER SWITCH

EQUIPMENT SCHEDULE

QTY	SPEC #
21	HANWHA 400 (Q.PEAK DUO BLK ML-G10+ 400)
1	SE7600H-US000BEi4



Issued / Revisions

NO.	DESCRIPTION	DATE
R2	SYSTEM SIZE DECREASE	4/14/2023
R1	NOTES REVISION	3/23/2023
P1	ISSUED TO TOWNSHIP FOR PERMIT	3/14/2023

Project Title:
PENA, ONDINA-
TRINITY ACCT #: 2022-07-737963

Project Address:
24 CROCUS AVENUE
FLORAL PARK, NY 11001
40.721474,-73.707765

Drawing Title:
PROPOSED PV SOLAR SYSTEM

Drawing Information

DRAWING DATE:	3/14/2023
DRAWN BY:	KTD
REVISED BY:	IG

System Information:

DC SYSTEM SIZE:	8.4kW
AC SYSTEM SIZE:	7.6kW
MODULE COUNT:	21
MODULES USED:	HANWHA 400
MODULE SPEC #:	Q.PEAK DUO BLK ML-G10+ 400
UTILITY COMPANY:	PSEG-LI
UTILITY ACCT #:	5151432804
UTILITY METER #:	98430100
DEAL TYPE:	SUNNOVA

DWG No.
S-001.00
PAGE: 2 OF 6

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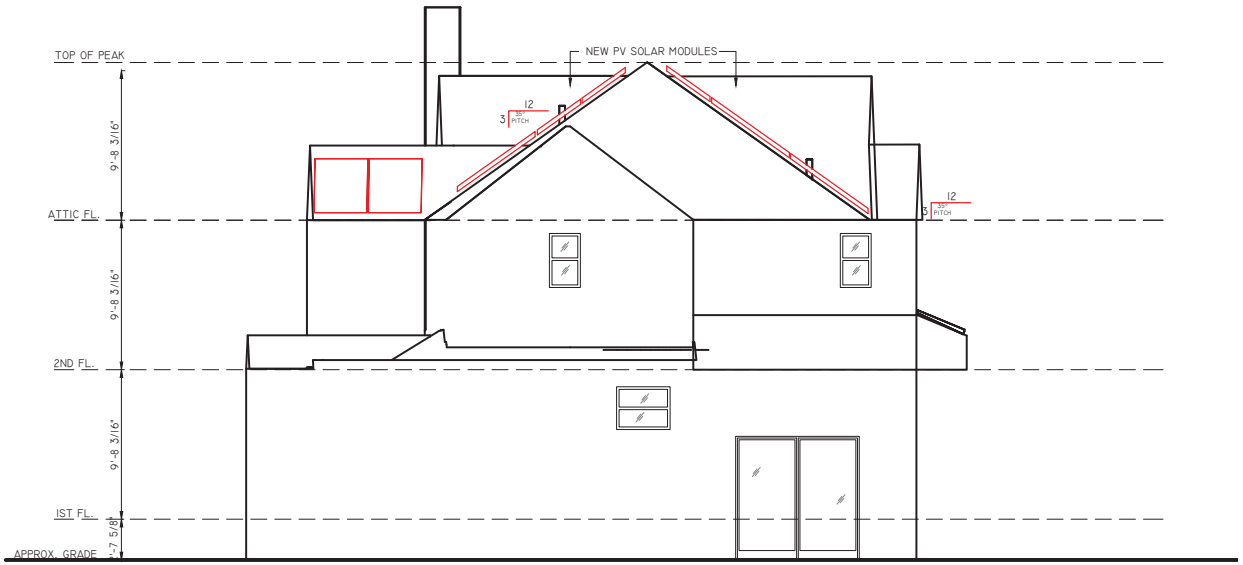
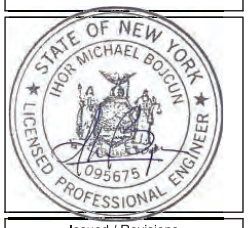


SOUTH ELEVATION
SCALE: 1/8"=1'-0"

NORTH ELEVATION
SCALE: 1/8"=1'-0"



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TRINITY ACCT #: 2022-07-737963

Project Address:

24 CROCUS AVENUE
FLORAL PARK, NY 11001
40.721474,-73.707765

Drawing Title:

ELEVATION DRAWING

Drawing Information

DRAWING DATE:	3/14/2023
DRAWN BY:	KTD
REVISED BY:	IG

System Information:

DC SYSTEM SIZE:	8.4kW
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MODULE SPEC #:	Q.PEAK DUO BLK ML-G10+ 400
UTILITY COMPANY:	PSEG-LI
UTILITY ACCT #:	5151432804
UTILITY METER #:	98430100
DEAL TYPE:	SUNNOVA

DWG No.

S-002.00

PAGE: 3 OF 6

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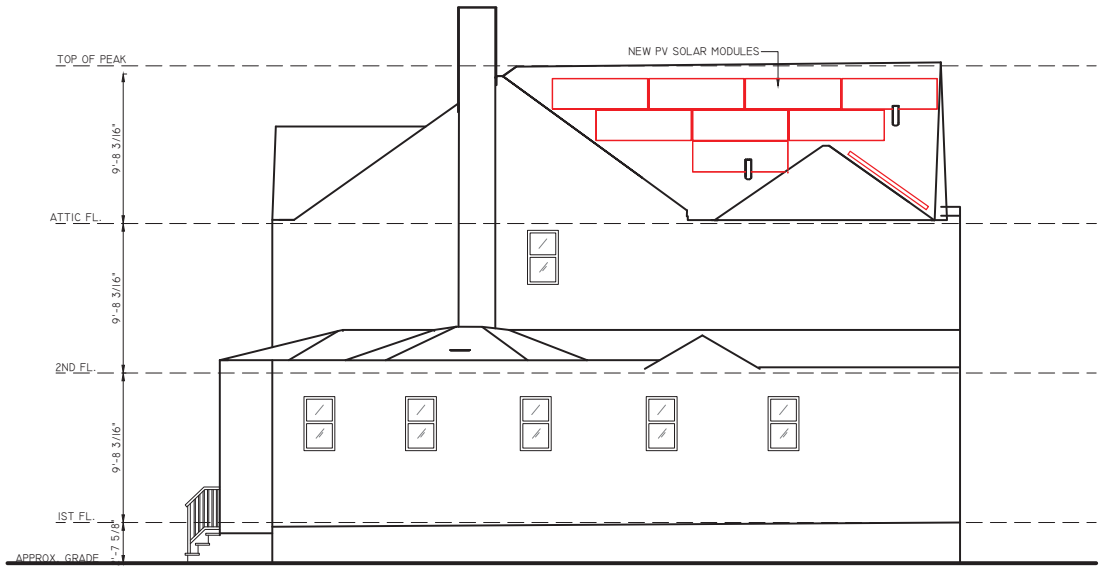
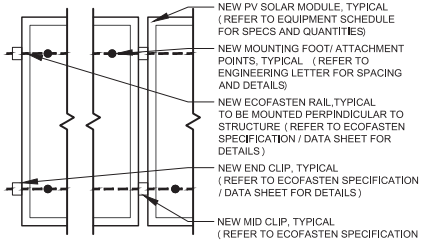
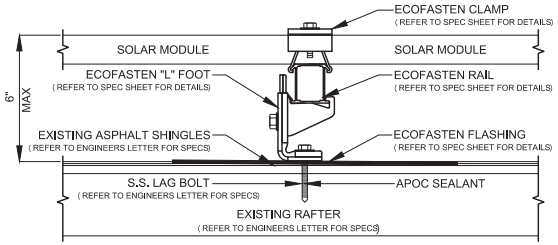


WEST ELEVATION
SCALE: 1/8"=1'-0"

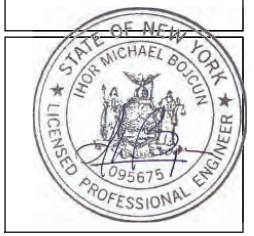
NOTES : *REFER TO MODULE SPECS FOR MODULE DIMENSIONS
*DEPICTED MODULES MAY BE PORTRAIT OR LANDSCAPE



ATTACHMENT & CLIP DETAIL
SCALE: NOT TO SCALE



PV MODULE ATTACHMENT ON ASPHALT SHINGLE ROOF
SCALE: NOT TO SCALE



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TRINITY ACCT #: 2022-07-737963

Project Address:

24 CROCUS AVENUE
FLORAL PARK, NY 11001
40.721474,-73.707765

Drawing Title:

ELEVATION DRAWING

Drawing Information

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DRAWN BY:	KTD
REVISED BY:	IG

System Information:

DC SYSTEM SIZE:	8.4kW
AC SYSTEM SIZE:	7.6kW
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MODULE SPEC #:	Q.PEAK DUO BLK ML-G10+ 400
UTILITY COMPANY:	PSEG-LI
UTILITY ACCT #:	5151432804
UTILITY METER #:	98430100
DEAL TYPE:	SUNNOVA

DWG No.

S-003.00

PAGE: 4 OF 6

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ARRAY CIRCUIT WIRING NOTES
1.) LICENSED ELECTRICIAN ASSUMES ALL RESPONSIBILITY FOR DETERMINING ONSITE CONDITIONS AND EXECUTING INSTALLATION IN ACCORDANCE WITH

NEC 2017

2.) LOWEST EXPECTED AMBIENT TEMPERATURE BASED ON ASHRAE MINIMUM MEAN EXTREME DRY BULB TEMPERATURE FOR ASHRAE LOCATION MOST SIMILAR TO INSTALLATION LOCATION. LOWEST EXPECTED AMBIENT TEMP = **-16°C**

3.) HIGHEST CONTINUOUS AMBIENT TEMPERATURE BASED ON ASHRAE HIGHEST MONTH 2% DRY BULB TEMPERATURE FOR ASHRAE LOCATION MOST SIMILAR TO INSTALLATION LOCATION. HIGHEST CONTINUOUS TEMP = **33°C**

4.) 2005 ASHRAE FUNDAMENTALS 2% DESIGN TEMPERATURES DO NOT EXCEED 47°C IN THE UNITED STATES (PALM SPRINGS, CA IS 44.1°C). FOR LESS THAN 9 CURRENT-CARRYING CONDUCTORS IN A ROOF-MOUNTED SUNLIT CONDUIT AT LEAST 0.5" ABOVE ROOF AND USING THE OUTDOOR DESIGN TEMPERATURE OF 47°C OR LESS (ALL OF UNITED STATES)

5.) PV SYSTEM CIRCUITS INSTALLED ON OR IN BUILDINGS SHALL INCLUDE A RAPID SHUTDOWN FUNCTION THAT CONTROLS SPECIFIC CONDUCTORS IN ACCORDANCE WITH NEC 690.12(A) THROUGH (D)

6.) PHOTOVOLTAIC POWER SYSTEMS SHALL BE PERMITTED TO OPERATE WITH UNGROUNDED PHOTOVOLTAIC SOURCE AND OUTPUT CIRCUIT AS PER **NEC 690.41 (A)(4)**

7.) UNGROUNDED DC CIRCUIT CONDUCTORS SHALL BE IDENTIFIED WITH THE FOLLOWING OUTER FINISH:
POSITIVE CONDUCTORS = RED
NEGATIVE CONDUCTORS = BLACK
NEC 210.5(C)(2)

8.) ARRAY AND SUB ARRAY CONDUCTORS SHALL BE #10 PV WIRE TYPE RHW-2 OR EQUIVELANT AND SHALL BE PROTECTED BY CONDUIT WHERE EXPOSED TO DIRECT SUNLIGHT. SUB ARRAY CONDUIT LONGER THAN 24" SHALL CONTAIN ≤ 20 CURRENT CARYING CONDUCTORS AND WHERE EXPOSED TO DIRECT SUNLIGHT SHALL CONTAIN ≤ 9 CURRENT CARRYING CONDUCTORS.

9.) ALL WIRE LENGTHS SHALL BE LESS THAN 100' UNLESS OTHERWISE NOTED

10.) FLEXIBLE CONDUIT SHALL NOT BE INSTALLED ON ROOFTOP AND SHALL BE LIMITED TO 12" IF USED OUTDOORS

11.)OVERCURRENT PROTECTION FOR CONDUCTORS CONNECTED TO THE SUPPLY SIDE OF A SERVICE SHALL BE LOCATED WITHIN 10' OF THE POINT OF CONNECTION NEC 705.31

12.) WHERE TWO SOURCES FEED A BUSSBAR, ONE A UTILITY AND THE OTHER AN INVERTER, PV BACKFEED BREAKER(S) SHALL BE LOCATED OPPOSITE FROM UTILITY **NEC 705.12(B)(2)(3)(b)**

13.) ALL SOLAR SYSTEM LOAD CENTERS TO CONTAIN ONLY GENERATION CIRCUITS AND NO UNUSED POSITIONS OR LOADS

14.) ALL EQUIPMENT INSTALLED OUTDOORS SHALL HAVE A **NEMA 3R** RATING

CALCULATIONS FOR CURRENT CARRYING CONDUCTORS
REQUIRED CONDUCTOR AMPACITY PER STRING
[**NEC 690.8(B)(1)**]: (15.00*1.25)1 = 18.75A

AWG #10, DERATED AMPACITY
AMBIENT TEMP: 33°C, TEMP DERATING FACTOR: .96
RACEWAY DERATING = 4 CCC: 0.80
(40*.96)0.80 = 30.72A

30.72A ≥ 18.75A, THEREFORE WIRE SIZE IS VALID

TOTAL AC REQUIRED CONDUCTOR AMPACITY
32.00A*1.25 = 40.00A

AWG #8, DERATED AMPACITY
AMBIENT TEMP: 30°C, TEMP DERATING: 1.0
RACEWAY DERATING ≤ 3 CCC: N/A
55A*1.0 = 55A

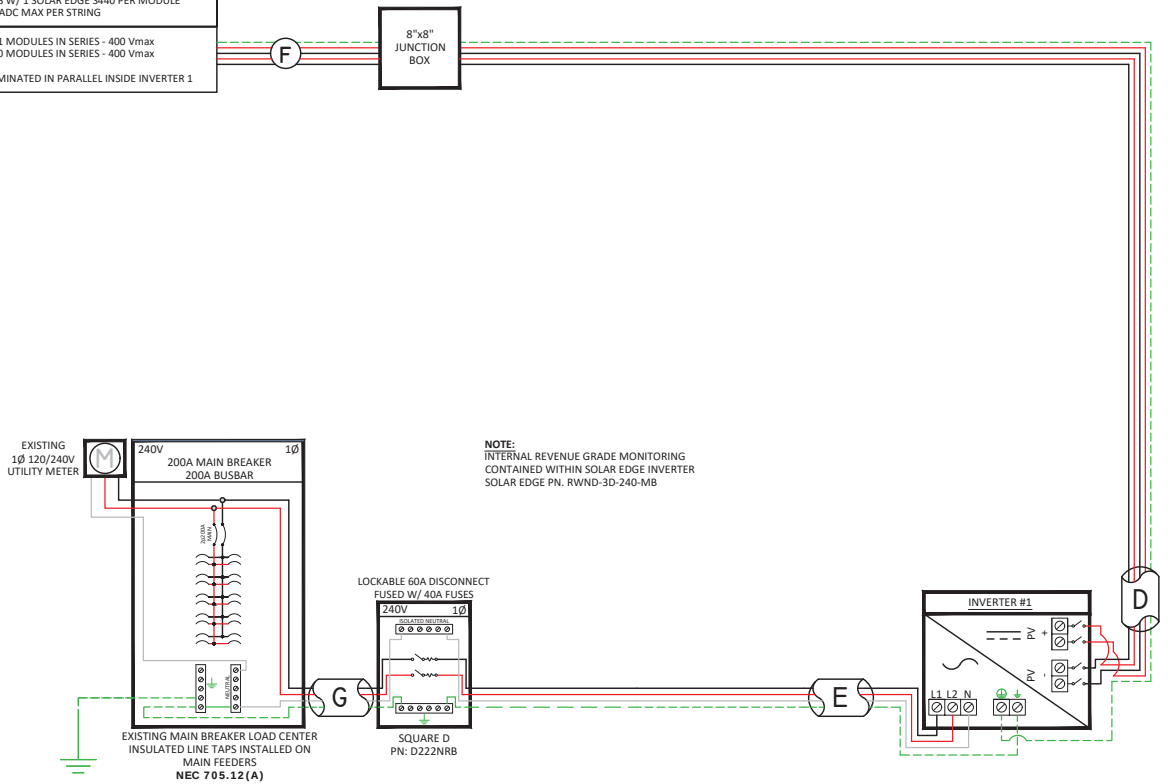
55A ≥ 40.00A, THEREFORE AC WIRE SIZE IS VALID

CALCULATION FOR PV OVERCURRENT PROTECTION
TOTAL INVERTER CURRENT: 32.00A
32.00A*1.25 = 40.00A
--> 40A OVERCURRENT PROTECTION IS VALID

SOLAR MODULES MOUNTED TO ROOF ON 3 ARRAYS
21 - 400W MODULES W/ 1 SOLAR EDGE S440 PER MODULE
15 ADC MAX PER STRING

1 STRING OF 11 MODULES IN SERIES - 400 Vmax
1 STRING OF 10 MODULES IN SERIES - 400 Vmax

*2 STRINGS TO BE TERMINATED IN PARALLEL INSIDE INVERTER 1



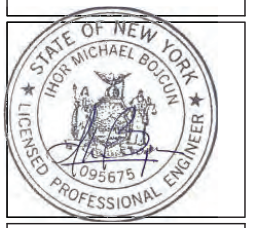
NOTE:
INTERNAL REVENUE GRADE MONITORING CONTAINED WITHIN SOLAR EDGE INVERTER
SOLAR EDGE PN. RWND-3D-240-MB

PV MODULE SPECIFICATIONS	
HANWHA 400 (Q.PEAK DUO BLK ML-G10+ 400)	
Imp	10.77
Vmp	37.13
Voc	45.3
Isc	11.14

INVERTER #1 - SE7600H-US000BEI4			
DC		AC	
Imp	20	Pout	7600
Vmp	400	Imax	32
Voc	480	OCPDmin	40
Isc	30	Vnom	240

NOTE: CONDUIT TYPE SHALL BE CHOSEN BY THE INSTALLATION CONTRACTOR TO MEET OR EXCEED NEC AND LOCAL AHJD REQUIREMENTS

A	#6 THWN-2 GEC TO EXISTING GROUND ROD
B	1" CONDUIT W/ 2-#8 THWN-2, 1-#10 THWN-2, 1-#10 THWN-2 GROUND
C	1" CONDUIT W/ 4-#10 THWN-2, 1-#10 THWN-2 GROUND
D	1" CONDUIT W/ 4-#10 THWN-2, 1-#10 THWN-2 GROUND
E	1" CONDUIT W/ 2-#8 THWN-2, 1-#10 THWN-2, 1-#10 THWN-2 GROUND
F	#10 PV WIRE (FREE AIR) W/ #6 BARE COPPER BOND TO ARRAY
G	1" CONDUIT W/ 2-#6 THWN-2, 1-#6 THWN-2, 1-#8 THWN-2 GROUND



Issued / Revisions

NO.	DESCRIPTION	DATE
R2	SYSTEM SIZE DECREASE	4/14/2023
R1	NOTES REVISION	3/23/2023
P1	ISSUED TO TOWNSHIP FOR PERMIT	3/14/2023

Project Title:
PENA, ONDINA-
TRINITY ACCT #: 2022-07-737963

Project Address:
24 CROCUS AVENUE
FLORAL PARK, NY 11001
40.721474,-73.707765

Drawing Title:
ELECTRICAL 3-LINE DRAWING

Drawing Information

DRAWING DATE:	3/14/2023
DRAWN BY:	KTD
REVISED BY:	IG

System Information:

DC SYSTEM SIZE:	8.4kW
AC SYSTEM SIZE:	7.6kW
MODULE COUNT:	21
MODULES USED:	HANWHA 400
MODULE SPEC #:	Q.PEAK DUO BLK ML-G10+ 400
UTILITY COMPANY:	PSEG-LI
UTILITY ACCT #:	5151432804
UTILITY METER #:	98430100
DEAL TYPE:	SUNNOVA

DWG No.
E-001.00
PAGE: 6 OF 6

Trinity® SOLAR
2211 Allenwood Road
Wall, New Jersey 07719
877-786-7283
www.Trinity-Solar.com

NOTES:
1.) COMPLIES WITH NEC 2017
2.) REFER TO SHEET PV-3 FOR SITE SPECIFIC VALUES REQUIRED BY NEC 690
3.) STICKERS, LABELS, AND PLACKARDS SHALL BE OF SUFFICIENT DURRABILITY TO WITHSTAND THE ENVIROMENT INVOLVED

Trinity® SOLAR

To be located on all DC junction boxes and every 10' on DC conduit

WARNING: PHOTOVOLTAIC POWER SOURCE
NEC 690.31(G)

DC Junction Box

Soladeck

DC Conduit

SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN
NEC 690.56(C)(1)(A)

Service Disconnect

SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN
NEC 690.56(C)(1)(A)

If System is Backfed Breaker
WARNING
NEC 705.12(B)(2)
PHOTOVOLTAIC AC DISCONNECT
NEC 690.54

Main Service Panel

Utility

Utility Meter Socket

WARNING
ELECTRICAL SHOCK HAZARD
NEC 690.13(B)

Solar Meter Socket

RAPID SHUTDOWN SWITCH FOR SOLAR PV SYSTEM
690.56(C)(3)

WARNING
ELECTRICAL SHOCK HAZARD
NEC 690.13(B)

PHOTOVOLTAIC AC DISCONNECT
NEC 690.54

Photovoltaic AC Disconnect

PHOTOVOLTAIC AC DISCONNECT
NEC 690.54

Load Center (To Combine Inverters)

RAPID SHUTDOWN SWITCH FOR SOLAR PV SYSTEM
690.56(C)(3)

WARNING
ELECTRICAL SHOCK HAZARD
NEC 690.13(B)

PHOTOVOLTAIC DC DISCONNECT
NEC 690.4(B)

MAXIMUM VOLTAGE
MAXIMUM CIRCUIT CURRENT
MAX RATED OUTPUT CURRENT OF THE CHARGE CONTROLLER OR DC-TO-DC CONVERTER (IF INSTALLED)
NEC 690.53

Inverter(s)

PHOTOVOLTAIC DC DISCONNECT
NEC 690.4(B)

MAXIMUM VOLTAGE
MAXIMUM CIRCUIT CURRENT
MAX RATED OUTPUT CURRENT OF THE CHARGE CONTROLLER OR DC-TO-DC CONVERTER (IF INSTALLED)
NEC 690.53

DC Disconnect

WARNING
ELECTRICAL SHOCK HAZARD
NEC 690.13(B)

Enphase Envoy Box

powered by Q.ANTUM DUO Z

Q.PEAK DUO BLK ML-G10.a+

385-405

ENDURING HIGH PERFORMANCE

BREAKING THE 20% EFFICIENCY BARRIER

Q.ANTUM DUO Z Technology with zero gap cell layout boosts module efficiency up to 20.9%.

THE MOST THOROUGH TESTING PROGRAMME IN THE INDUSTRY

Q CELLS is the first solar module manufacturer to pass the most comprehensive quality programme in the industry: The new "Quality Controlled PV" of the independent certification institute TÜV Rheinland.

INNOVATIVE ALL-WEATHER TECHNOLOGY

Optimal yields, whatever the weather with excellent low-light and temperature behaviour.

ENDURING HIGH PERFORMANCE

Long-term yield security with Anti LID Technology, Anti PID Technology[1], Hot-Spot Protect and Traceable Quality Tra.Q™.

EXTREME WEATHER RATING

High-tech aluminium alloy frame, certified for high snow (5400 Pa) and wind loads (4000 Pa).

A RELIABLE INVESTMENT

Inclusive 25-year product warranty and 25-year linear performance warranty[2].

[1] APR: test conditions according to IEC/TS 62804-1:2015, method A (-1500 V, 96 h)
[2] See data sheet on rear for further information.

THE IDEAL SOLUTION FOR:

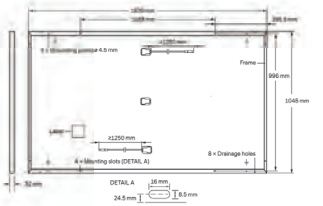
Rooftop arrays on residential buildings

Engineered in Germany

Q CELLS

MECHANICAL SPECIFICATION

Format	1879 mm × 1045 mm × 32 mm (including frame)
Weight	22.0 kg
Front Cover	3.2 mm thermally pre-stressed glass with anti-reflection technology
Back Cover	Composite film
Frame	Black anodised aluminium
Cell	6 × 22 monocrystalline Q.ANTUM solar half cells
Junction box	53-101 mm × 32-60 mm × 15-18 mm Protection class IP67, with bypass diodes
Cable	4 mm² Solar cable; (+) ≥ 1250 mm, (-) ≥ 1250 mm
Connector	Stäubli MC4; IP68

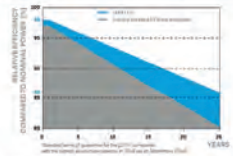


ELECTRICAL CHARACTERISTICS

POWER CLASS			385	390	395	400	405
MINIMUM PERFORMANCE AT STANDARD TEST CONDITIONS, STC[1] (POWER TOLERANCE +5 W / −0 W)							
Minimum	Power at MPP[1]	P_{MPP} [W]	385	390	395	400	405
	Short Circuit Current[1]	I_{SC} [A]	11.04	11.07	11.10	11.14	11.17
	Open Circuit Voltage[1]	V_{OC} [V]	45.19	45.23	45.27	45.30	45.34
	Current at MPP	I_{MPP} [A]	10.59	10.65	10.71	10.77	10.83
	Voltage at MPP	V_{MPP} [V]	36.36	36.62	36.88	37.13	37.39
	Efficiency[1]	η [%]	≥19.6	≥19.9	≥20.1	≥20.4	≥20.6
MINIMUM PERFORMANCE AT NORMAL OPERATING CONDITIONS, NMOT[1]							
Minimum	Power at MPP	P_{MPP} [W]	288.8	292.6	296.3	300.1	303.8
	Short Circuit Current	I_{SC} [A]	8.90	8.92	8.95	8.97	9.00
	Open Circuit Voltage	V_{OC} [V]	42.62	42.65	42.69	42.72	42.76
	Current at MPP	I_{MPP} [A]	8.35	8.41	8.46	8.51	8.57
	Voltage at MPP	V_{MPP} [V]	34.59	34.81	35.03	35.25	35.46

[1] Measurement tolerances P_{MPP} ±3%; I_{SC}; V_{OC} ±5% at STC: 1000 W/m², 25 ± 2 °C, AM 1.5 according to IEC 60904-3 • [2] 800 W/m², NMOT, spectrum AM 1.5

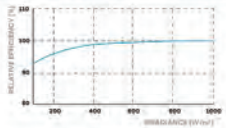
Q CELLS PERFORMANCE WARRANTY



At least 98% of nominal power during first year. Thereafter max. 0.5% degradation per year. At least 93.5% of nominal power up to 10 years. At least 86% of nominal power up to 25 years.

All data within measurement tolerances. Full warranties in accordance with the warranty terms of the Q CELLS sales organisation of your respective country.

PERFORMANCE AT LOW IRRADIANCE



Typical module performance under low irradiance conditions in comparison to STC conditions (25 °C, 1000 W/m²).

TEMPERATURE COEFFICIENTS							
Temperature Coefficient of I_{SC}	α	[%/K]	+0.04	Temperature Coefficient of V_{OC}	β	[%/K]	−0.27
Temperature Coefficient of P_{MPP}	γ	[%/K]	−0.34	Nominal Module Operating Temperature	NMOT	[°C]	43 ± 3

PROPERTIES FOR SYSTEM DESIGN

Maximum System Voltage	V_{SYS}	[V]	1000	PV module classification			Class II
Maximum Reverse Current	I_R	[A]	20	Fire Rating based on ANSI / UL 61730			C / TYPE 2
Max. Design Load, Push / Pull		[Pa]	3600 / 2660	Permitted Module Temperature on Continuous Duty			−40 °C – +85 °C
Max. Test Load, Push / Pull		[Pa]	5400 / 4000				

QUALIFICATIONS AND CERTIFICATES

Quality Controlled PV - TÜV Rheinland, IEC 61215 (2016), IEC 61730 (2016), This data sheet complies with DIN EN 50380.

PACKAGING INFORMATION

Horizontal packaging	1940 mm	1100 mm	1220 mm	751 kg	28 pallets	24 pallets	32 modules
Vertical packaging	1970 mm	1150 mm	1215 mm	765 kg	28 pallets	24 pallets	33 modules

Note: Installation instructions must be followed. See the installation and operating manual or contact our technical service department for further information on approved installation and use of this product.

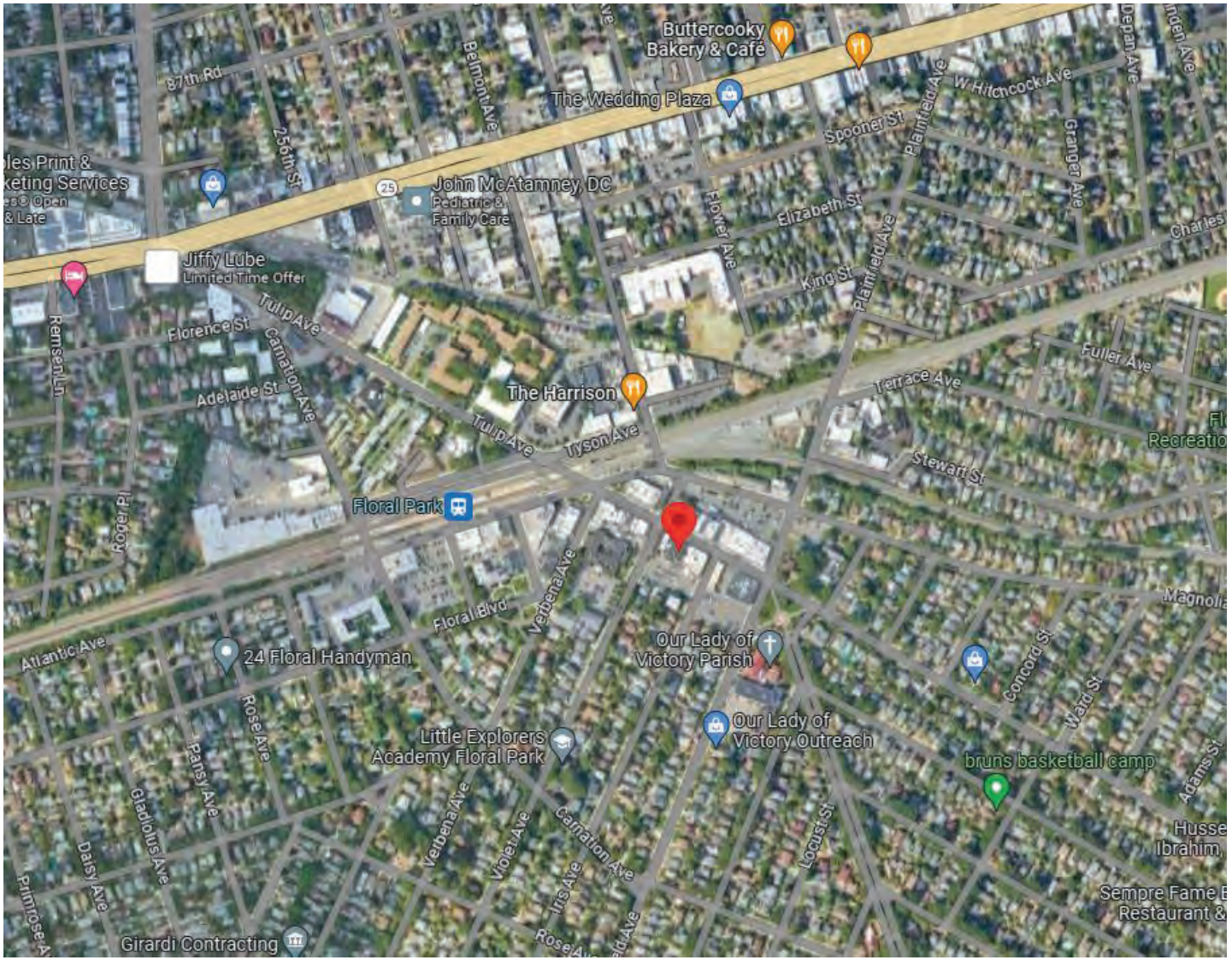
Hanwha Q CELLS GmbH
Sonnenallee 17-21, 06766 Bitterfeld-Wolfen, Germany | TEL +49 (0)3494 66 99-23444 | FAX +49 (0)3494 66 99-23000 | EMAIL sales@q-cells.com | WEB www.q-cells.com

Engineered in Germany

Q CELLS

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
2	8:05 p.m.	150	Tulip Avenue	Sign	Howard Hanna - Coach Realtors	Eclipse Signs

150 Tulip Avenue (Aerial View)



96.5 in

24 in

REAR OF Building

Digital Printed Graphic applied to exist sign at rear of building
The Graphic is printed on Avery 2903 with Avery Matte lamination.
The Green is PMS 3308 and the lettering is the white of the vinyl.

Existing sign is 3/4 thick Komacel and is Lagged to wall with angle bracket that are screwed in from sides

107 in

24 in

Front of Building

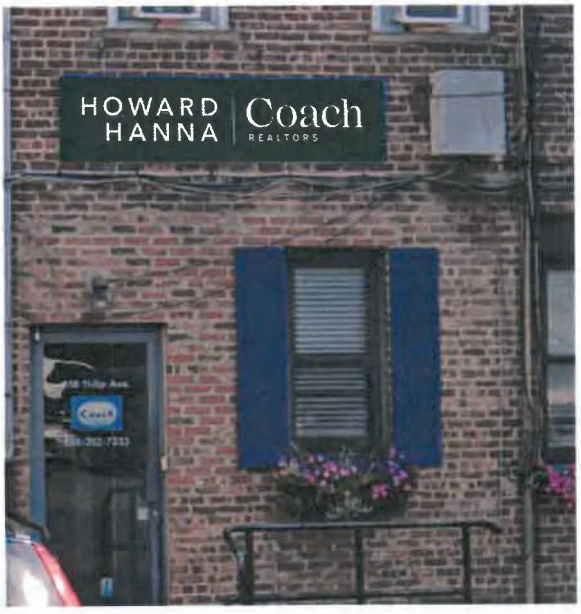
Digital Printed Graphic applied to 1/8 thick Dibond AMC board
Attached to existing carved sign on front of building with silicone and screws.
The Graphic is printed on Avery 2903 with Avery Matte lamination.
The Green is PMS 3308 and the lettering is the white of the vinyl.

Existing sign is 1 inch thick Komacel and is Lagged to wall with angle bracket that are screwed in from sides


COACH REALTORS

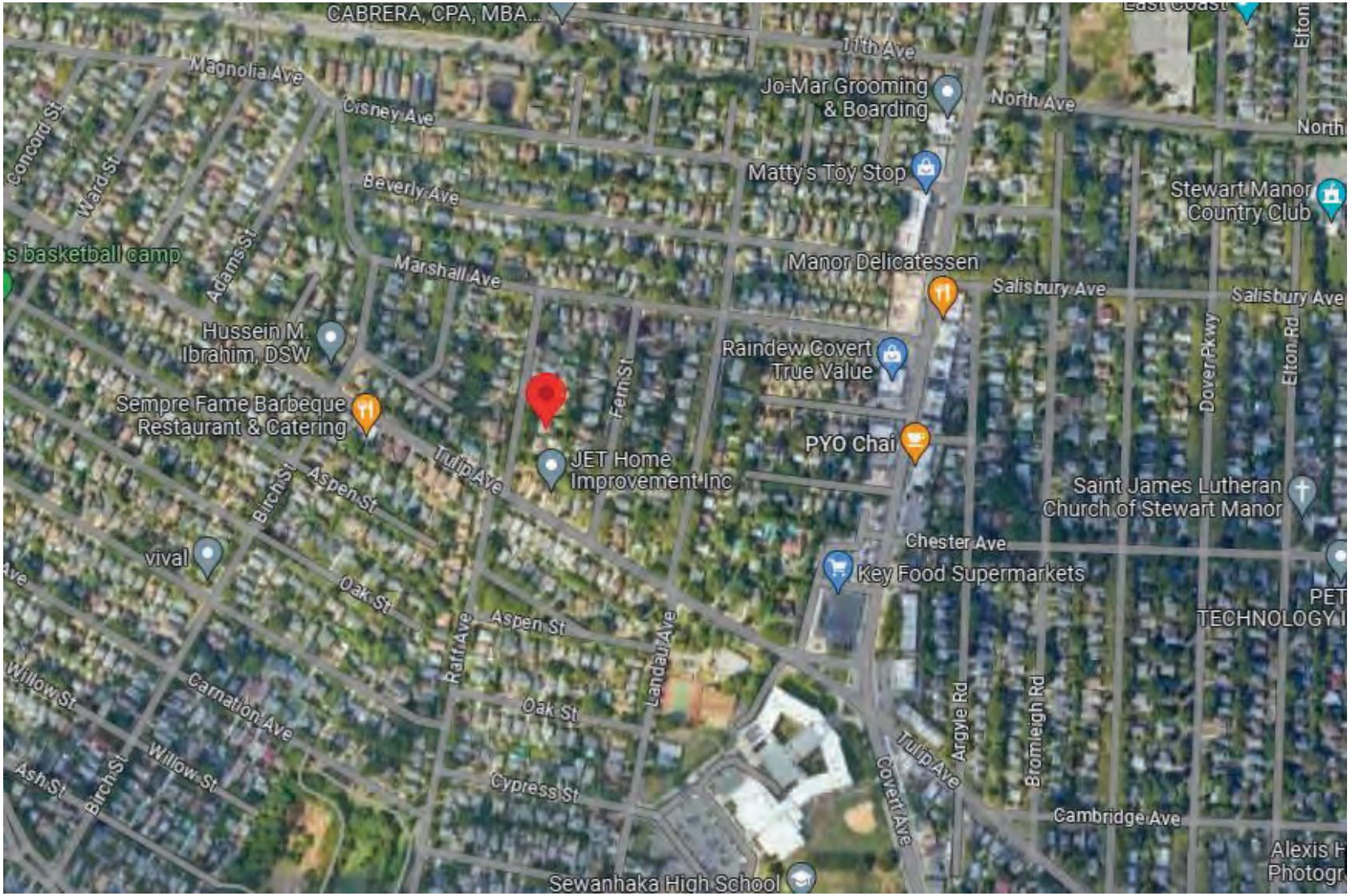

COACH REALTORS

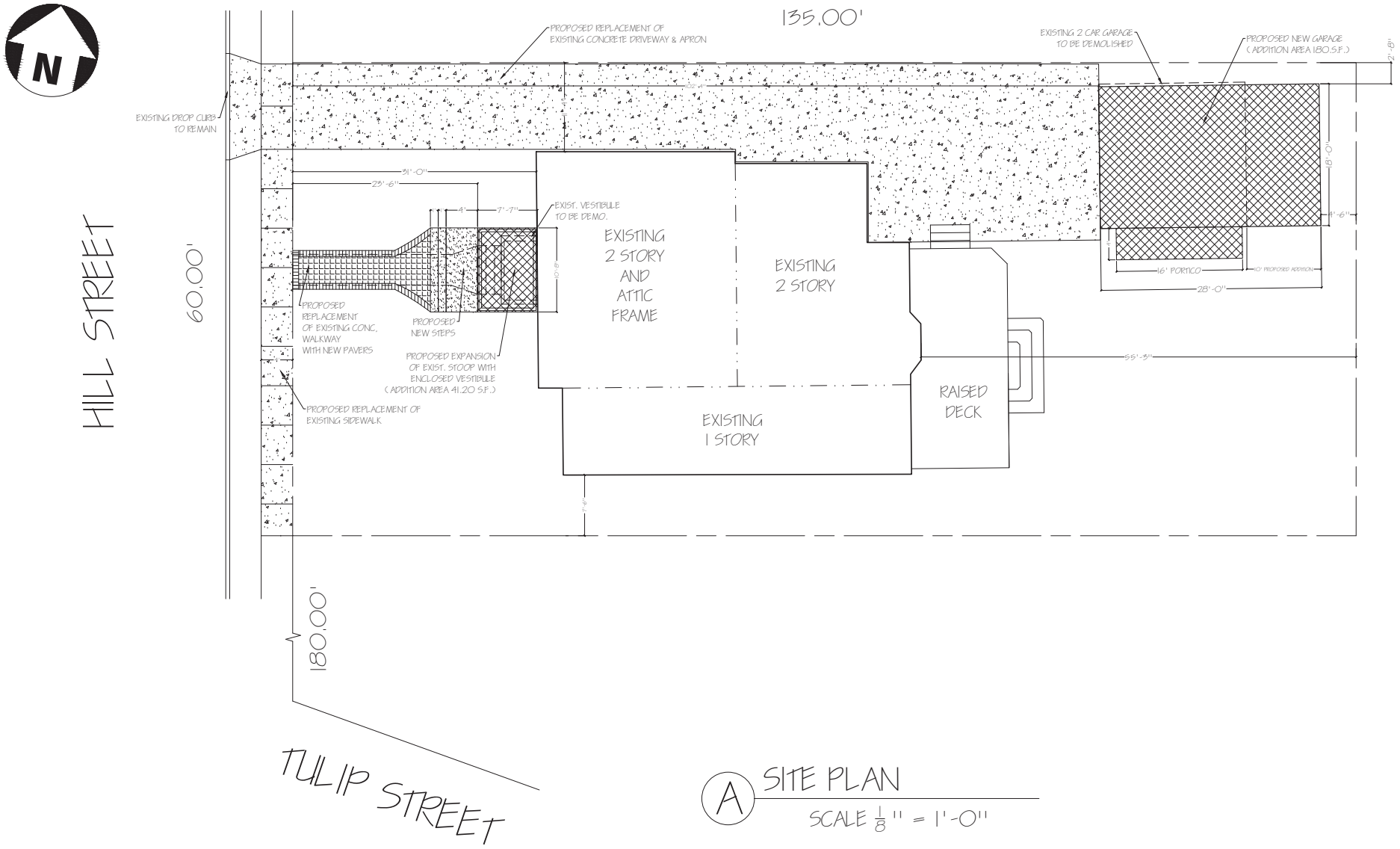

HOWARD HANNA
Coach
REALTORS


HOWARD HANNA
Coach
REALTORS

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
3	8:10 p.m.	19	Hill Street	Proposed New Garage and Front Vestibule	Mohammad Chaudhry	SyMetric Engineering, P.C.

19 Hill Street (Aerial View)

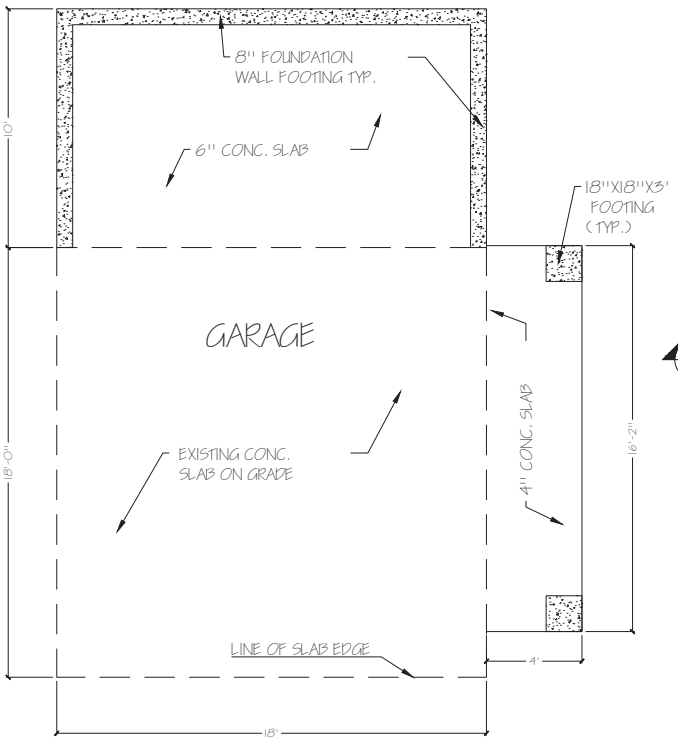




A SITE PLAN

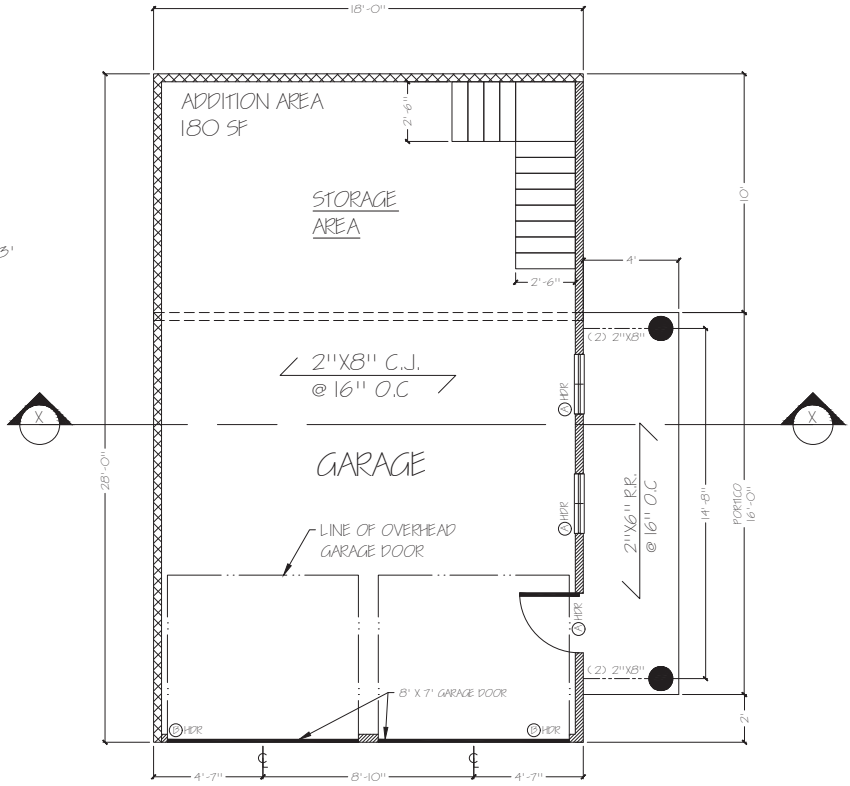
SCALE $\frac{1}{8}$" = 1'-0"

NOT FOR C



1 FOUNDATION PLAN

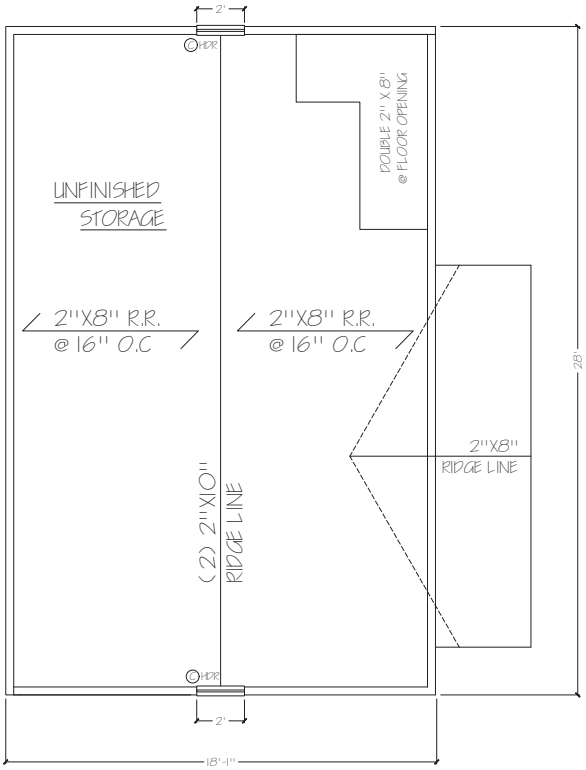
SCALE 1/4" = 1'-0"



2 FLOOR PLAN

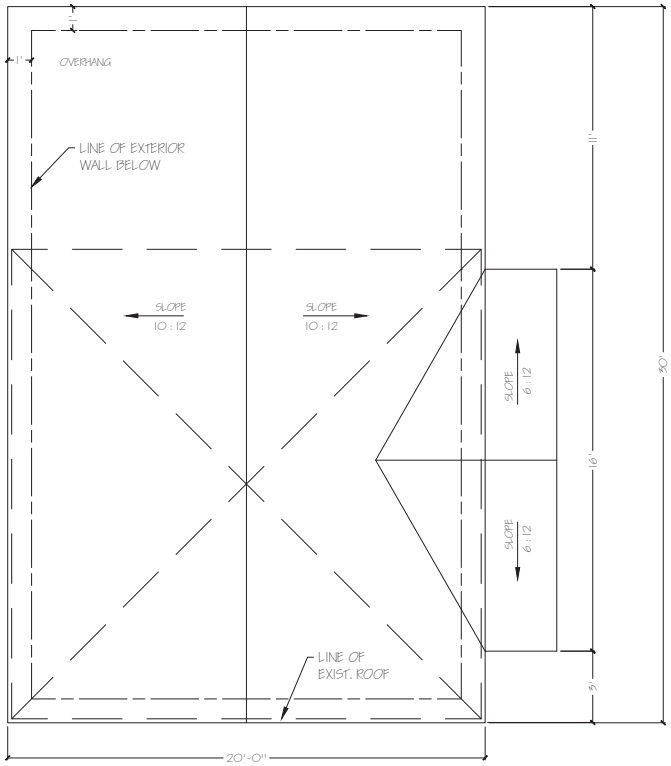
SCALE 1/4" = 1'-0"

WALL LEGEND
EXISTING TO BE REMOVED
NEW FRAME WALL
NEW 1 HOUR FIRE RATED



3 ATTIC PLAN

SCALE 1/4" = 1'-0"



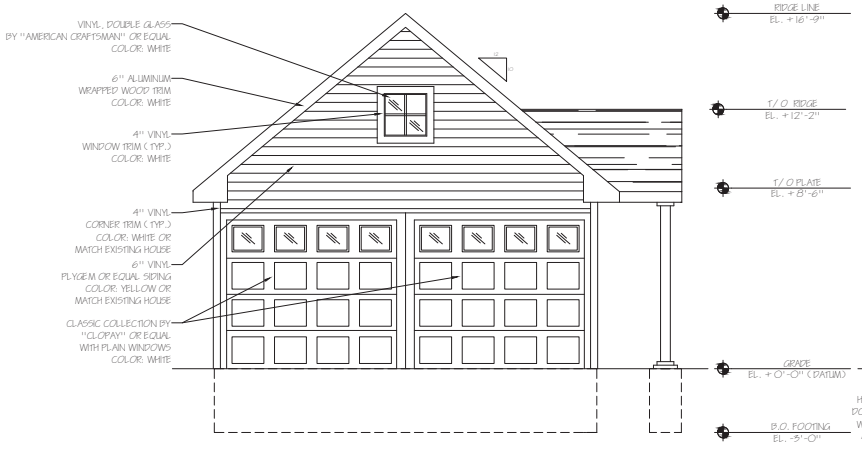
4 ROOF PLAN

SCALE 1/4" = 1'-0"

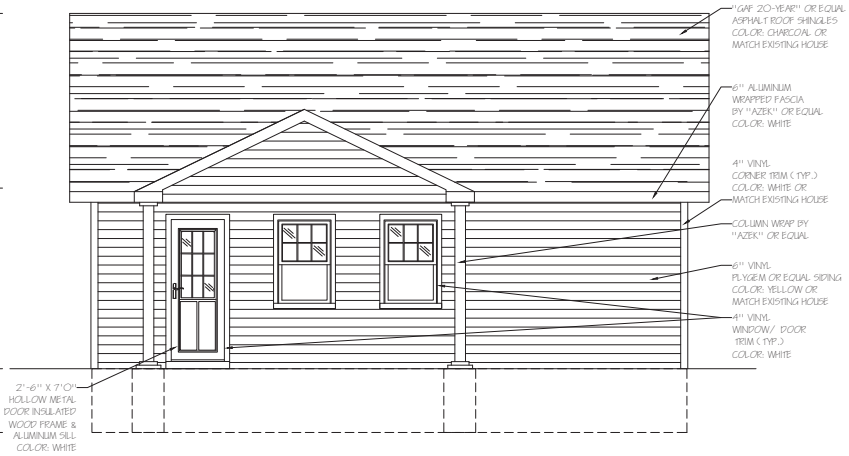
NOTE:
- PROVIDE ICE AND WATER SHIELD BY "OWENS-CORING" AT ALL ROOF EAVES, EXTENDING IN FROM EAVES EDGE TO A POINT 24" FROM THE INSIDE FACE OF THE EXTERIOR WALL.
- PROVIDE 20 Ga. ALUMINUM FLASHING AT ROOF / WALL JUNCTURE. 12" MINIMUM EACH WAY, TYPICAL.
- CONTRACTOR TO SUPPLY AND INSTALL ALL NEW ALUMINUM GUTTERS AND LEADERS FOR ENTIRE GARAGE. LEADERS WILL BE LOCATED IN FIELD BY OWNER / ENGINEER.

NOTE:
- CONTRACTOR TO SUPPLY AND INSTALL ALL DOOR HARDWARE SELECTED BY OWNER $75 PER DOOR ALLOWANCE.
- ALL EXTERIOR DOORS TO BE INSULATED & WEATHER STRIPPED.
- INSTALL SADDLES AND / OR TRANSITION STRIPS AT ALL CHANGES IN FLOOR MATERIAL. LOCATE CENTERED IN DOOR SUCH THAT WHEN DOOR IS CLOSED, MATERIAL ON OPPOSITE SIDE CAN NOT BE SEEN

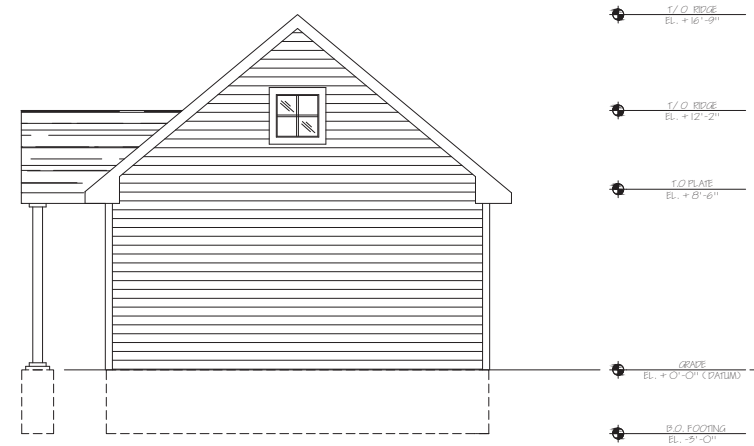
ROOF NOTE AS PER R905.2.7:
- APPLY A MINIMUM 19" WIDE (485mm) STRIP OF UNDERLAYMENT FELT PARALLEL WITH AND STARTING AT THE EAVES
- STARTING AT THE EAVE, APPLY 36" WIDE (914mm) SHEETS OF UNDERLAYMENT OVERLAPPING SUCCESSIVE SHEETS 19" (485mm). DISTORTION IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL.
- END LAPS SHALL BE OFFSET BY 6'-0".
- CORROSION -RESISTANT FASTENERS ARE TO BE APPLIED ALONG THE OVERLAP AT A MAXIMUM SPACING OF 36" ON CENTER.



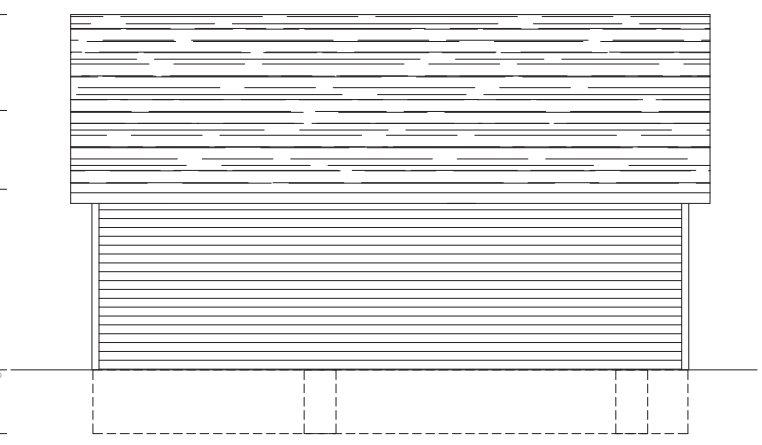
A GARAGE FRONT ELEVATION
SCALE 1/4" = 1'-0"



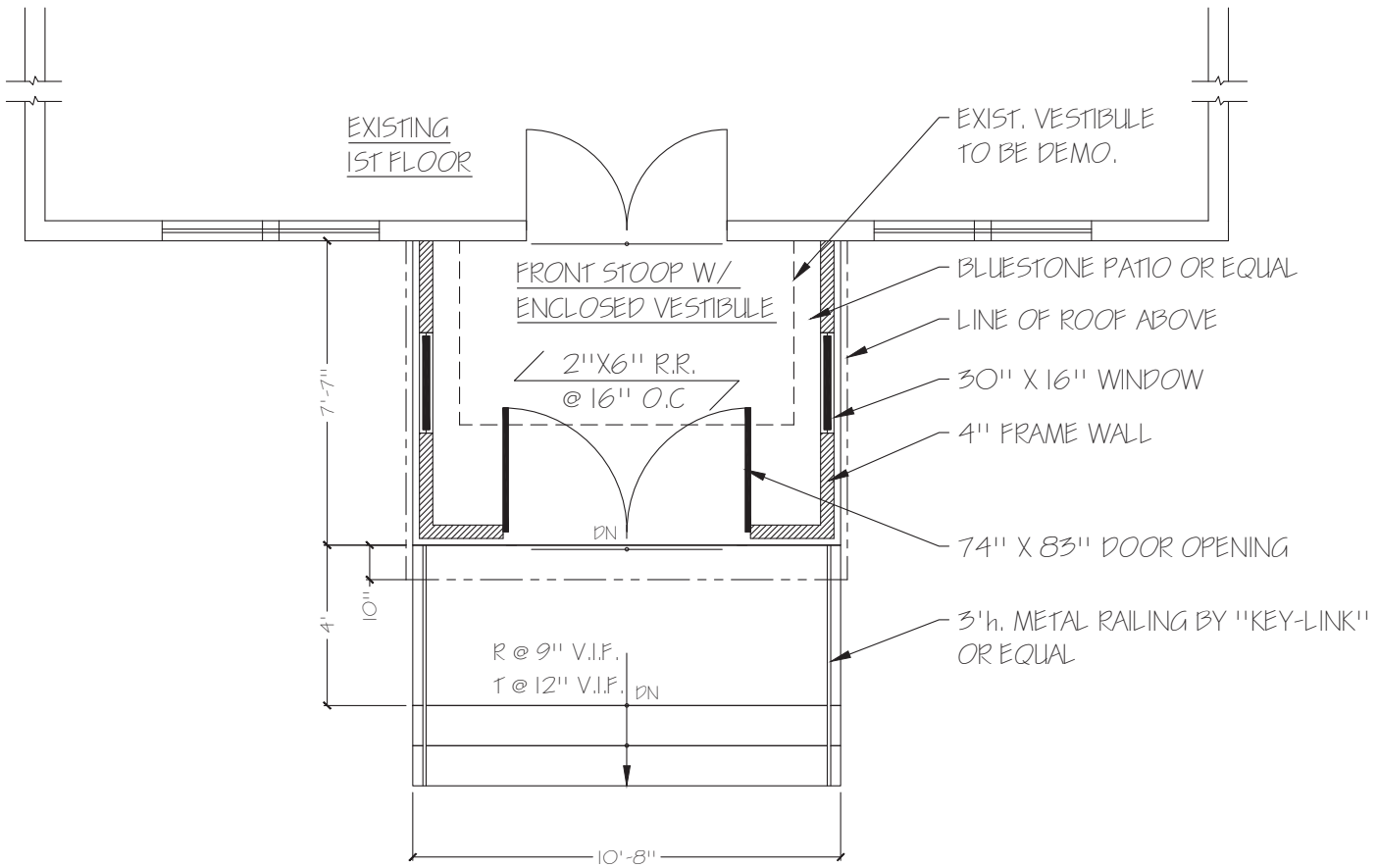
B GARAGE RIGHT ELEVATION
SCALE 1/4" = 1'-0"



C GARAGE REAR ELEVATION
SCALE 1/4" = 1'-0"



D GARAGE LEFT ELEVATION
SCALE 1/4" = 1'-0"



5 STOOP / STEPS FLOOR PLAN

SCALE $\frac{1}{4}$" = 1'-0"

WALL LEGEND

EXISTING TO BE REMOVED

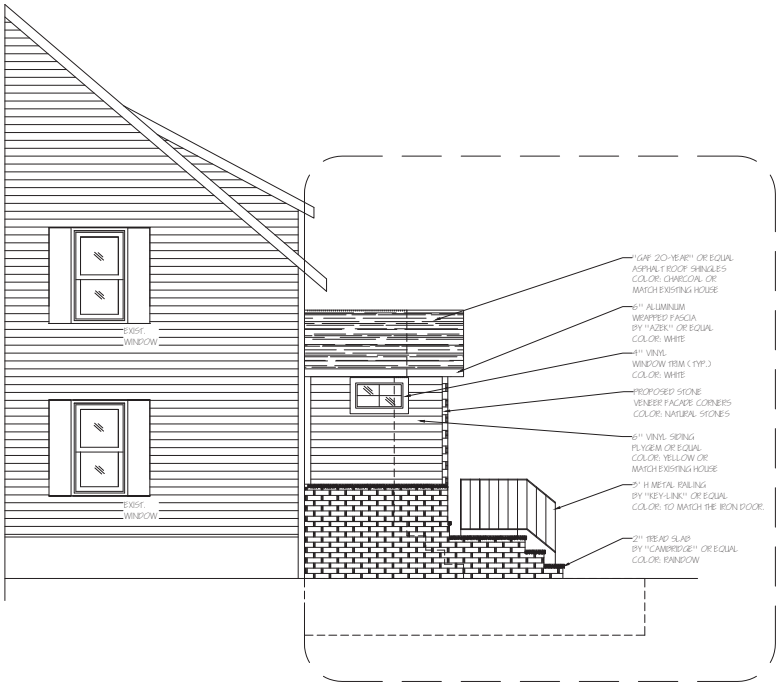
NEW FRAME WALL

NOT FOR CONSTRUCTION

E FRONT ELEVATION

SCALE $\frac{1}{4}$" = 1'-0"

19 - Hill St. - Front Side



F LEFT ELEVATION

SCALE $\frac{1}{4}$" = 1'-0"

19 Hill St. - Front Street View

North Side - Adjacent Neighbors

South Side - Adjacent Neighbors

19 - Hill St. - Front Side

19 Hill St. - Existing Enclosed Vestibule

19 Hill St. - Side View

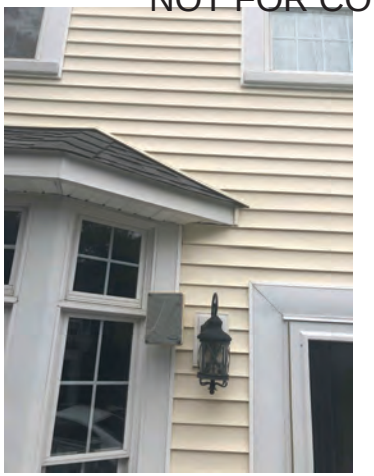
19 Hill St. - S/W Garage View

19 Hill St. - South Garage View

19 Hill St. - West Garage Front View

NOT FOR CONSTRUCTION

19 HILL St. - REAR VIEW OF HOUSE,
ROOF SHINGLES TO MATCH THE MAIN HOUSE,
BY "GAF" or EQUAL, COLOR: CHARCOAL



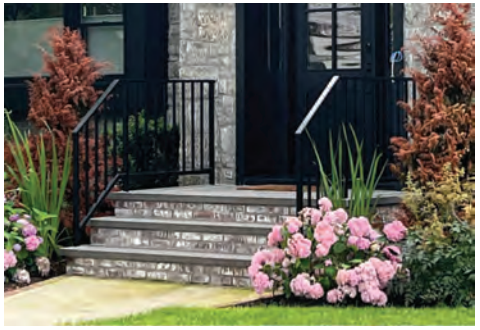
PROPOSED FASCIA, WINDOW & DOOR TRIMS
TO MATCH THE MAIN HOUSE, BY "Aztek" or
EQUAL, COLOR: WHITE

PROPOSED VINYL SIDING TO MATCH THE
MAIN HOUSE, BY "PlyGEM" or EQUAL,
COLOR: YELLOW

PROPOSED TREAD SLAB FOR FRONT STEPS,
By CAMBRIDGE or EQUAL, COLOR: RAINBOW

PROPOSED PAVERS FOR THE WALKWAY
BY CAMBRIDGE OR EQUAL, COLOR:
TOFFEE/ONYX LITE

PROPOSED STONE VENEER FACADE ON THE
FRONT OF THE HOUSE, BY CAMBRIDGE or
EQUAL, COLOR: NATURAL STONES



PROPOSED IRON HANDRAIL FOR STEPS,
BY "KEY-link" or EQUAL, COLOR: BLACK

PROPOSED WROUGHT IRON DOUBLE DOOR FOR
FRONT VESTIBULE,
COLOR: DARK BROWN OR BLACK

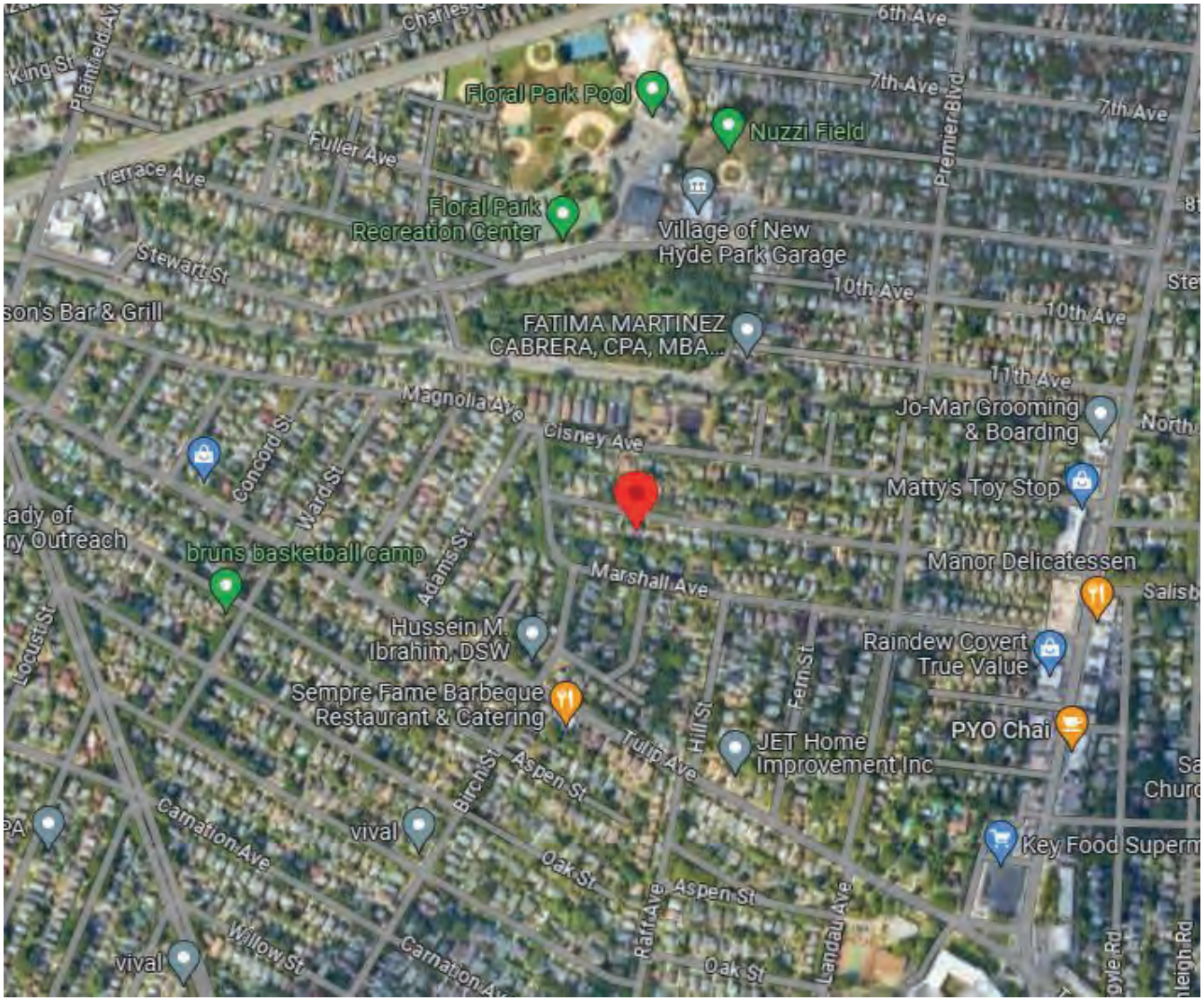
PROPOSED GARAGE DOOR
BY CLOPAY CLASSIC COLLECTION OR EQUAL,
COLOR: WHITE

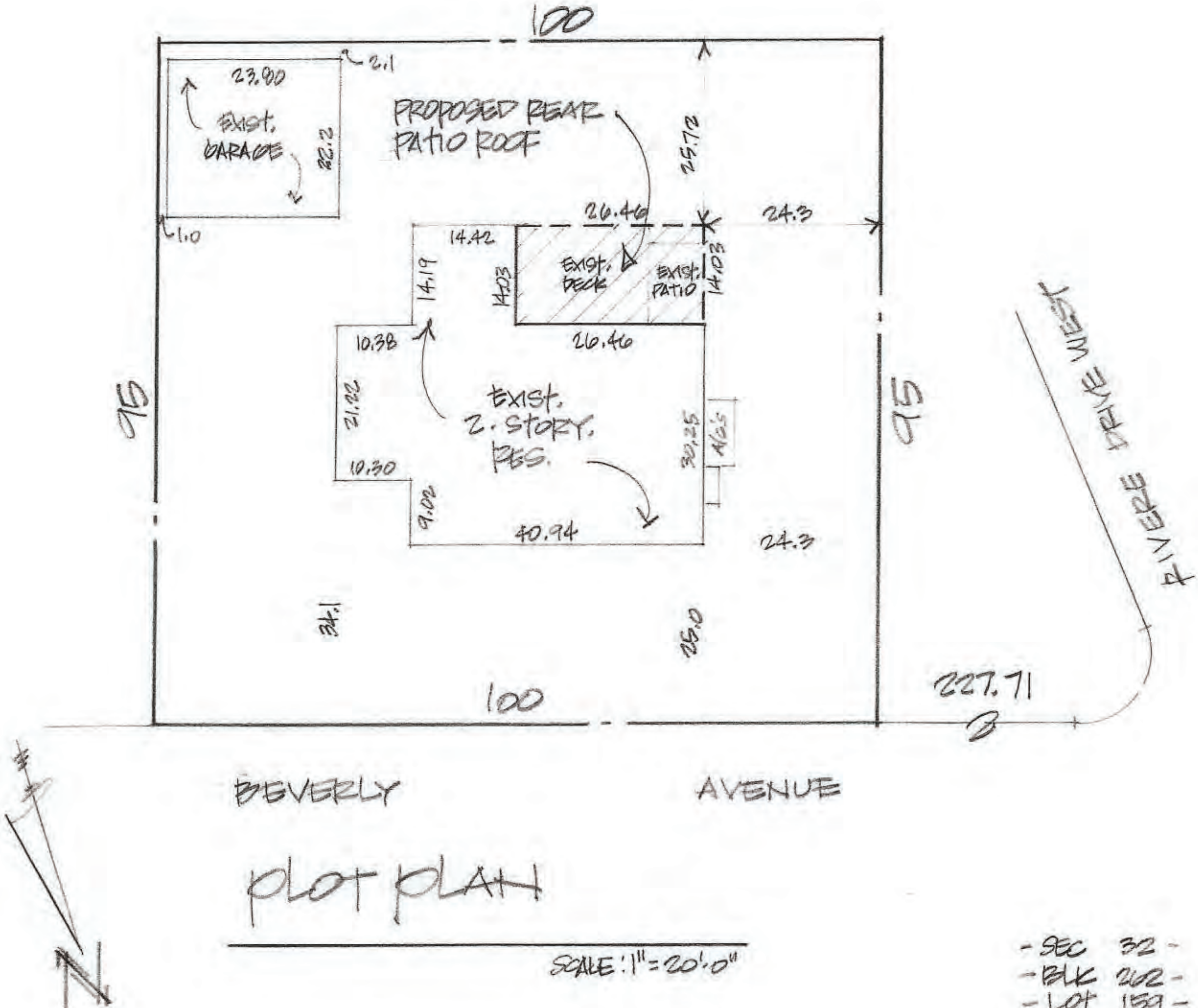
PROPOSED DOOR
BY JELD-WEN OR EQUAL, COLOR: WHITE

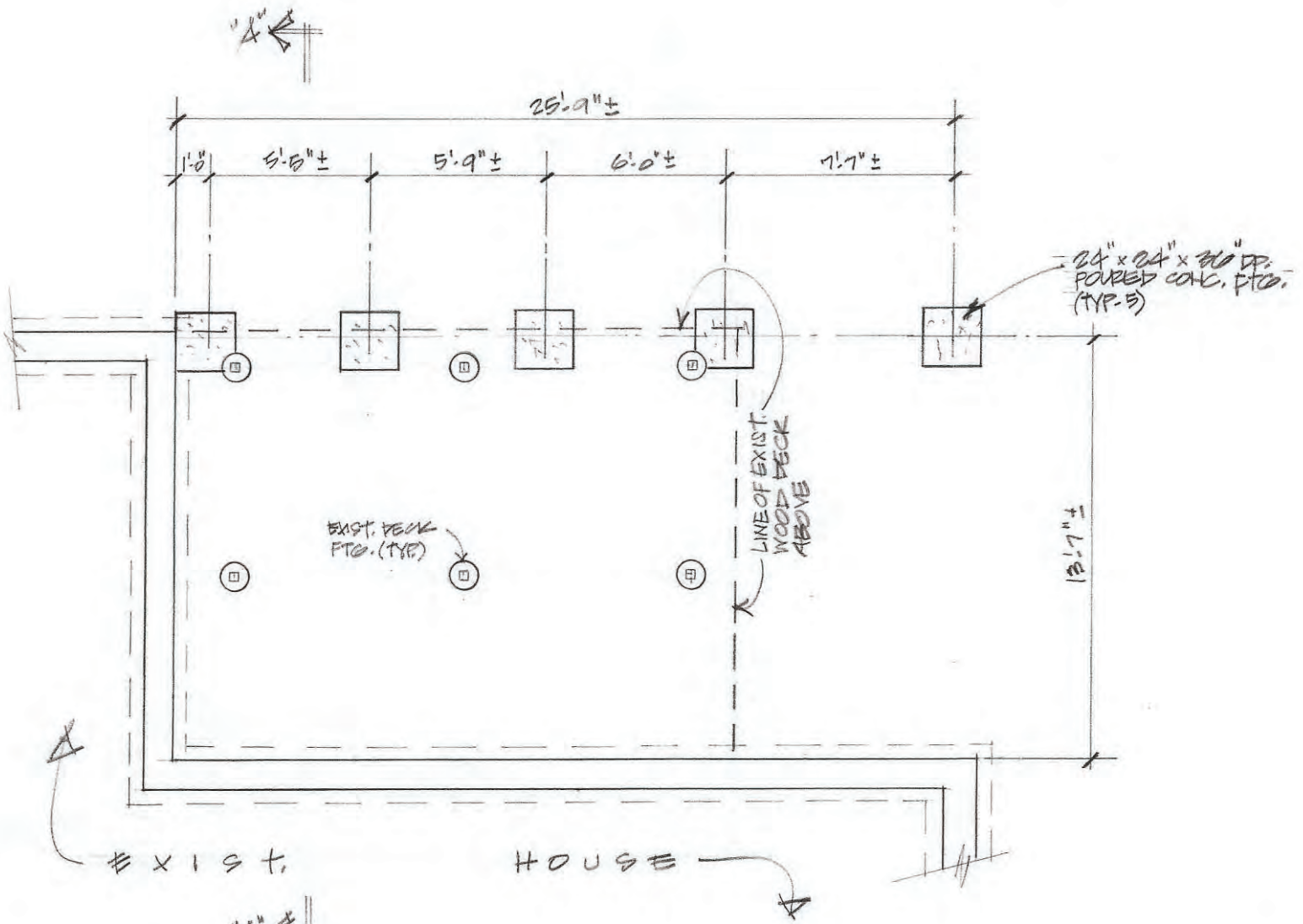
PROPOSED VINYL WINDOWS
BY AMERICAN CRAFTSMAN OR EQUAL,
COLOR: WHITE

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
4	8:15 p.m.	140	Beverly Avenue	Rear Patio Roof	James Carleo	Bernard Rodgers, RA

140 Beverly Avenue (Aerial View)

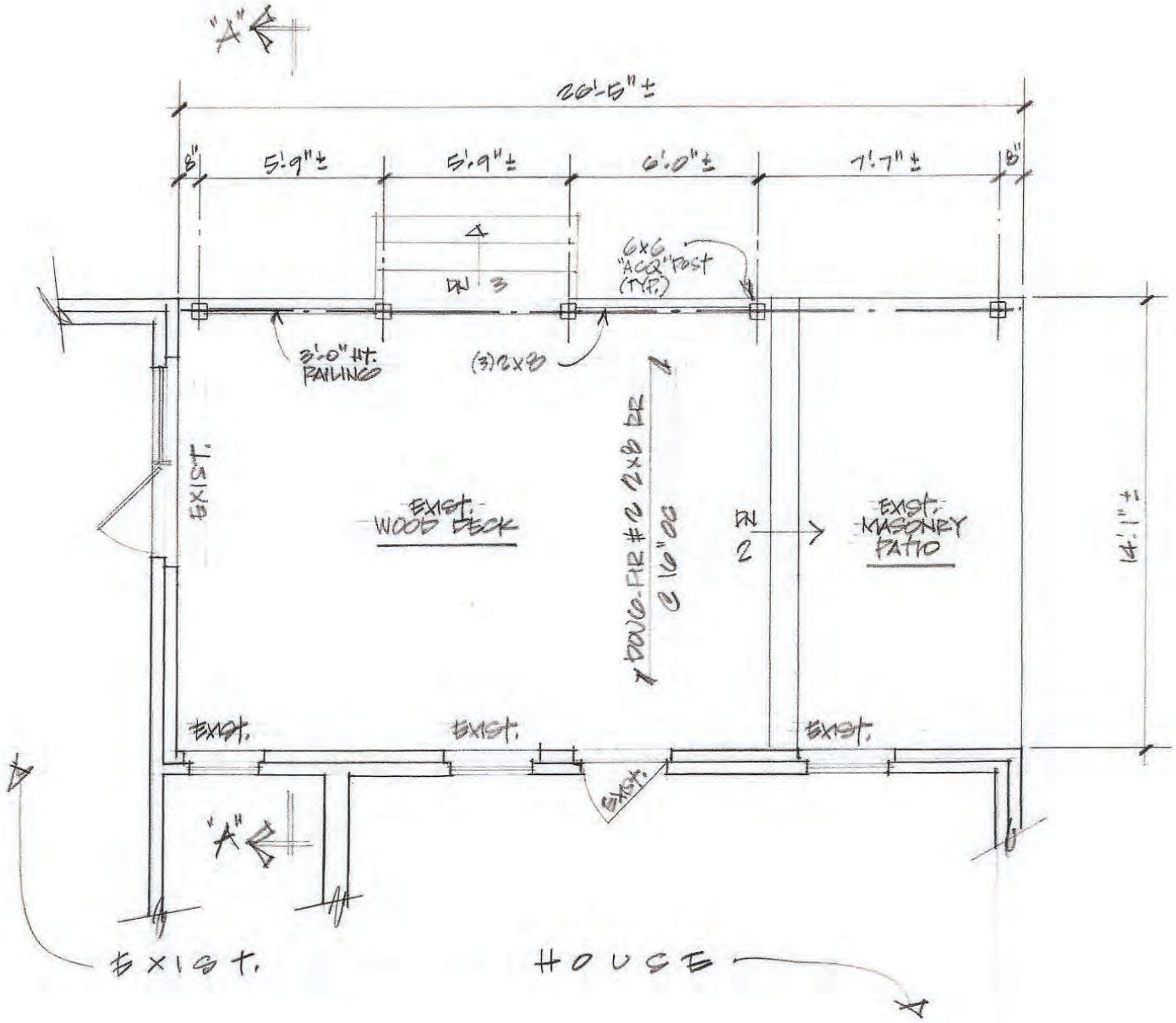



100
2.1
23.80
EXIST. GARAGE
22.2
1.0
PROPOSED REAR PATIO ROOF
25.72
26.46
24.3
14.42
14.19
14.03
EXIST. DECK
EXIST. PATIO
14.03
10.38
26.46
95
EXIST. 2. STORY. RES.
21.22
30.25
10.30
9.02
40.94
24.3
95
RIVERE DRIVE WEST
34.1
25.0
100
227.71
BEVERLY
AVENUE
PLOT PLAN
SCALE: 1" = 20'-0"
N
- SEC 32 -
- BLK 262 -
- LOT 159 -



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

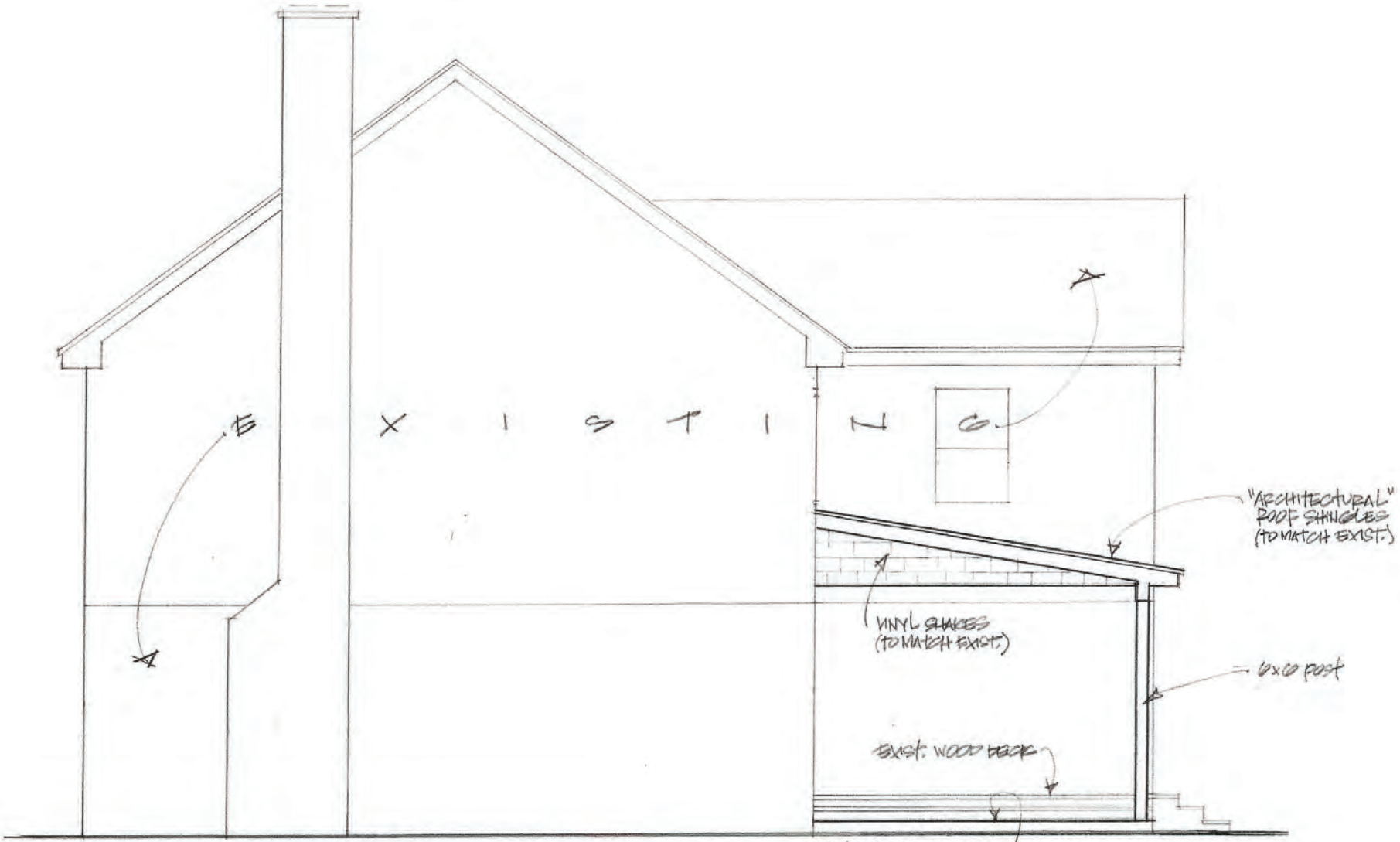


1st FLOOR PLAN

SCALE: 1/4" = 1'-0"

REAR ELEVATION

SCALE: 1/4" = 1'-0"

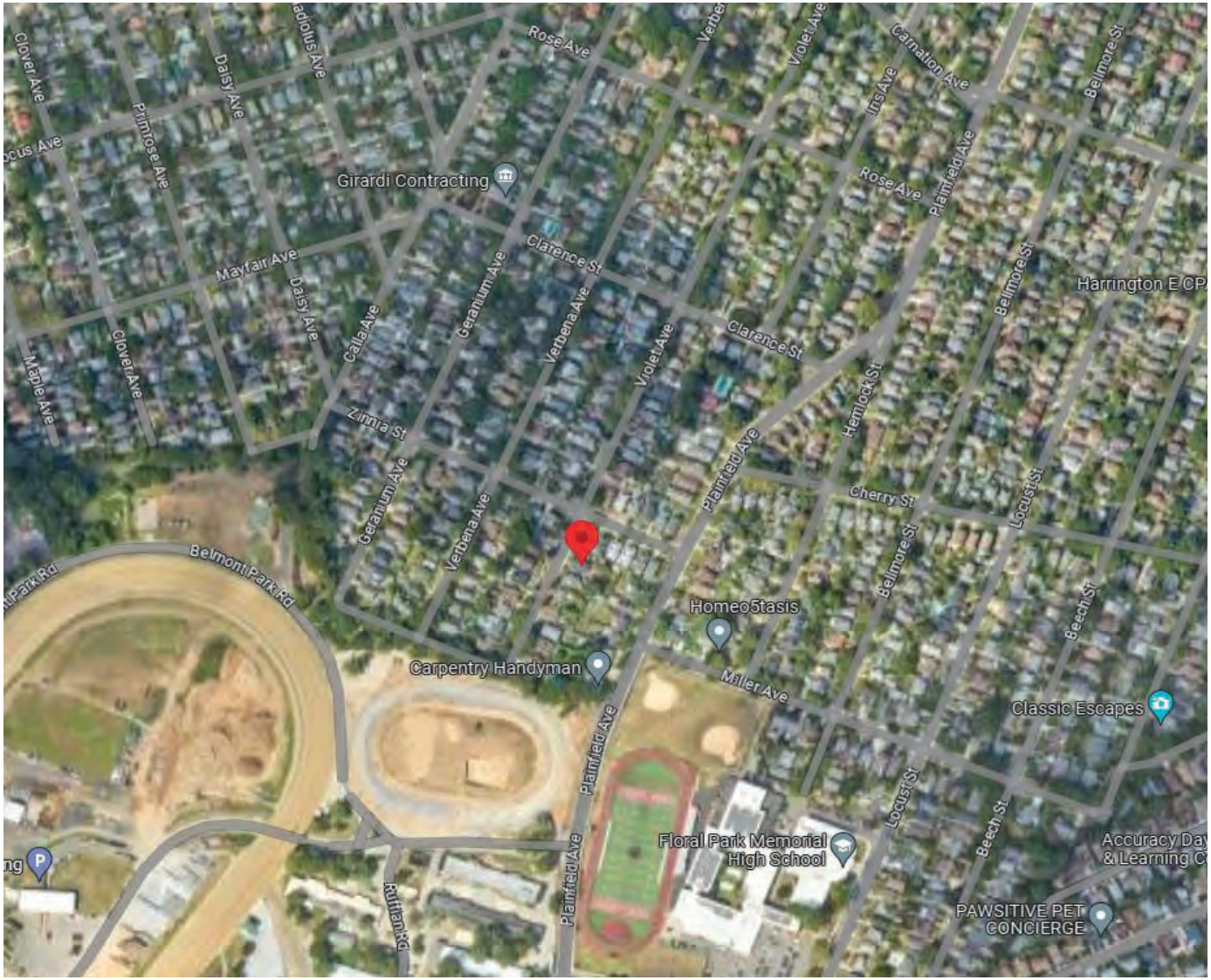


REAR ELEVATION

SCALE: 1/4" = 1'-0"

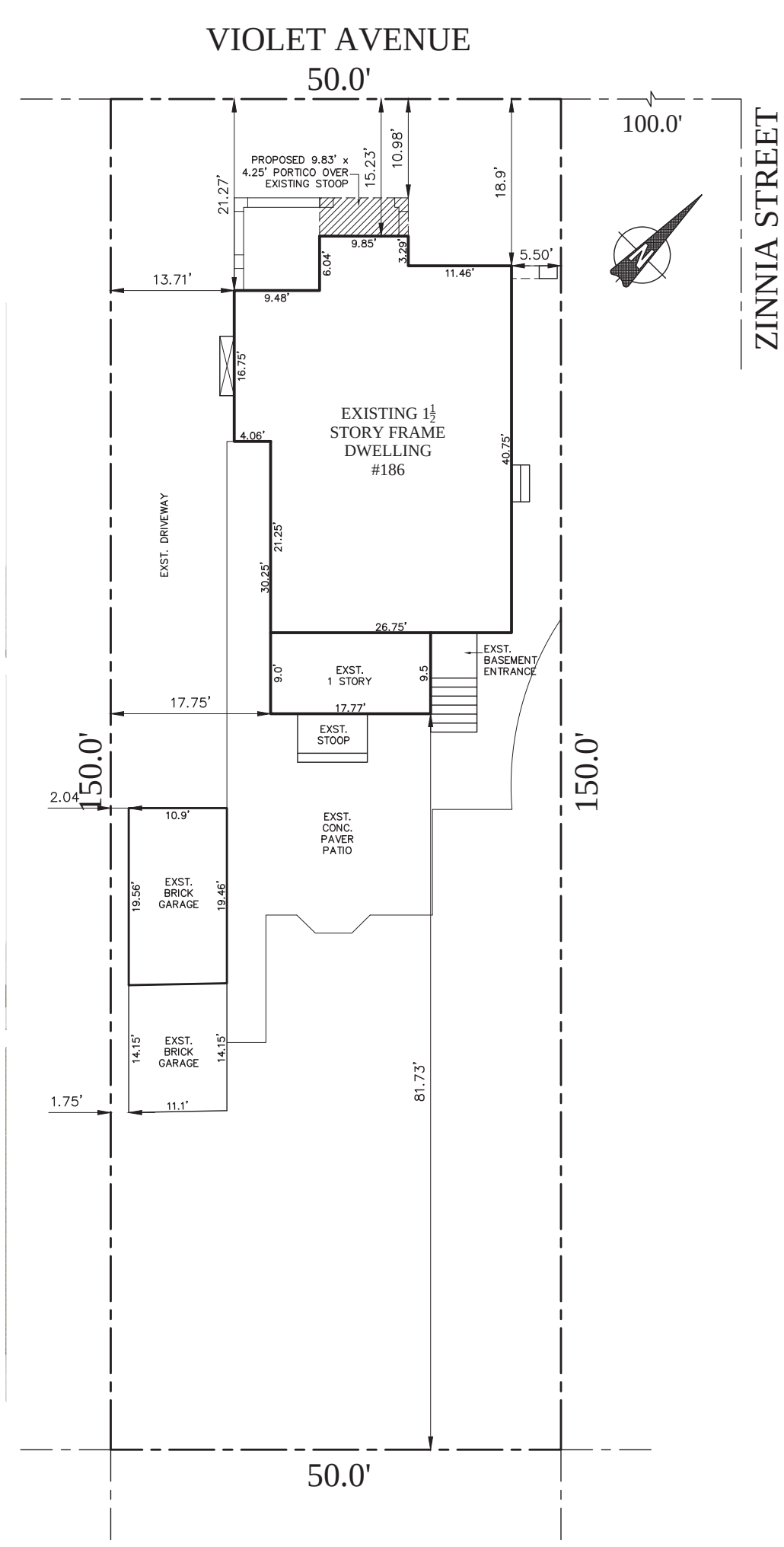
Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
5	8:20 p.m.	231	Violet Avenue	Portico	Peggyanne Hecker	Nicholas Feihel, RA

231 Violet Avenue (Aerial View)



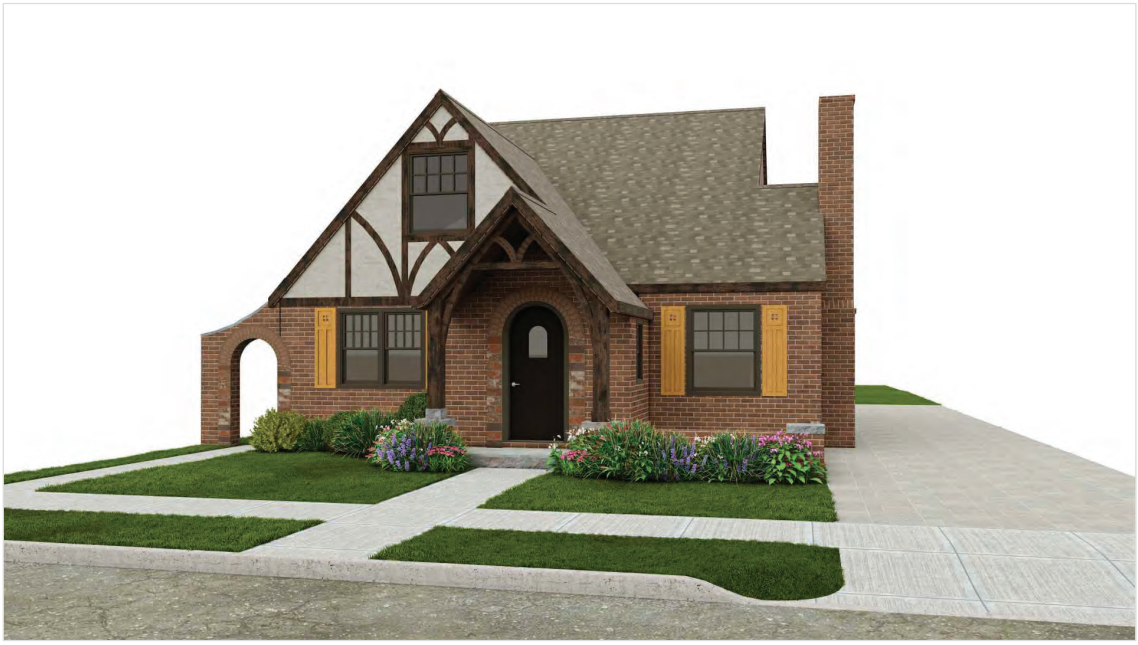

Google

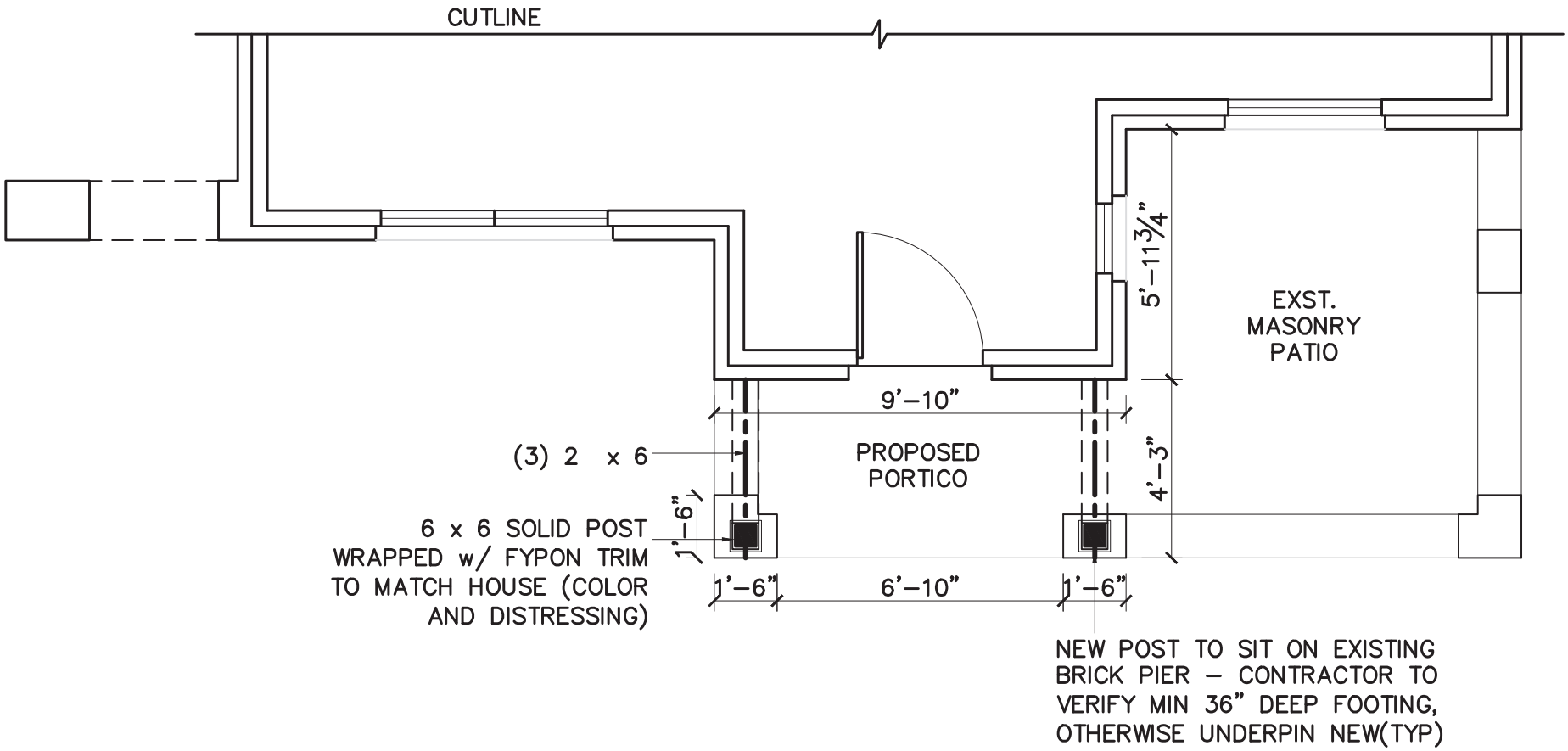

Google



PLOT PLAN

SCALE: 1/8" = 1'





FLOOR PLAN

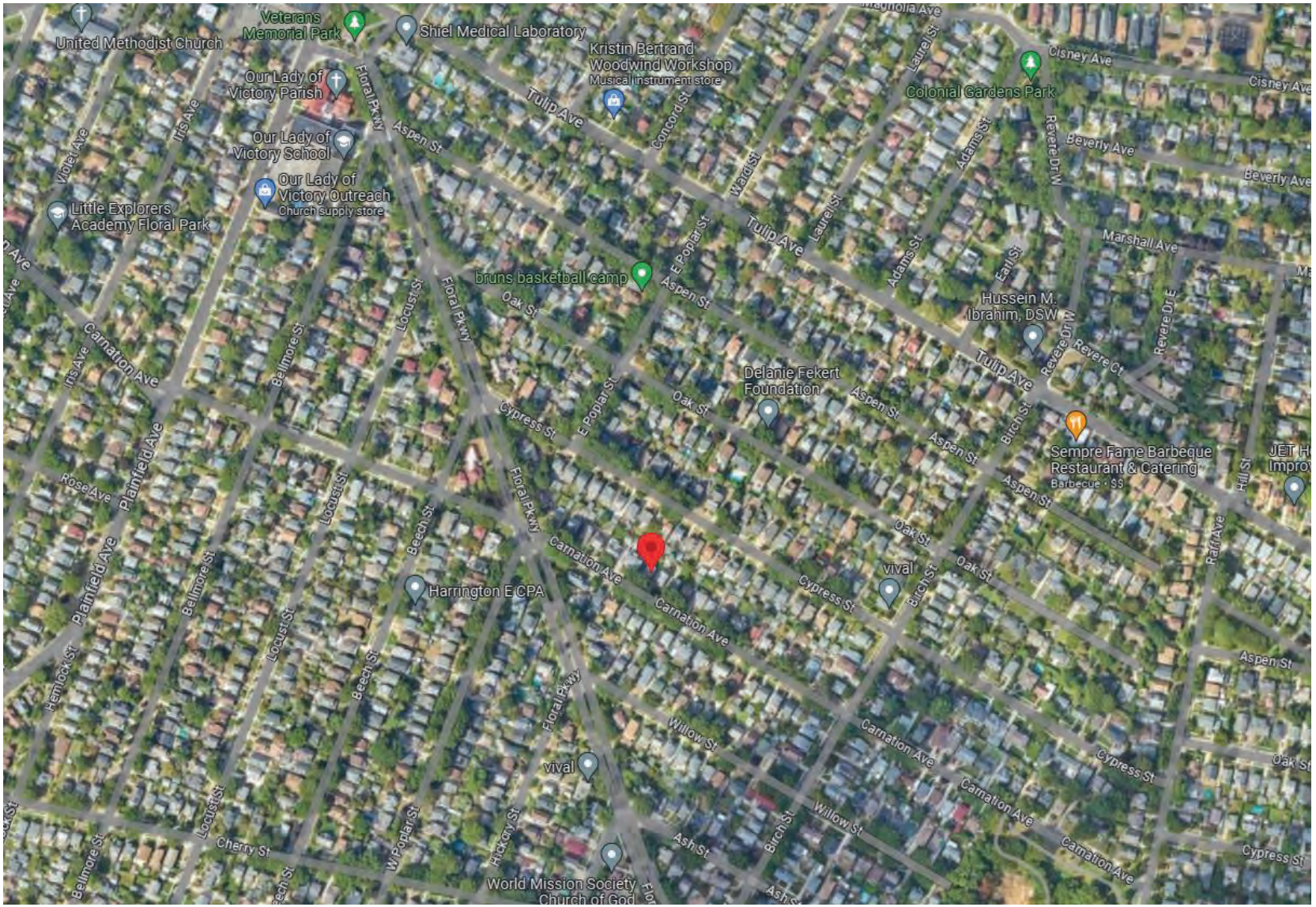
SCALE: 1/4" = 1'

FRONT ELEVATION

SCALE: 1/4" = 1'

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
6	8:25 p.m.	287	Carnation Avenue	Rear Addition	Steve & Trish Deely	Bobby K Architects

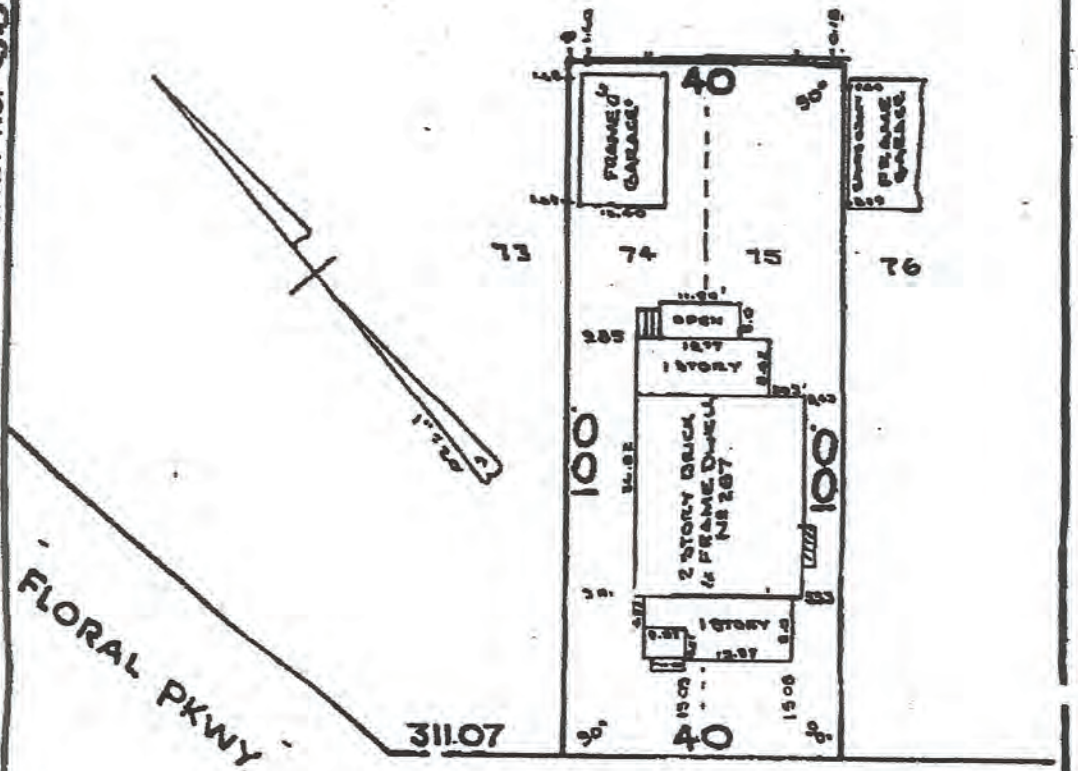
287 Carnation Avenue (Aerial View)



9705-SEC-138

TITLE No. 351508

SURVEY NO. 594-A-11



CARNATION AVE.

SURVEY OF PROPERTY AT FLORAL PARK

GUARANTEED TO JAMAICA SAVINGS BANK

INTER-COUNTY TITLE GUARANTY & MORTGAGE CO

LOTS 74, 75 BLOCK 11

MAP PROP. AT FLORAL PARK

MAP FILED CASE NO. COUNTY OF NASSAU STATE OF NEW YORK

SURVEYED JAN. 6 1965

BY Kenneth S. O'Brien L.S.

N.Y. STATE LIC. No. 27414

MEASUREMENTS U. S. STANDARD

SUBSURFACE CONDITION NOT SHOWN

SEC. No.

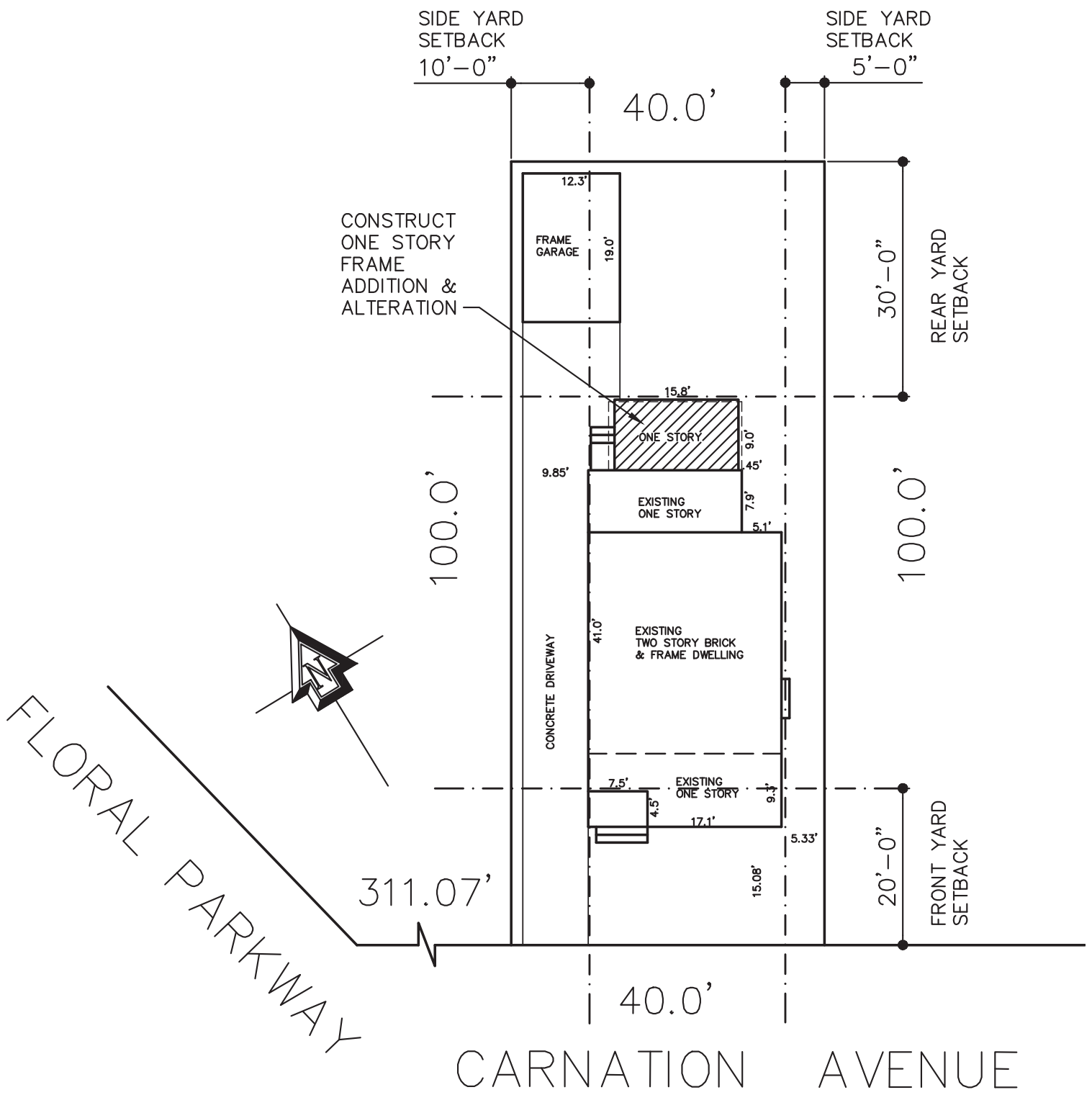
KENNETH S. OBRIEN

LAND SURVEYOR

669 BROADWAY
MASSAPEQUA, N.Y.

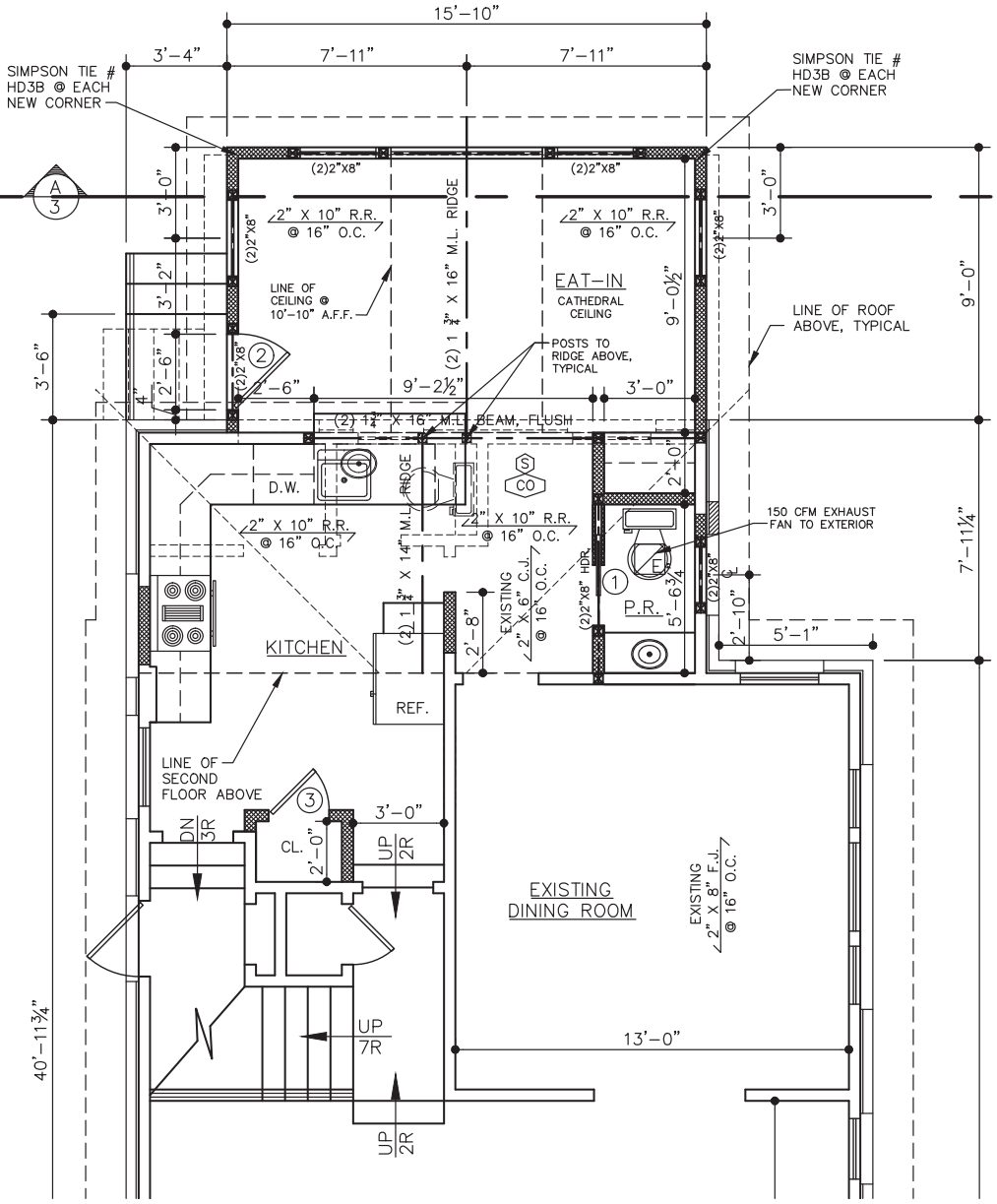
PYRAMID 9-6066

OK 5



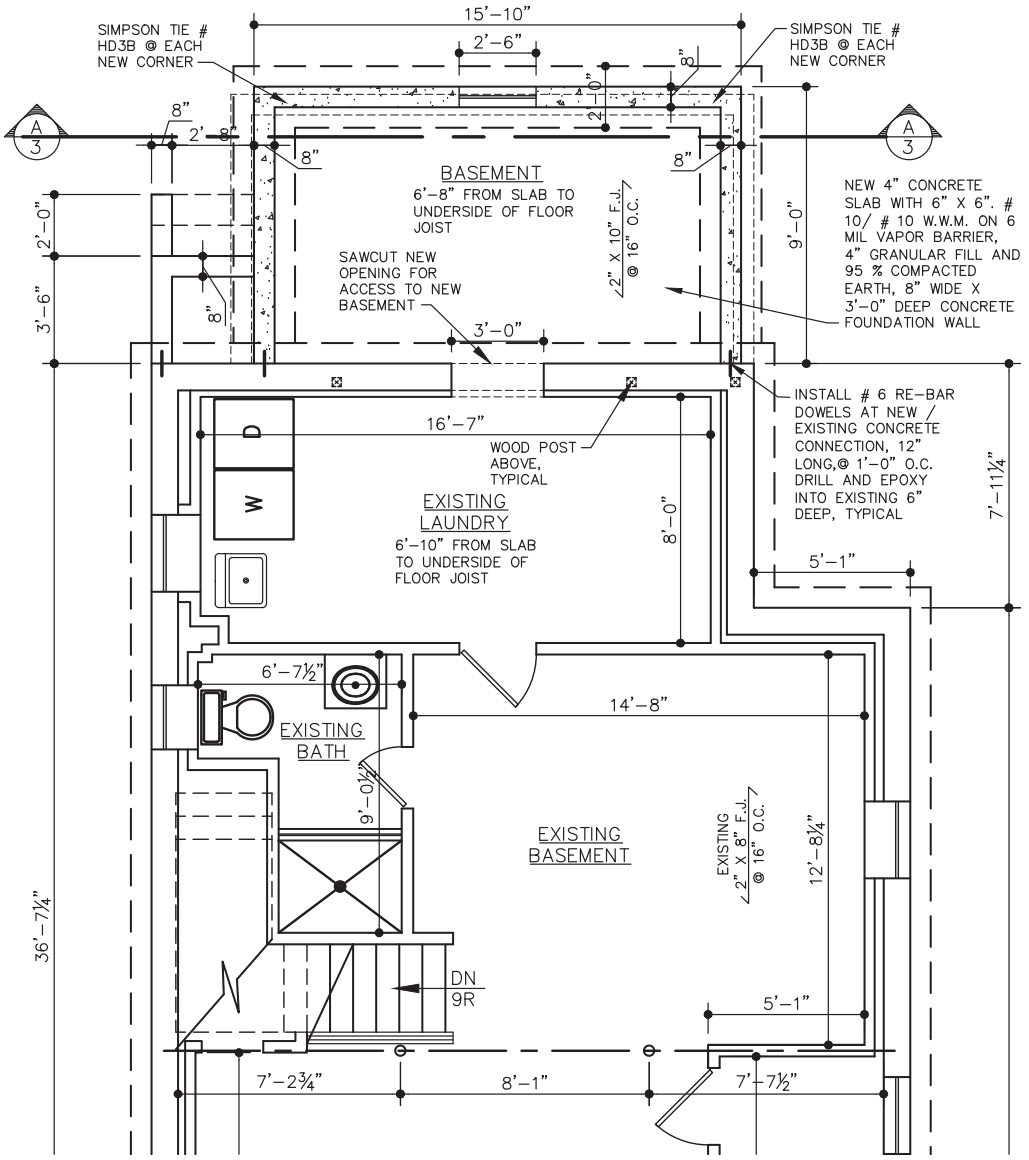
SITE PLAN

SCALE: 1" = 20'-0"



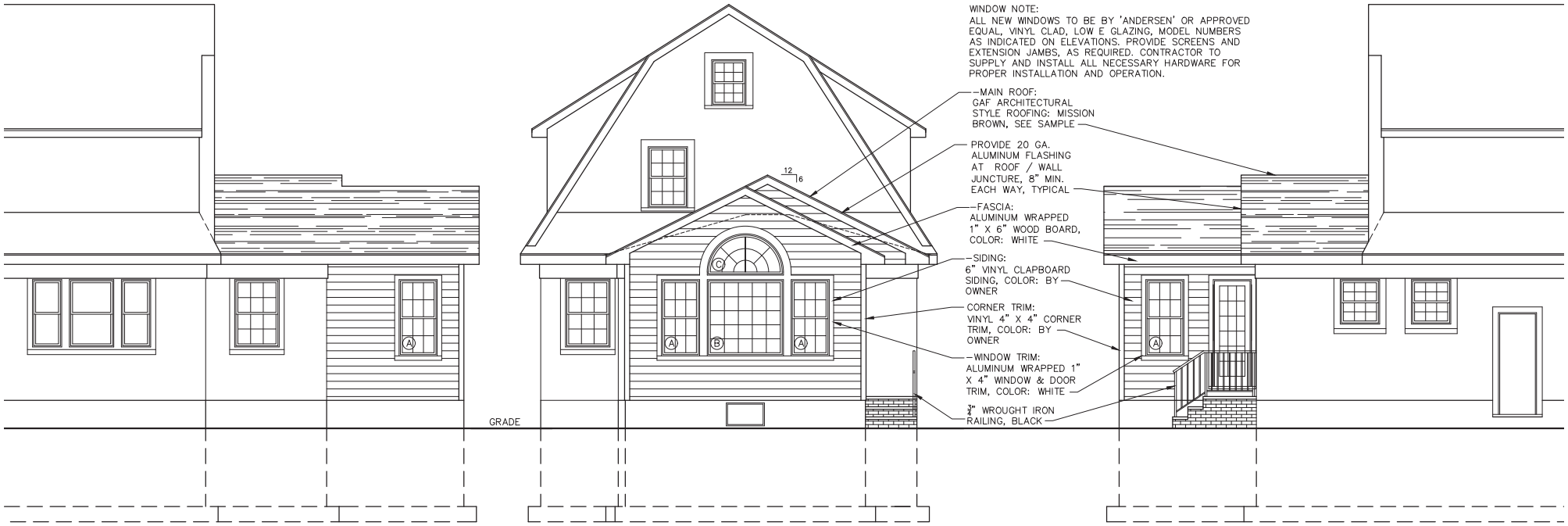
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

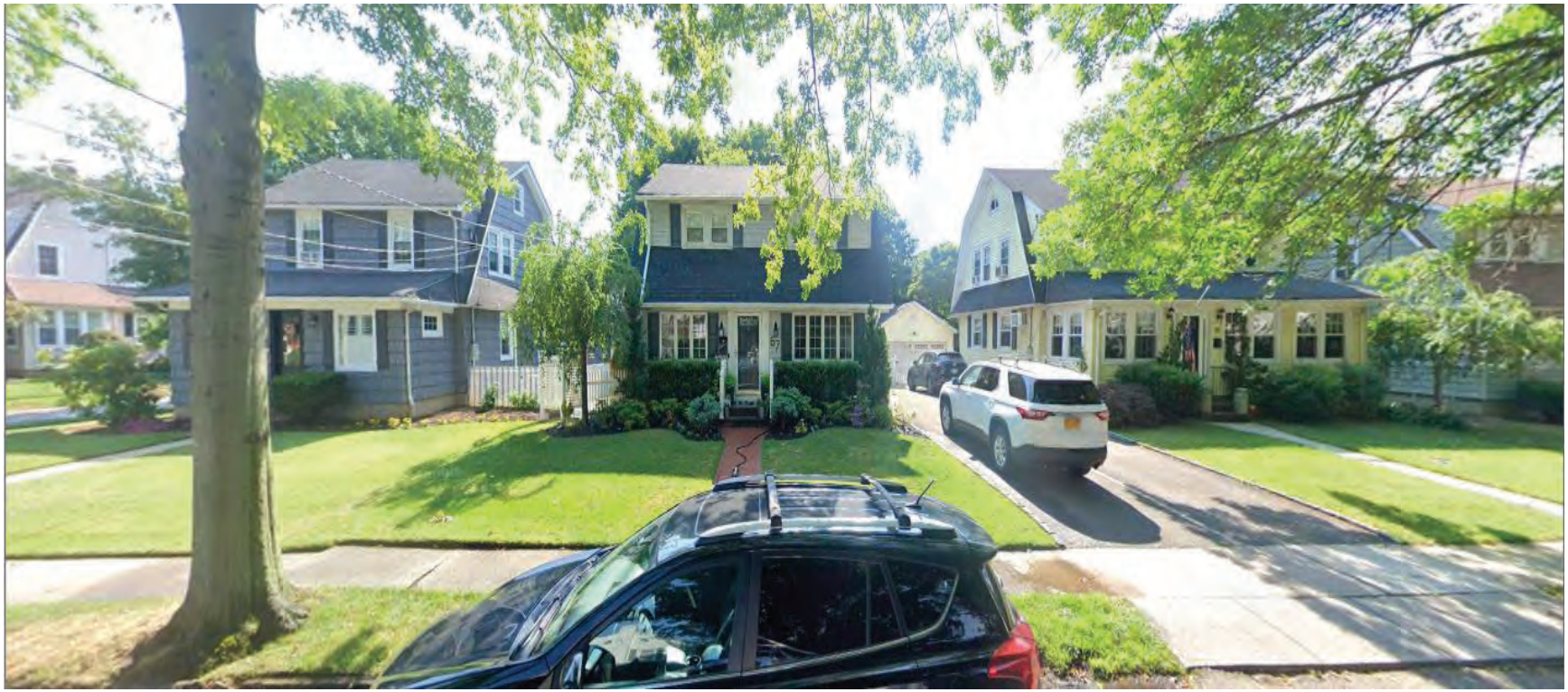
NORTH ELEVATION

SCALE: 1/4" = 1'-0"

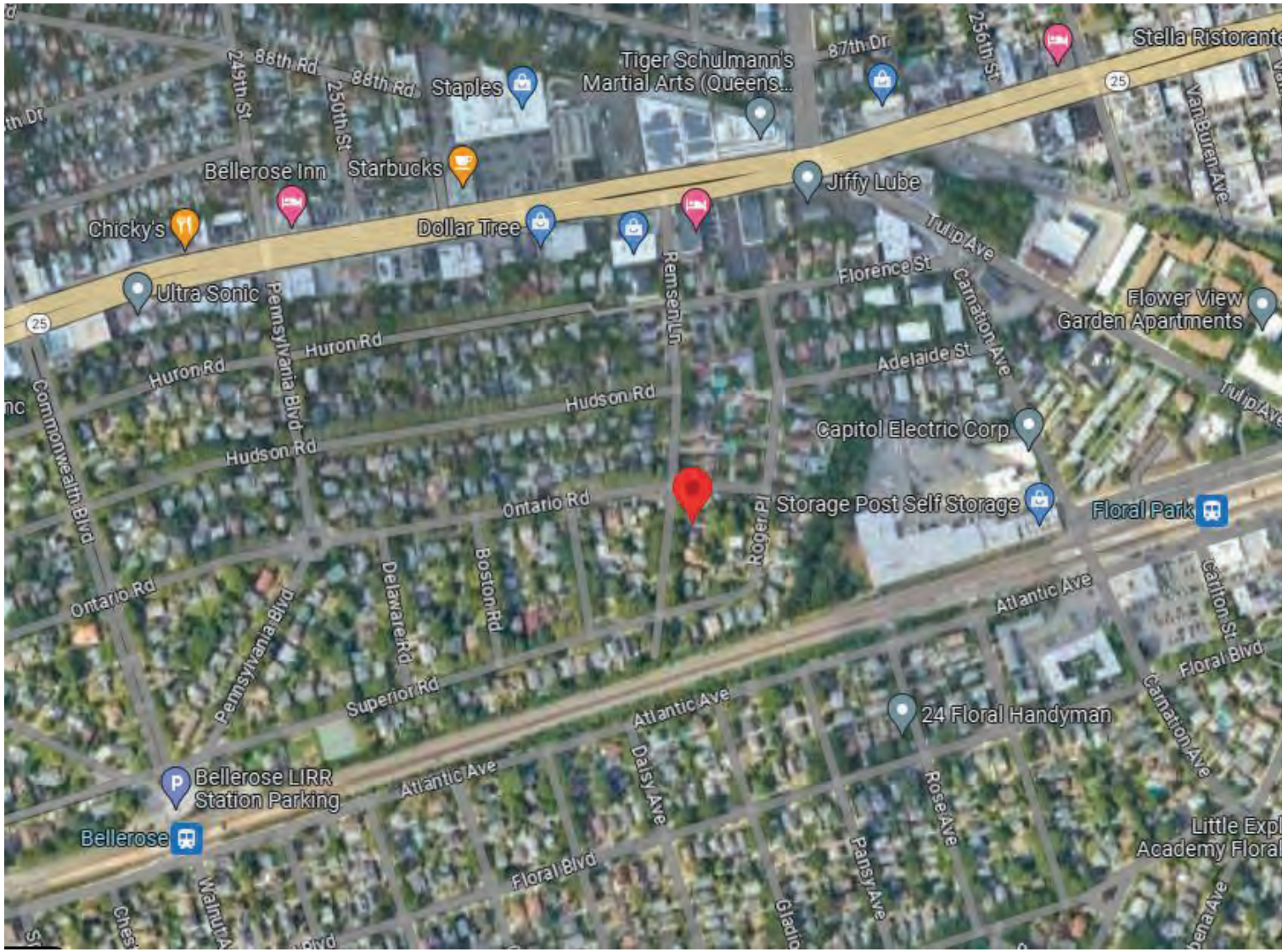
EAST ELEVATION

SCALE: 1/4" = 1'-0"

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
7	8:30 p.m.	67	Remsen Lane	Re-submission - Maintain Garage Alteration	Kevin Baccari	Bobby K Architects



67 Remsen Lane (Aerial View)

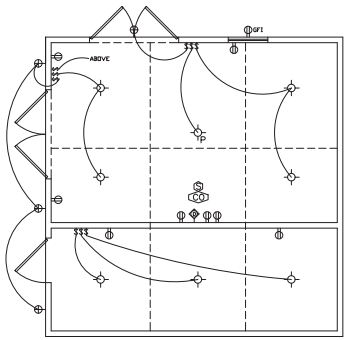


ELECTRICAL LEGEND

- SINGLE POLE WALL SWITCH ROCKER TYPE BY LEVITON OR EQ. COLOR TO BE SELECTED BY OWNER
- DUPLEX OUTLET COLOR TO BE SELECTED BY OWNER
- WP GFI WEATHERPROOF DUPLEX OUTLET WITH EXTERIOR COVER AND GROUND FAULT INTERRUPT BY LEVITON OR EQ. COLOR TO BE SELECTED BY OWNER
- DATA
- PENDANT FIXTURE, BY OWNER
- RECESSED HI HATS
- WALL MOUNTED FIXTURE, BY OWNER
- SMOKE DETECTOR
- CO CARBON MONXIDE DETECTOR

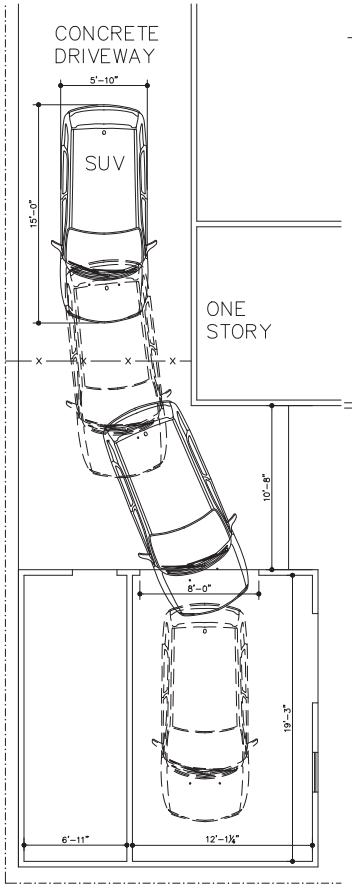
ELECTRICAL NOTES

1. MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, RULES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION, INDUSTRY STANDARDS AND UTILITY COMPANY REGULATIONS. IN CASE OF DIFFERENCES BETWEEN CODES, STANDARDS, RULES, REGULATIONS AND THE CONTRACT DOCUMENTS, THE MOST STRINGENT SHALL GOVERN.
2. ALL MATERIAL SHALL BE NEW AND U.L. LISTED.
3. PROVIDE A NON-METALLIC OUTLET BOX FOR EACH DEVICE OR LIGHTING FIXTURE INSTALLED, FLUSH IN DRY PARTITIONS OR CEILINGS. STEEL OUTLET BOXES SHALL BE USED FOR EXPOSED WORK, IN FLOORS, AND MASONRY OR CONCRETE CONSTRUCTION. WHERE EXPOSED TO THE ELEMENTS, BOXES SHALL BE CAST IRON, HOT-DIP GALVANIZED.
4. PROVIDE HARD-WIRED, SINGLE STATION, SELF CONTAINED IONIZATION TYPE SMOKE DETECTOR WITH AUDIBLE ALARM FOR 120V OPERATION. TYPE SMOKE DETECTOR WITH AUDIBLE ALARM FOR 120V OPERATION.
5. R314.6 POWER SOURCE. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE, AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION.
6. R315.5 POWER SOURCE. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE, AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION.



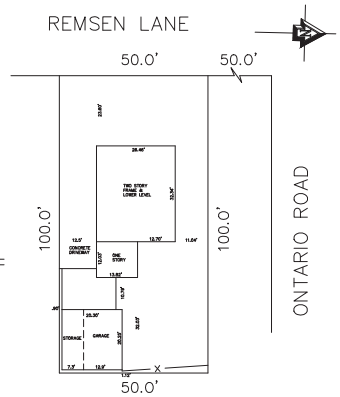
ELECTRIC PLAN

SCALE: 1/4" = 1'-0"



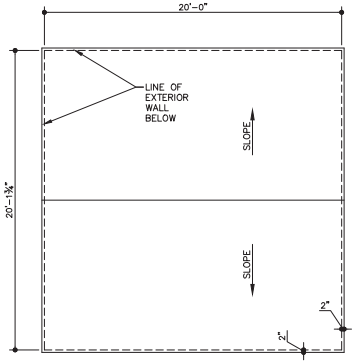
FLOOR/SITE PLAN

SCALE: 1/4" = 1'-0"



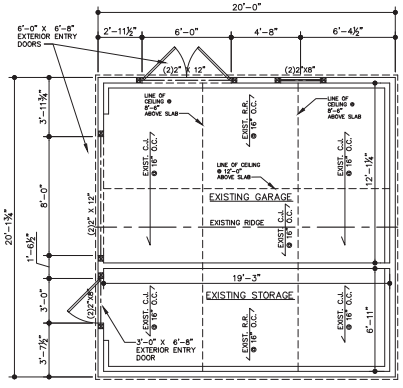
SITE PLAN

SCALE: 1" = 20'-0"



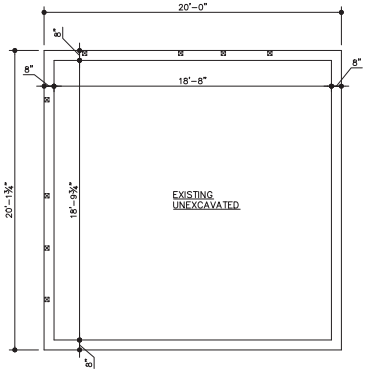
ROOF PLAN

SCALE: 1/4" = 1'-0"



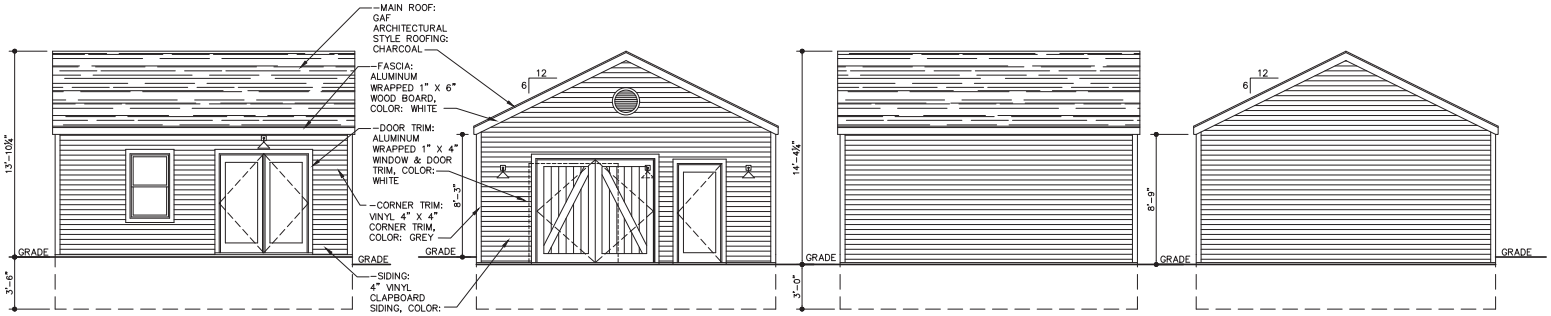
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

WEST ELEVATION

SCALE: 1/4" = 1'-0"

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

WEST ELEVATION

SCALE: 1/4" = 1'-0"

BACARRI RESIDENCE
67 REMSEN LANE
FLORAL PARK, NY 11001

NO.	DATE	ISSUES/REVISIONS
02	15JUL23	AS PER ARB MEETING
01	8MAY23	EXISTING CONDITIONS

Bobby K Architects NEW YORK
COMMERCIAL RESIDENTIAL PLANNING CORPORATE INTERIOR DESIGN
45 COMMONWEALTH BLVD. BELLEROSE VILLAGE NY 11001
516.375.1473 Fax 516.375.1473
E-mail r.keyoun@verizon.net
Internet www.quay007/RKD.htm

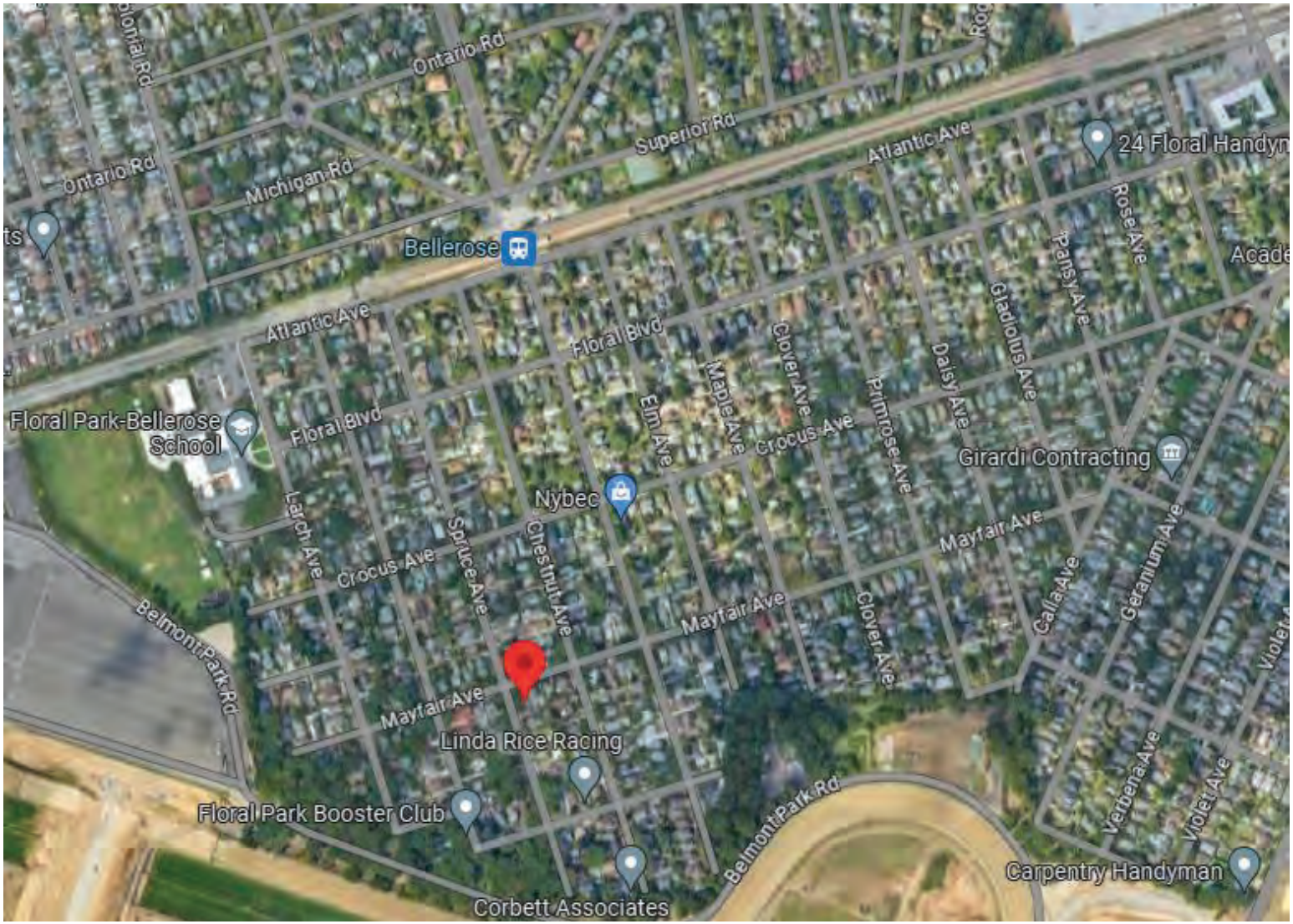
DWG. TITLE: SITE PLAN/ZONING

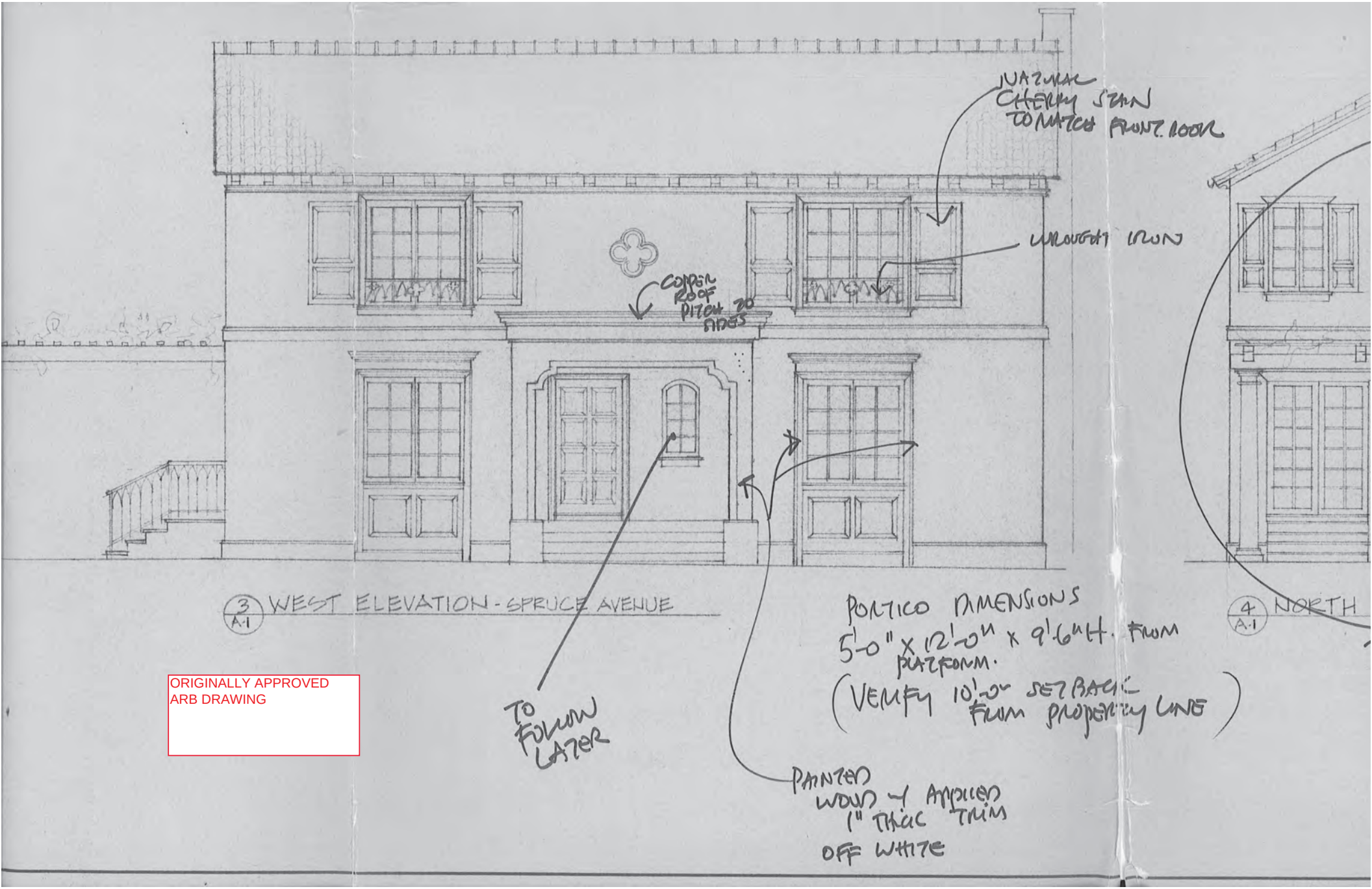
JOB NO.	DATE	PROJ. DIR.
2020-056	1JUL21	CPD
DRAWN BY	CKD. BY	SCALE:
CPD	R.K.	SEE DRAWING

DWG. NO. A-1

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
8	8:35 p.m.	65	Spruce Avenue	Re-submission - Pergola and Windows	Maria Mole	Mario R. Vergara Architect PC

65 Spruce Avenue (Aerial View)





3 / A-1 WEST ELEVATION - SPRUCE AVENUE

4 / A-1 NORTH

ORIGINALLY APPROVED
ARB DRAWING

Google Maps 65 Spruce Ave

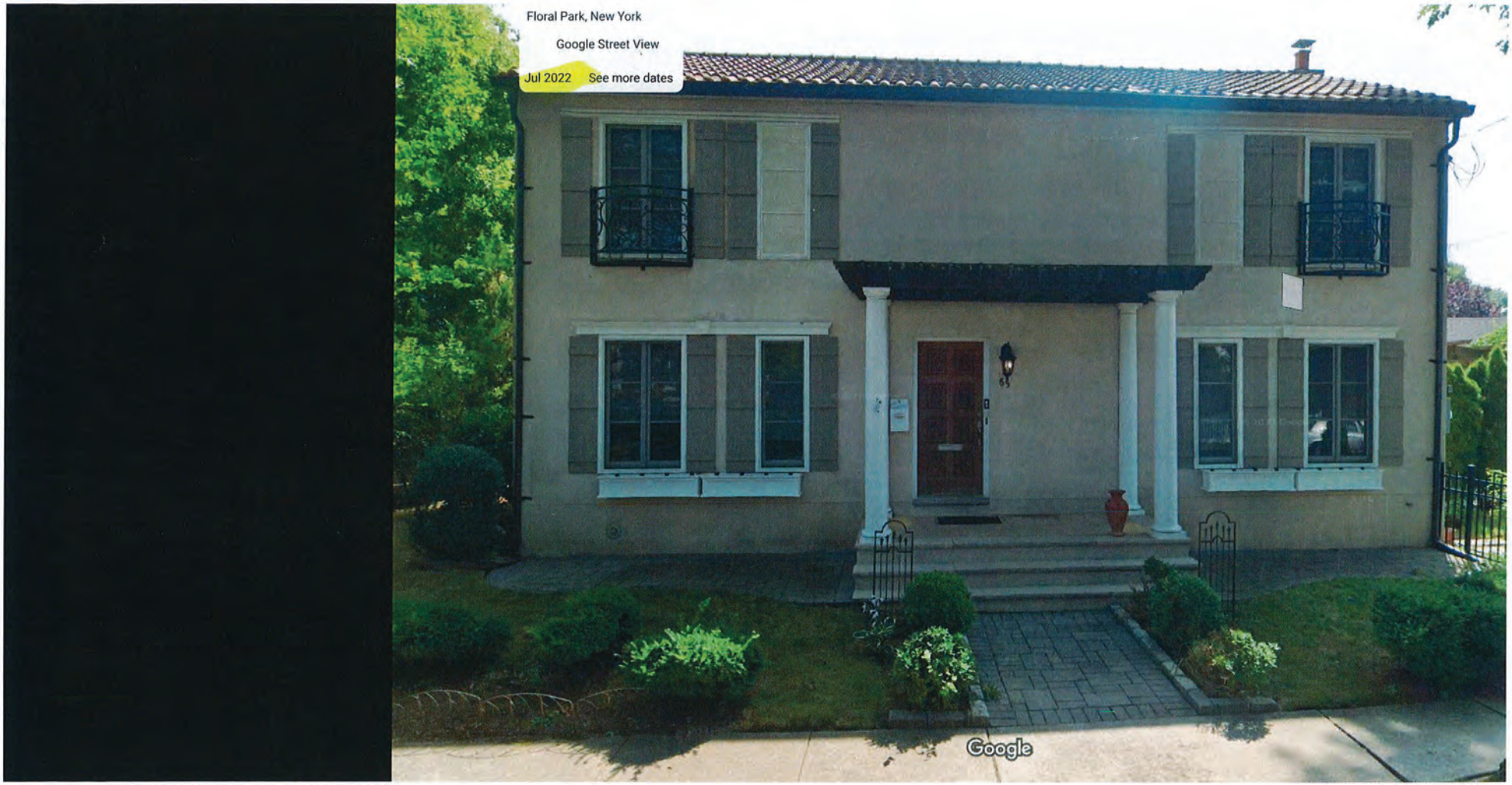


Image capture: Jul 2022 © 2023 Google

← 65 Spruce Ave

All Street View & 360°

Google Maps 65 Spruce Ave

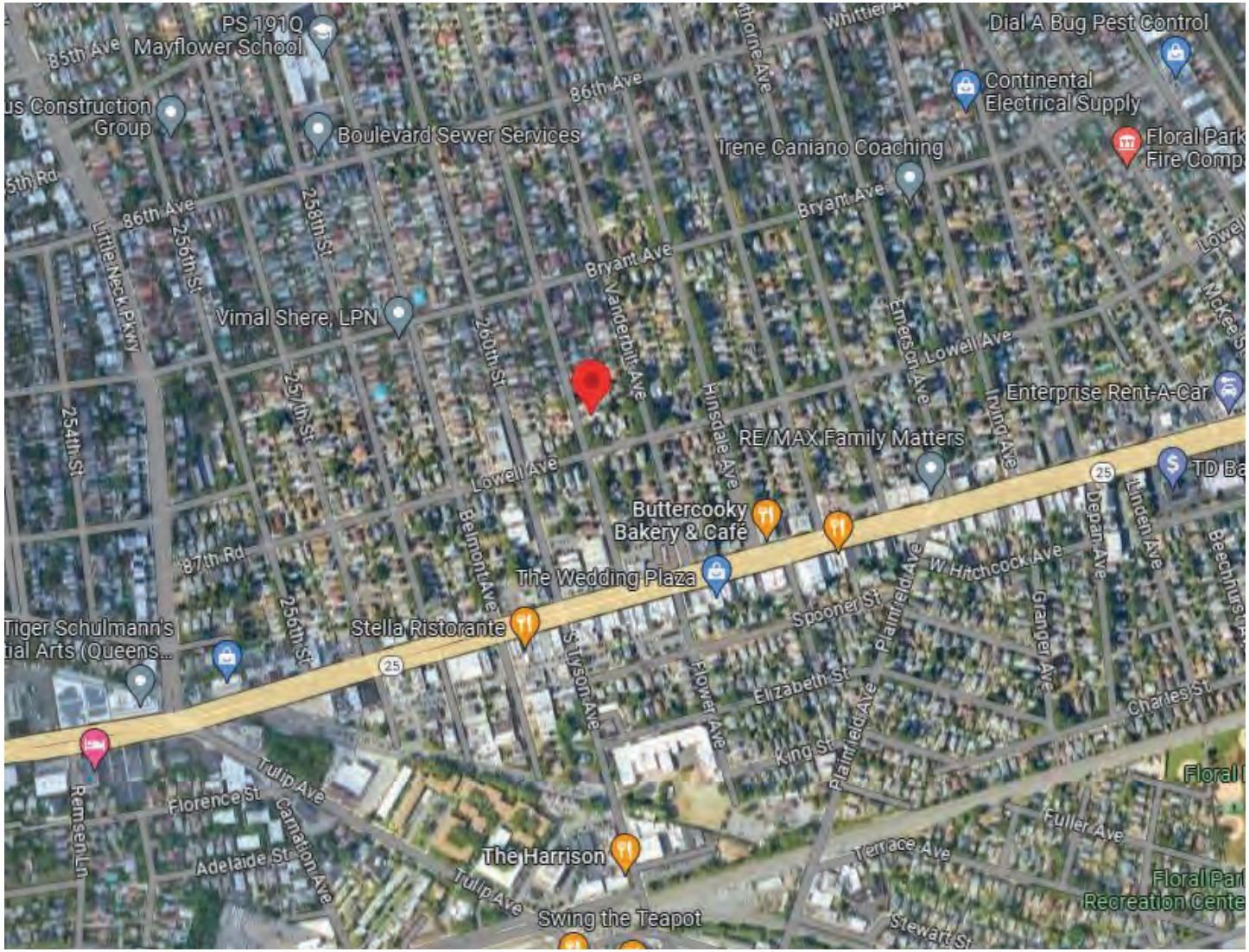
Image capture: Jul 2018 © 2023 Google

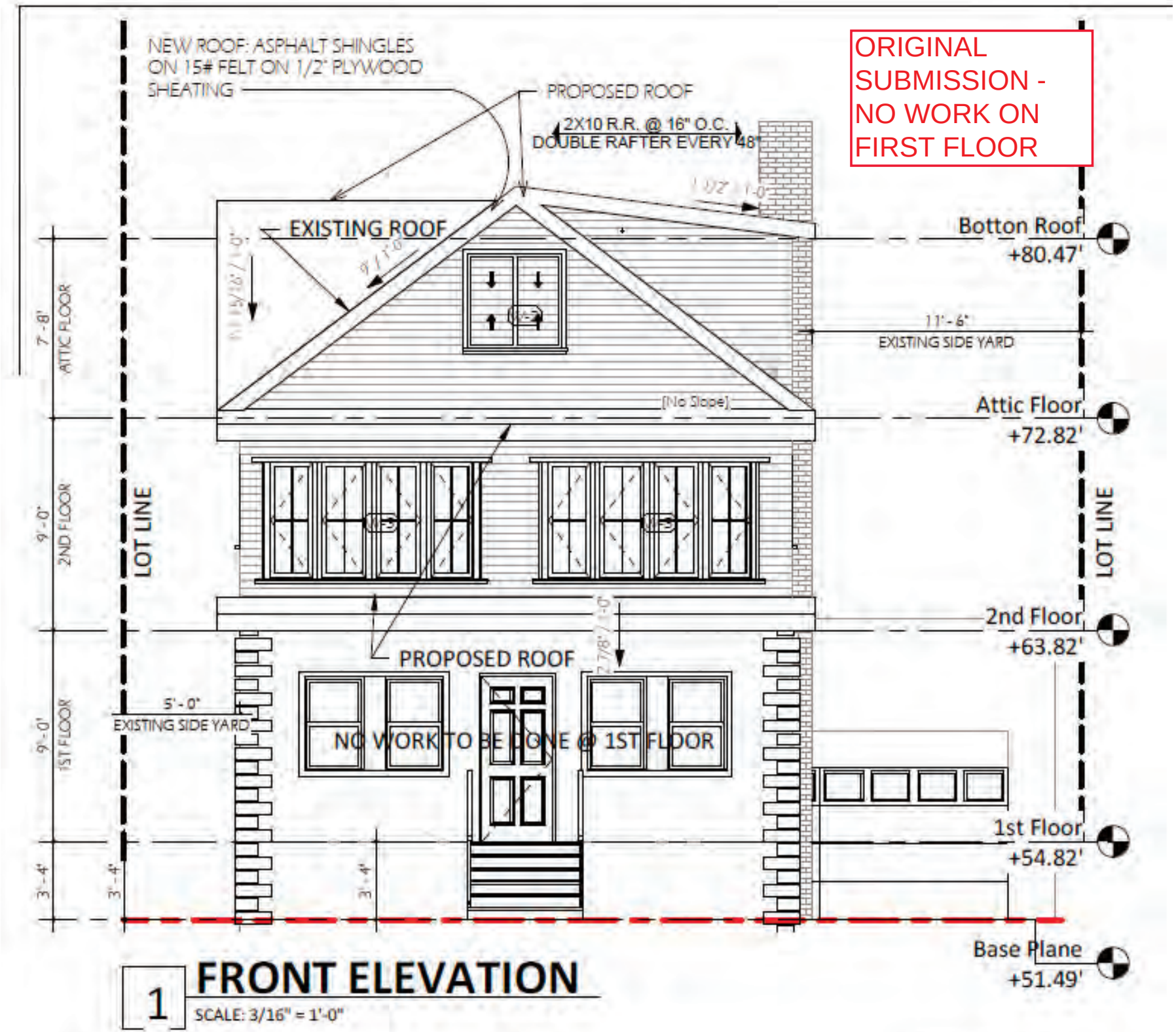
← 65 Spruce Ave

All Street View & 360°

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
9	8:40 p.m.	37	Whitney Avenue	Re-submission - Brick and Awnings	Jagdeep Singh	Cleaton Prevalus, RA

37 Whitney Avenue (Aerial View)

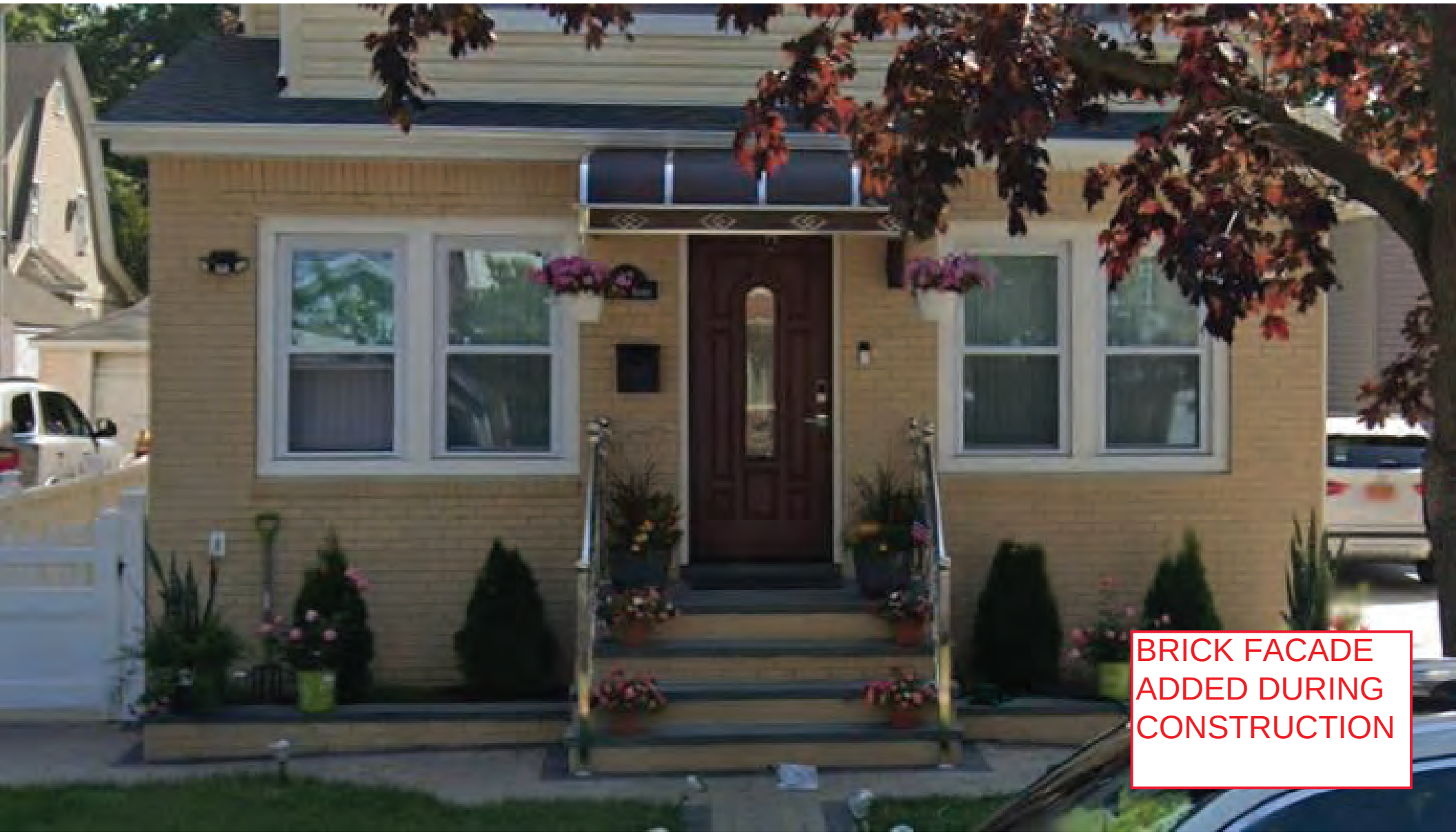


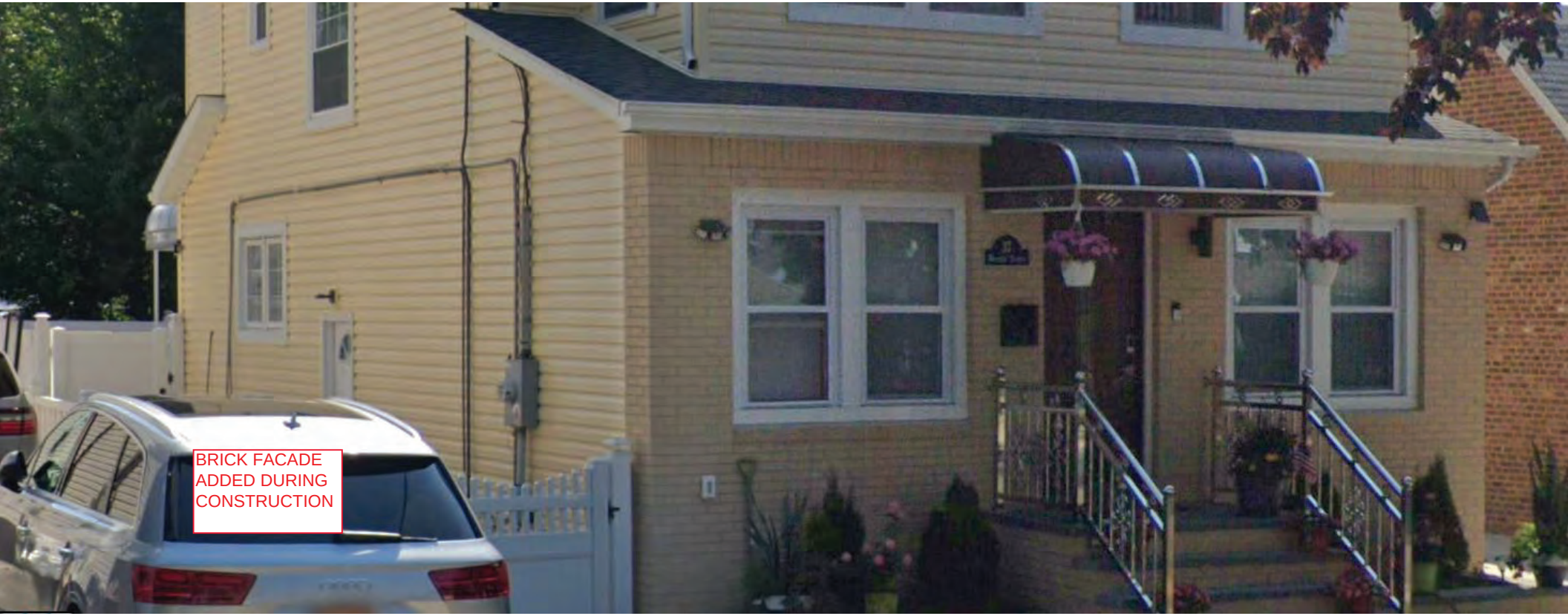


1 **FRONT ELEVATION**

SCALE: 3/16" = 1'-0"


ral park
ORIGINAL SUBMISSION - NO WORK ON FIRST FLOOR


BRICK FACADE
ADDED DURING
CONSTRUCTION


BRICK FACADE
ADDED DURING
CONSTRUCTION


Floral Park, New York
Google Street View
Jul 2022
See more dates
BRICK FACADE ADDED DURING CONSTRUCTION
Google