



# ARCHITECTURAL & PRELIMINARY SITE PLAN REVIEW BOARD

MICHAEL F. LONGOBARDI – VILLAGE TRUSTEE LIAISON  
TIMOTHY T. TWEEDY, P.E. – CHAIRMAN  
JOHN LOCKWOOD  
ANTHONY KRUYNSKI  
ROGER KUEHNLENZ  
EDWARD CHATTERTON

RENEE MARCUS, AIA – SUPERINTENDENT OF BUILDINGS  
LUCILLE LANGONE – SECRETARY

AUGUST 30, 2023

8:00 pm

Note Location: Village Hall – Fire Fighters Hall, 2<sup>nd</sup> Floor

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
<del>1</del>	<del>8:00 p.m.</del>	<del>13</del>	<del>Childs Avenue</del>	<del>Proposed Front Stoop &amp; Roof Over Basement Egress Window</del>	<del>Hold until Next Meeting</del>	<del>Christopher Dowdell</del>
2	8:05 p.m.	226	Violet Avenue	Interior Alterations, Dormer and New Window, Siding & Roof	Ruben Soto	Leo Pyzynski Jr. Architect
3	8:10 p.m.	45	Whitney Avenue	Addition and Alterations	Kwok Cheung Gee	Demetris Demetriou, RA
4	8:15 p.m.	93	Bellmore Street	Re-submission - Stucco	Lisa Burleigh	Demetris Demetriou, RA
5	8:20 p.m.	143	Tulip Avenue	Storefront	Janet Decker	John J. Tacetta
6	8:25 p.m.	110	Jericho Turnpike	Sign	Gus Michael Farinella	Dezant Signs Inc.
7	8:30 p.m.	85	Covert Avenue	Sign	70 Covert Avenue Realty Partners LLC	Dezant Signs Inc.

Questions about the projects can be emailed to [ARB@FPVillage.org](mailto:ARB@FPVillage.org) prior to the meeting to allow for the Village and Applicant to be prepared with answers.

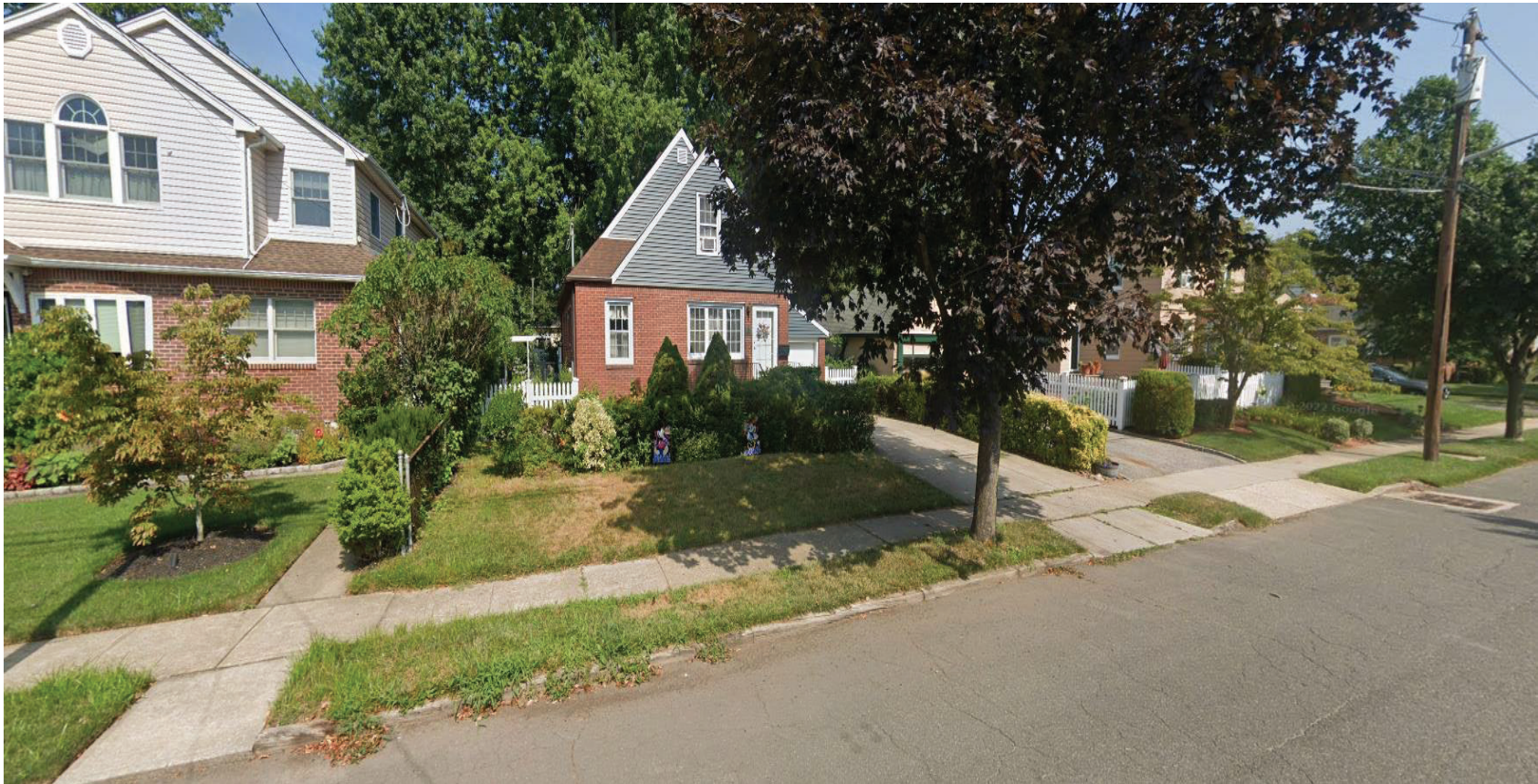
Supporting documents will be posted to the Architectural Review Board web page at least 24 hours prior to the meeting.

Click [here](#) for the ARB webpage.

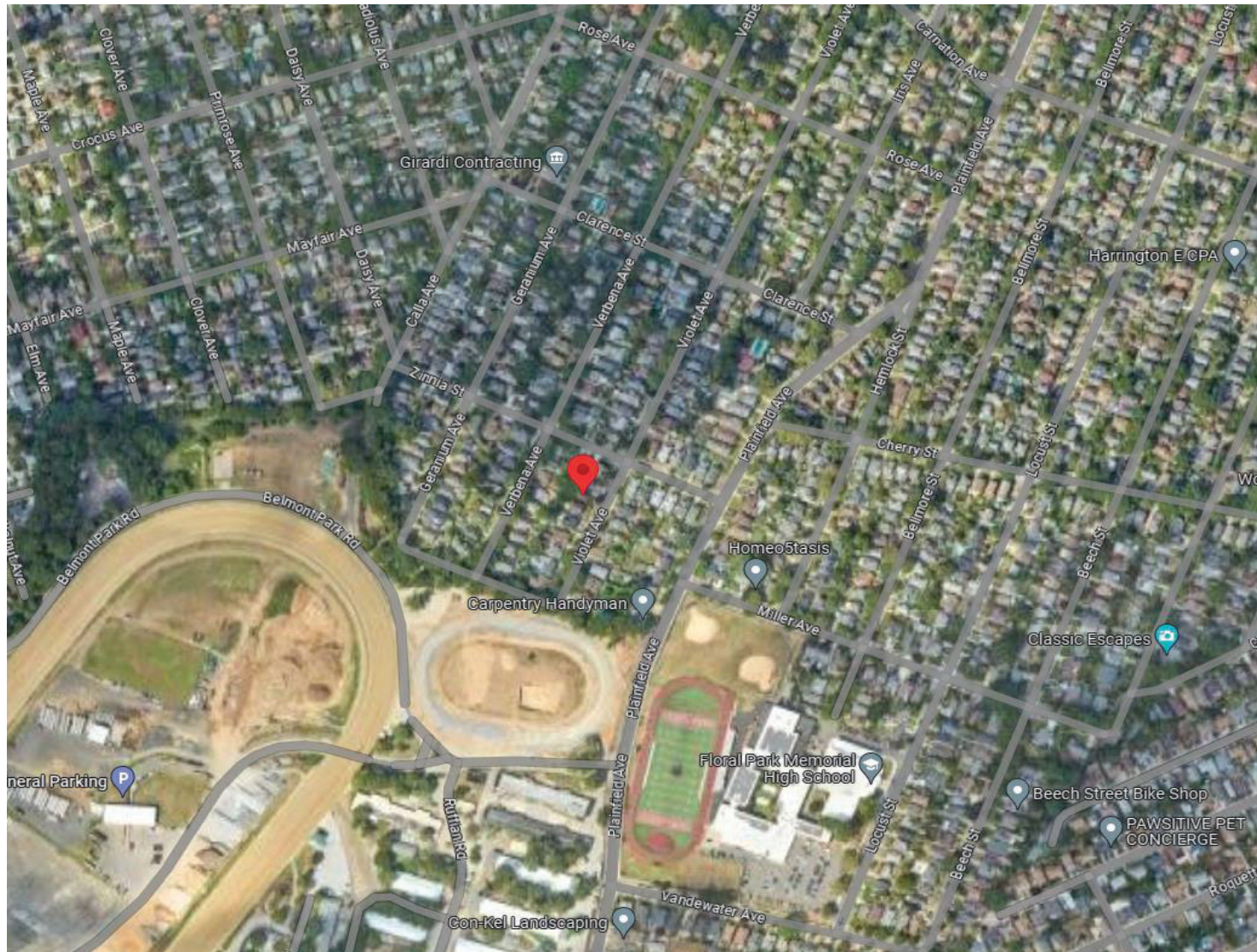
Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
<del>1</del>	<del>9:00 p.m.</del>	<del>10</del>	<del>Childs Avenue</del>	<del>Proposed Front Stoop &amp; Roof Over Basement Egress Window</del>	<del>Hold until Next Meeting</del>	<del>Christopher Dowdell</del>



Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
2	8:05 p.m.	226	Violet Avenue	Interior Alterations, Dormer and New Window, Siding & Roof	Ruben Soto	Leo Pyzynski Jr. Architect



## 226 Violet Avenue (Aerial View)

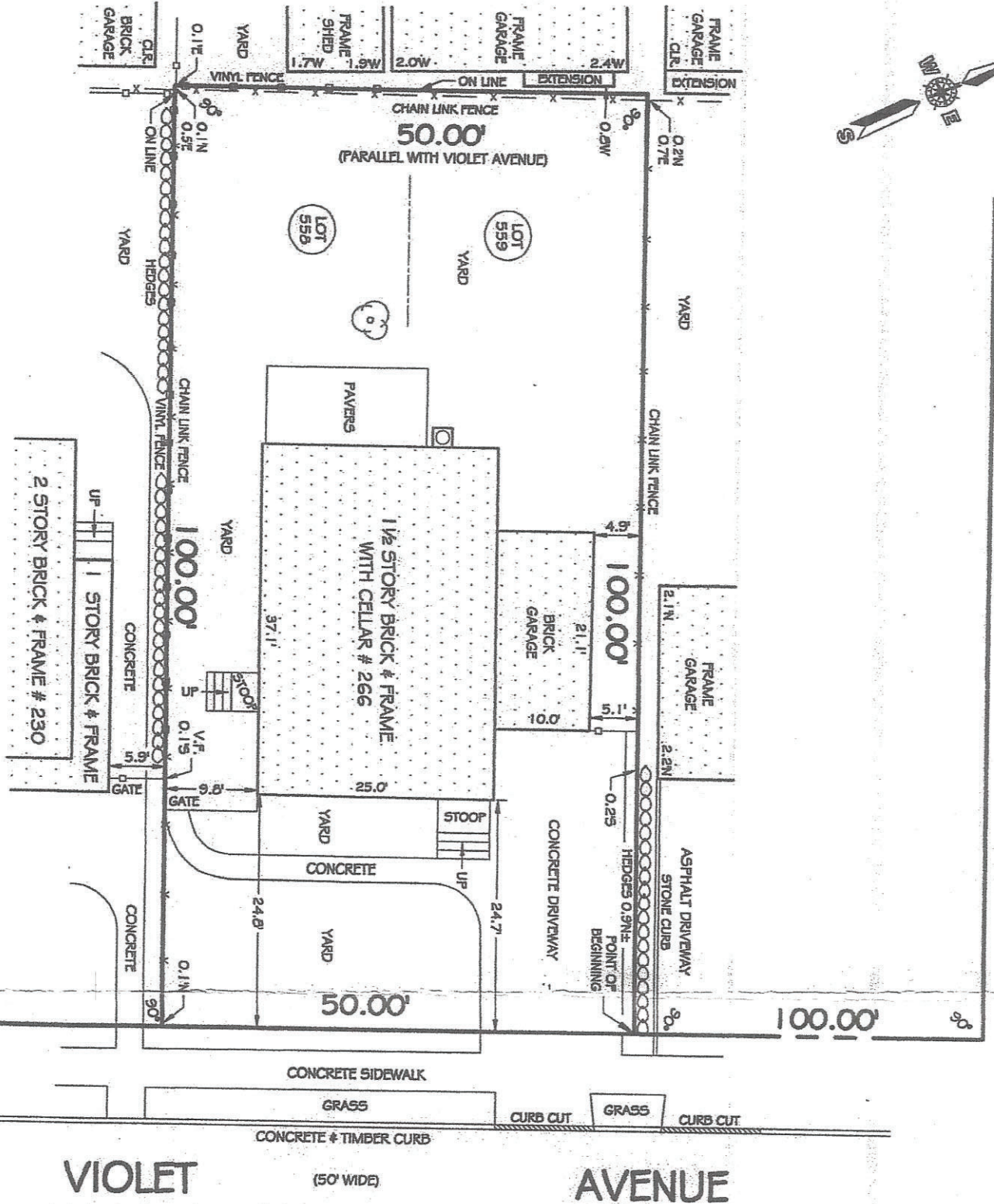




ZINNIA

(50' WIDE)

STREET



VIOLET

(50' WIDE)

AVENUE

Filed Map:  
 Situate, lying and being in the Incorporated Village of Floral Park, Town of Hempstead, County of Nassau and State of New York, known and designated as and by the Lots Numbered 558 and 559 on a certain map entitled, "Map Number One of Property of the Floral Park Company at Floral Park, Queens County, Long Island," and filed in the Queens County Clerk's Office on March 14, 1892 as Map No. 637 and subsequently filed in the Nassau County Clerk's Office as Map No. 148, Case No. 1365.

- NOTES:**
1. THIS SURVEY WAS PREPARED ONLY FOR RUBEN SOTO & NATALIA SOTO AND IS INTENDED TO BE USED FOR TITLE PURPOSES ONLY AND IS SUBJECT TO WHATEVER A MORE COMPLETE TITLE SEARCH MAY REVEAL.
  2. NO GUARANTEE IS IMPLIED BY THIS MAP AS TO THE EXISTENCE OR NONEXISTENCE OF ANY EASEMENTS OF RECORD THAT WOULD AFFECT SUBJECT PROPERTY, UNLESS SURVEYOR HAS BEEN SO DIRECTED BY THE CLIENT, WHO HAS FURNISHED TO THE SURVEYOR A DESCRIPTIVE DEED FOR SUCH EASEMENT.
  3. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.
  4. IT IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.
  5. ARCHITECTS MUST ORDER A TOPOGRAPHICAL MAP SPECIFYING THEIR EXACT NEEDS.
  6. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

JUNIOR - 962

<p><b>CERTIFICATE</b>          STEWART T.          RUBEN SOTO          MILLENNIUM</p>	<p>TAX MAP          SECTION 3          BLOCK 14          LOT 558</p>	<p>TITLE No. M.</p>	<p>0          ARE</p>	<p>W.S.F. - CON</p>
				<p>C.B.W. - CON</p>
<p>AN</p>	<p>ENTR</p>	<p>ENTR</p>	<p>WATER</p>	<p>C.B.C. - CON</p>
				<p>C.B.W. - CON</p>
<p>ENTR</p>	<p>ENTR</p>	<p>ENTR</p>	<p>WATER</p>	<p>C.L.F. - CHAIN</p>
				<p>ENTR</p>



FRONT / SIDE ELEVATIONS

①



REAR / SIDE ELEVATIONS

2





ADJACENT PROPERTIES



**A** REAR ELEVATION  
2

SCALE: 1/4" = 1'-0"

**B** FRONT ELEVATION  
2

SCALE: 1/4" = 1'-0"



NOTE:  
REMOVE ALL ROOFING DOWN TO SHEATHING,  
REPAIR SHEATHING AS REQUIRED,  
INSTALL NEW 15# BUILDING FELT PAPER,  
FLASHING AS REQUIRED,  
AND NEW ASPHALT ROOF SHINGLES

1" x 4" PICTURE FRAME AROUND  
WINDOWS AND DOORS

NOTE:  
REMOVE ALL SIDING DOWN TO SHEATHING,  
REPAIR SHEATHING AS REQUIRED,  
INSTALL NEW TYVEK HOUSE WRAP,  
FLASHING AS REQUIRED,  
5/8" R-8 INSULATION AND NEW VINYL SIDING

LINE OF SECOND FLOOR

E X I S T I N G

LINE OF FIRST FLOOR

**D** SIDE ELEVATION  
2

NO CHANGES

SCALE: 3/16" = 1'-0"

ROOFING DOWN TO SHEATHING  
AS REQUIRED,  
15# BUILDING FELT PAPER,  
FLASHING AS REQUIRED,  
AND ASPHALT ROOF SHINGLES

1" x 4" PICTURE FRAME AROUND  
WINDOWS AND DOORS

NOTE:  
REMOVE ALL SIDING DOWN TO SHEATHING,  
REPAIR SHEATHING AS REQUIRED,  
INSTALL NEW TYVEK HOUSE WRAP,  
FLASHING AS REQUIRED,  
5/8" R-8 INSULATION AND NEW VINYL SIDING

LINE OF SECOND FLOOR

E X I S T I N G

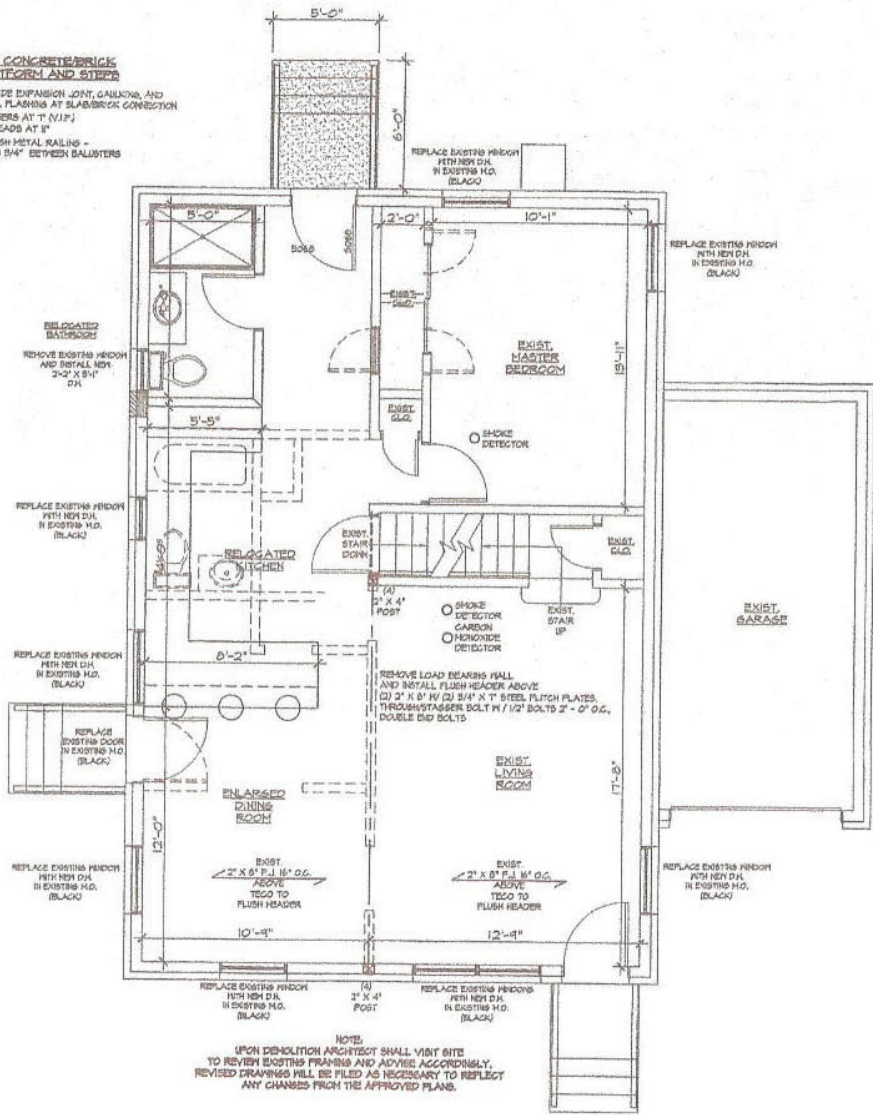
LINE OF FIRST FLOOR

**E** SIDE ELEVATION  
2

SCALE: 1/4" = 1'-0"

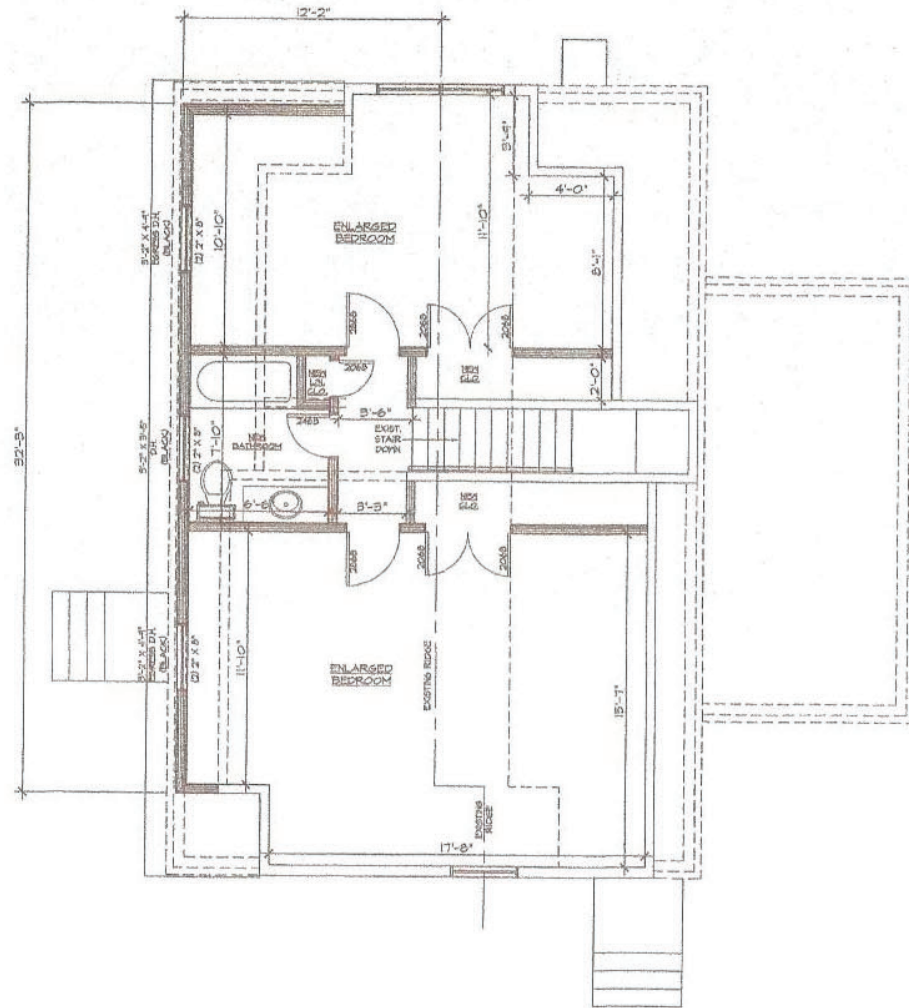
**NEW CONCRETE BRICK PLATFORM AND STEPS**

PROVIDE EXPANSION JOINT, GABRIOL, AND METAL FLASHING AT SLAB/BREAK CONNECTION  
 (4) RISERS AT T (N/F)  
 (3) TREADS AT T  
 36" HIGH METAL RAILING -  
 MAX 5 3/4" BETWEEN BAUSTERS



**(A) FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**(B) SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

Leo Joseph Pyzynski Jr. Architect

---

Roofing - Black Pearl - Carriage House

Siding - Castle Stone - Double 5"

Rough Cedar  
Clapboard

All windows will be Black



# Monogram<sup>®</sup>

Siding

Life happens here.<sup>™</sup>



Castle Stone

Espresso

Spruce

Weathered Wood

Arbor Blend

Natural Clay

Desert Tan

Melrose

Charcoal Gray

Cypress

Frontier Blend

Midnight Blue

Sable Brown

Driftwood Blend

Sterling Gray

Tuxedo

Hearthstone

Herringbone

## CertainTeed Monogram Colors

33

solids

7

blends

39

coordinating  
trim colors

## The Power of Color

Approximately 80% of what we absorb through the senses is visual, and color has the ability to distinctly influence our feelings and emotions in a unique way.

### Interior color decisions are far easier than exterior color decisions

60%

consumers are highly confident in picking interior colors

40%

consumers are highly confident in picking exterior colors

### When making exterior color decisions...

50% say "I trust my own visual instincts, my #1 influence."

40% say "Magazines, TV shows and design websites are one of my biggest influences."

10% say "Neighbors, contractors, architects and other sources are influences."

### Today's intelligent homeowners

- Understand that colors must work with neighborhood style and architectural style of the home
- Want small "pops" of color to lend personality and exhibit their style
- Want color coordination with hardscapes and landscapes
- Want to stand out "tastefully"
- Seek a "cohesive character" for their home, **but are often perplexed on how to achieve it**

Source: Brushfire Consumer Panel Survey, 12/11

**Choosing your color should be fun, not intimidating.**

See pages 15-16 for helpful guidelines.

Note: Colors throughout this brochure are simulated. Consult product samples before making final selection.

Olive Grove

Wedgewood Blue



## CARRIAGE HOUSE® COLOR PALETTE



Colonial Slate



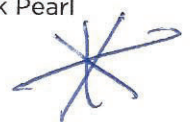
Gatehouse Slate



Stonegate Gray



Black Pearl

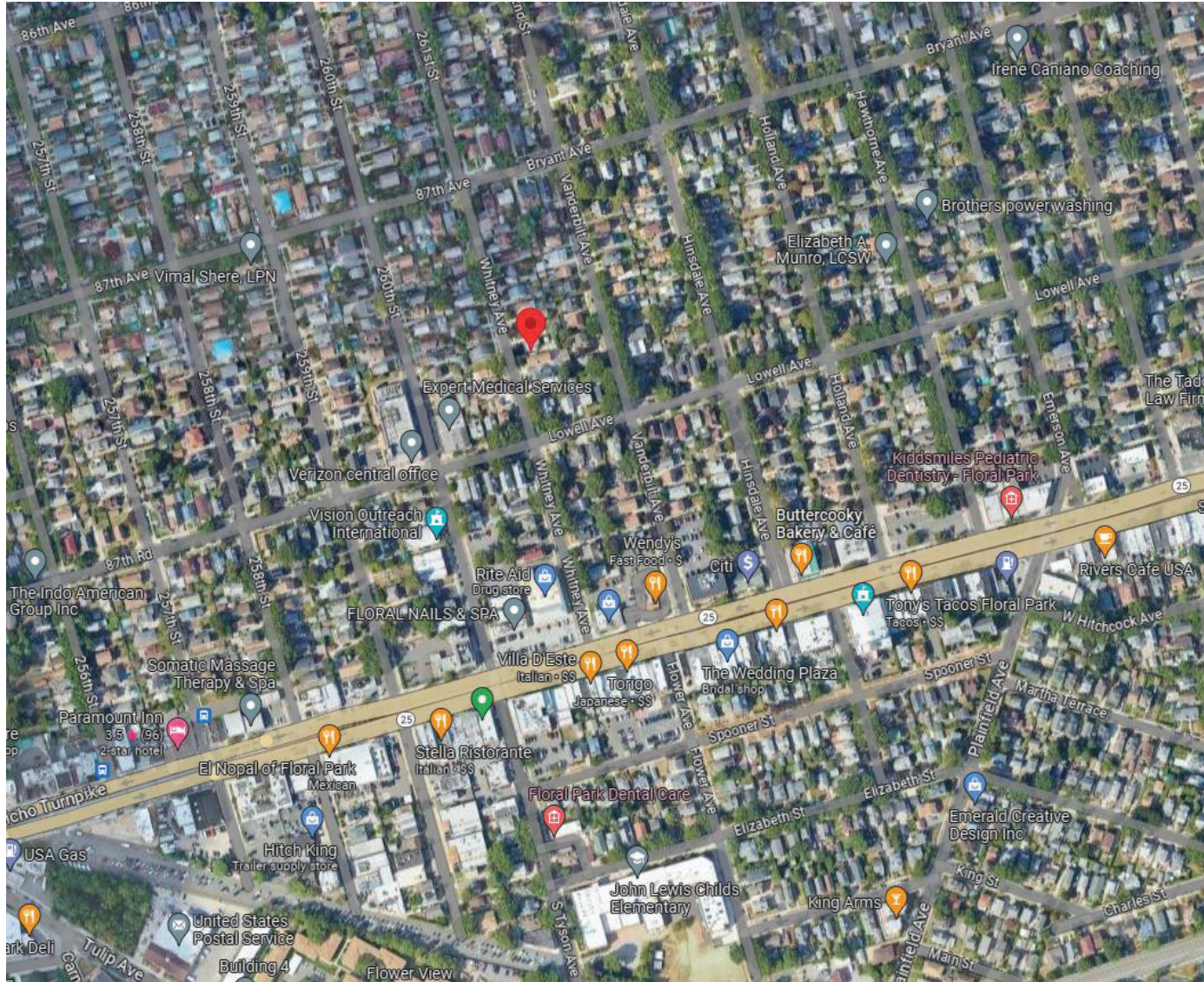




Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
3	8:10 p.m.	45	Whitney Avenue	Addition and Alterations	Kwok Cheung Gee	Demetris Demetriou, RA



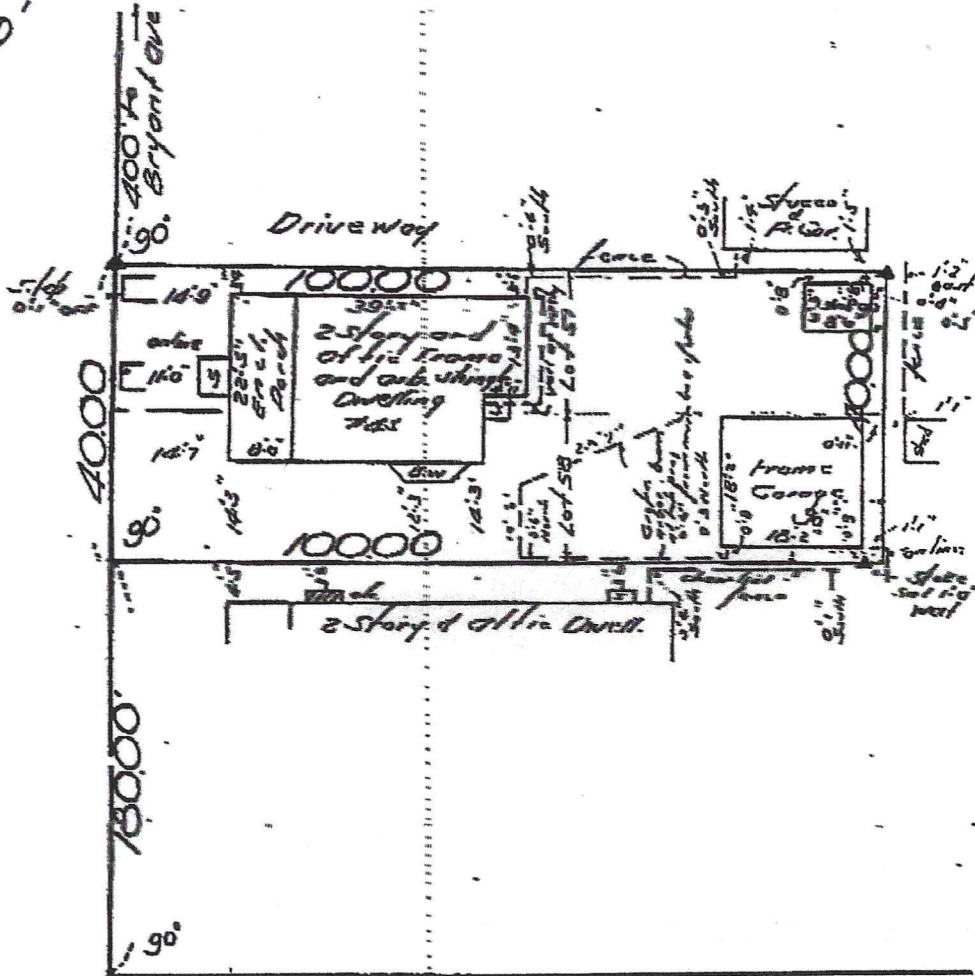
# 45 Whitney Avenue (Aerial View)



TITLE NUM.

600  
AVE.

WHITNEY



LOWELL

AVE.

& Denotes Stake Set

LOT NOS. REFER TO MAP OF Floral Park Homes Sect A-Block 23

GUARANTEED TO First National Bank & Trust Co of Floral Park  
Inter-County Title Guar & Mort. Co.

SURVEYED May 3, 1951

William H. Parry INC.  
U. S. STANDARD

Floral Park  
NASSAU COUNTY, N. Y.

WILLIAM H. PARRY, INC.  
CIVIL ENGINEERS. CITY SURVEYORS  
161-10 JAMAICA AVENUE  
JAMAICA, N. Y. C.

S. 8 B. 73

47064



FRONT VIEW



RIGHT SIDE VIEW (driveway)

45 WHITNEY AVENUE



REAR VIEW

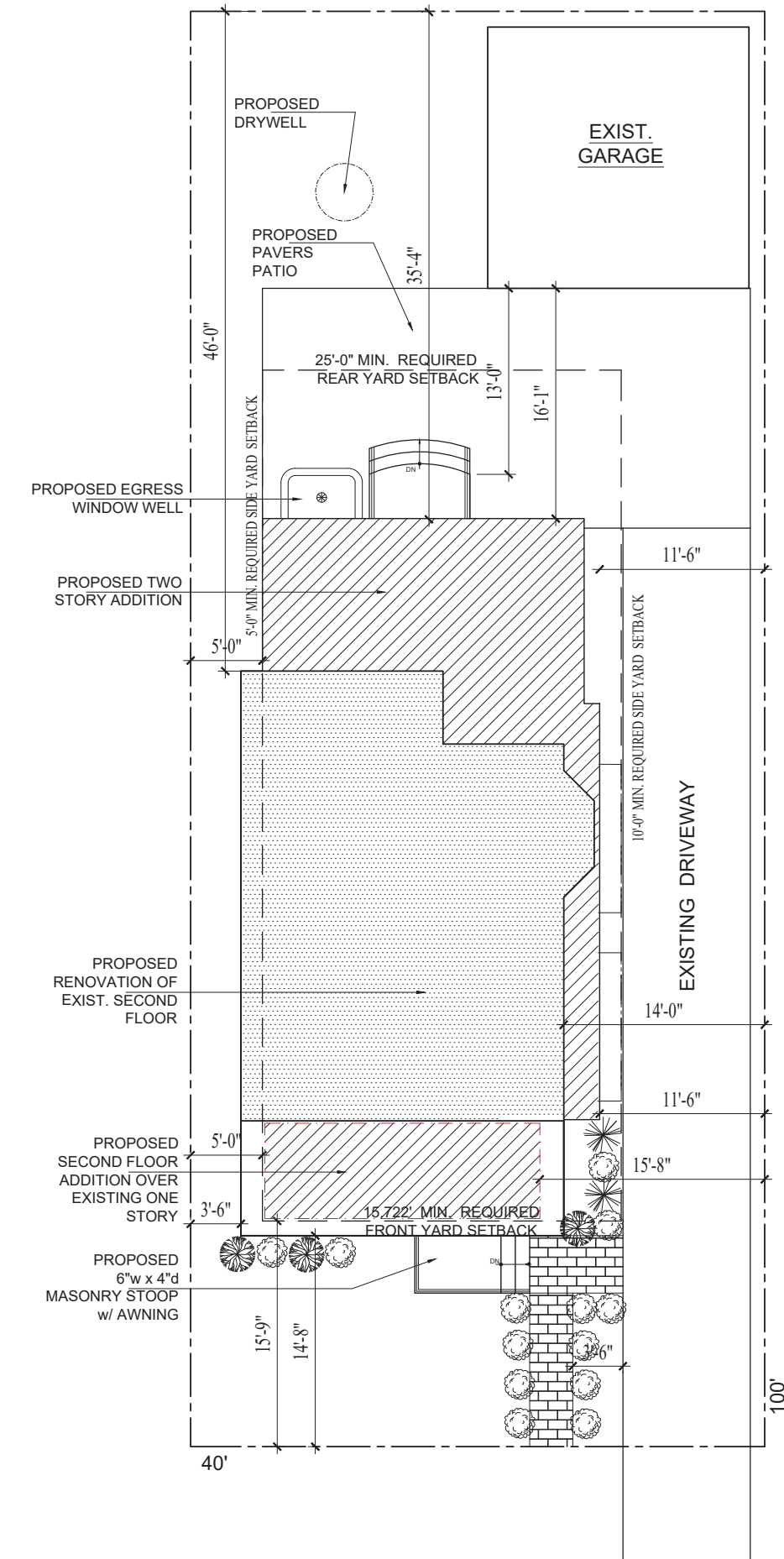


LEFT SIDE VIEW

45 WHITNEY AVENUE



ADJACENT NEIGHBORS  
45 WHITNEY AVENUE

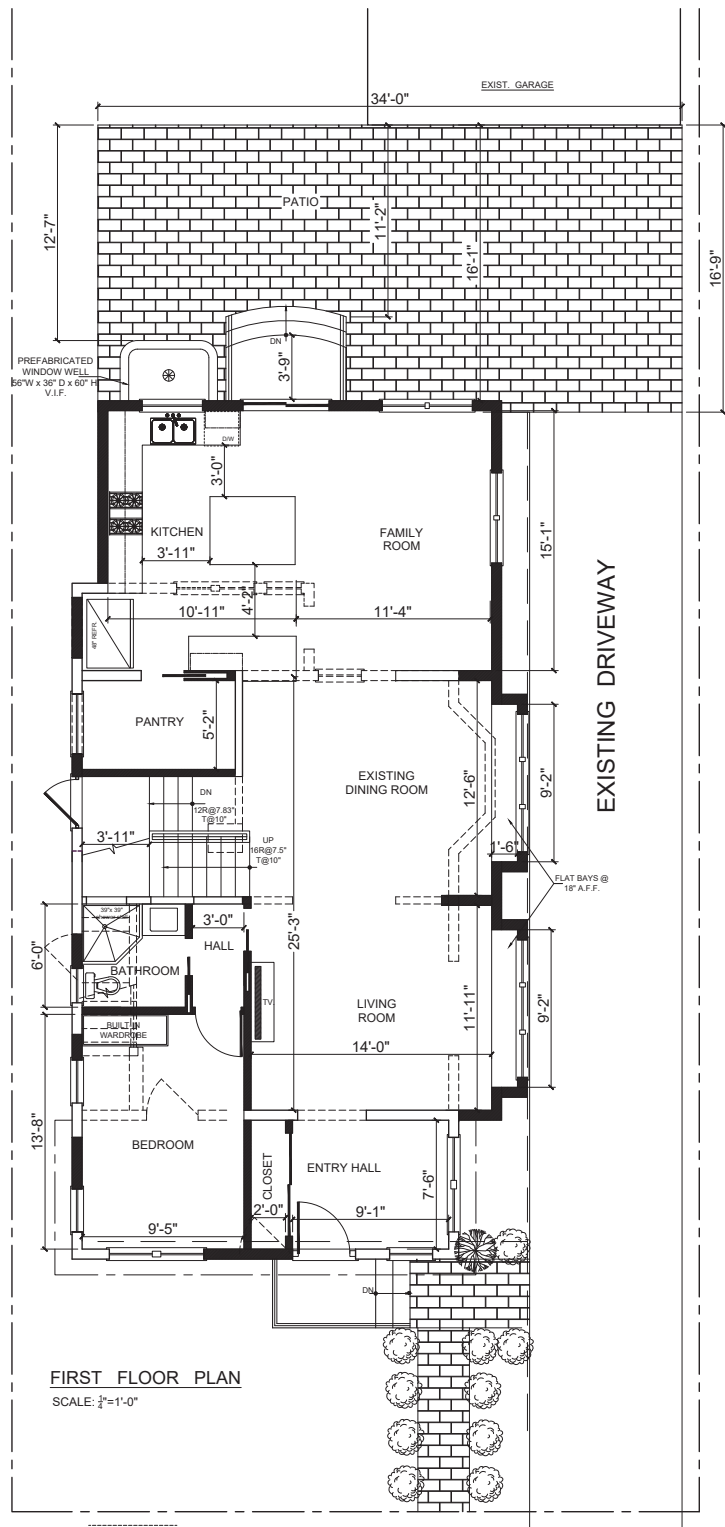


WHITNEY AVENUE

SITE PLAN

SCALE:  $\frac{3}{16}'' = 1'-0''$

SITE PLAN INFORMATION TAKEN FROM SURVEY DRAWN  
 by LIC. SURVEYOR FRANK GALLUZZO OF EMPIRE STATE  
 LAND SURVEYOR, P.C. DATED: 12-15-2022



### WALL SCHEDULE

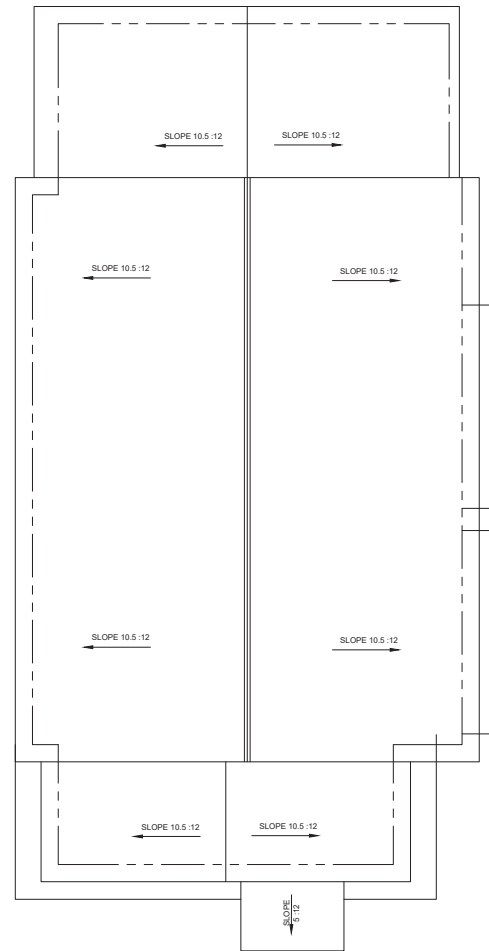
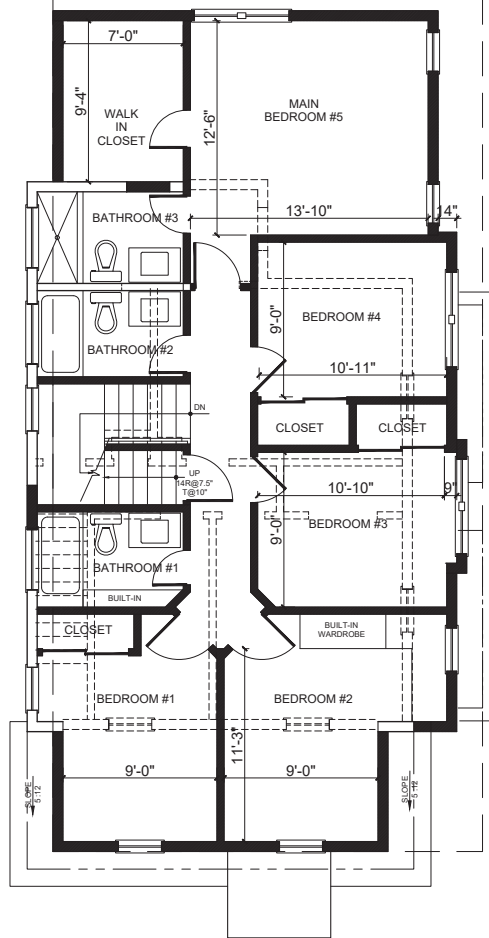
- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW FRAME WALL
- LINES OF STRUCTURE ABOVE

### LEGEND

- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR- HARD WIRED BATTERY BACK
- V.I.F. VERIFY IN FIELD
- CENTER LINE
- EXHAUST FAN
- EQUIPMENT VENT

**SMOKE & HEAT DETECTORS:**  
PROVIDE SMOKE DETECTORS, HARDWIRED W/ BATTERY BACK-UP & INTERCONNECTED IN:  
1) ALL SLEEPING ROOMS  
2) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF SLEEPING ROOMS  
3) ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENT & MECHANICAL ROOM.  
AS PER SECTION R314 NYS RESIDENTIAL BLDG. CODE

**CARBON MONOXIDE DETECTORS:**  
PROVIDE CARBON MONOXIDE DETECTORS OUTSIDE SLEEPING ROOMS & HABITABLE BASEMENT SPACES, MECHANICAL ROOM & ONE PER LANDING OF EACH STAIRWELL AS PER SECTION R315 NYS RESIDENTIAL BLDG. CODE



### ROOF PLAN

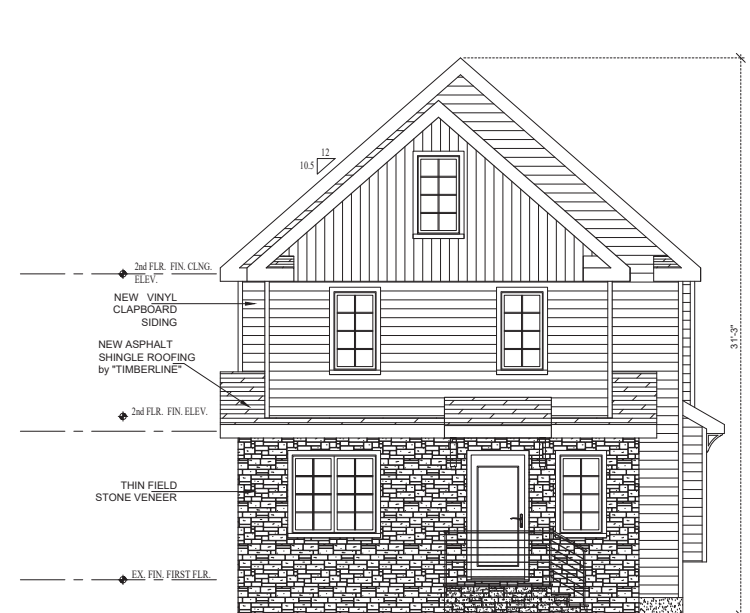
SCALE: 1/4"=1'-0"

**STRUCTURAL NOTE:**  
ARCHITECT AND STRUCTURAL ENGINEER TO REVIEW EXISTING FRAMING AFTER IS EXPOSED AND VERIFY PROPOSED FRAMING

**STRUCTURAL NOTE:**  
ALL KING POSTS IN ATTIC TO BEAR ON DOUBLE JOISTS UNLESS OTHERWISE NOTED

**FLASHING NOTE:**  
PROVIDE ALUM. FLASHING AT ALL PENETRATION THROUGH ROOF AND WALLS AS REQUIRED

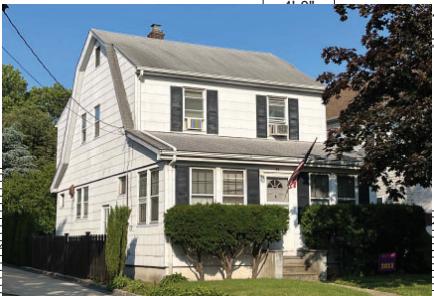




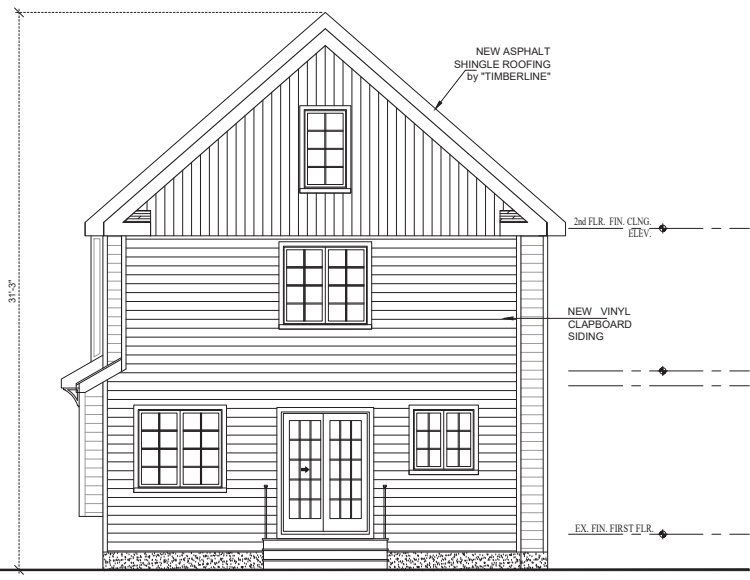
**FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



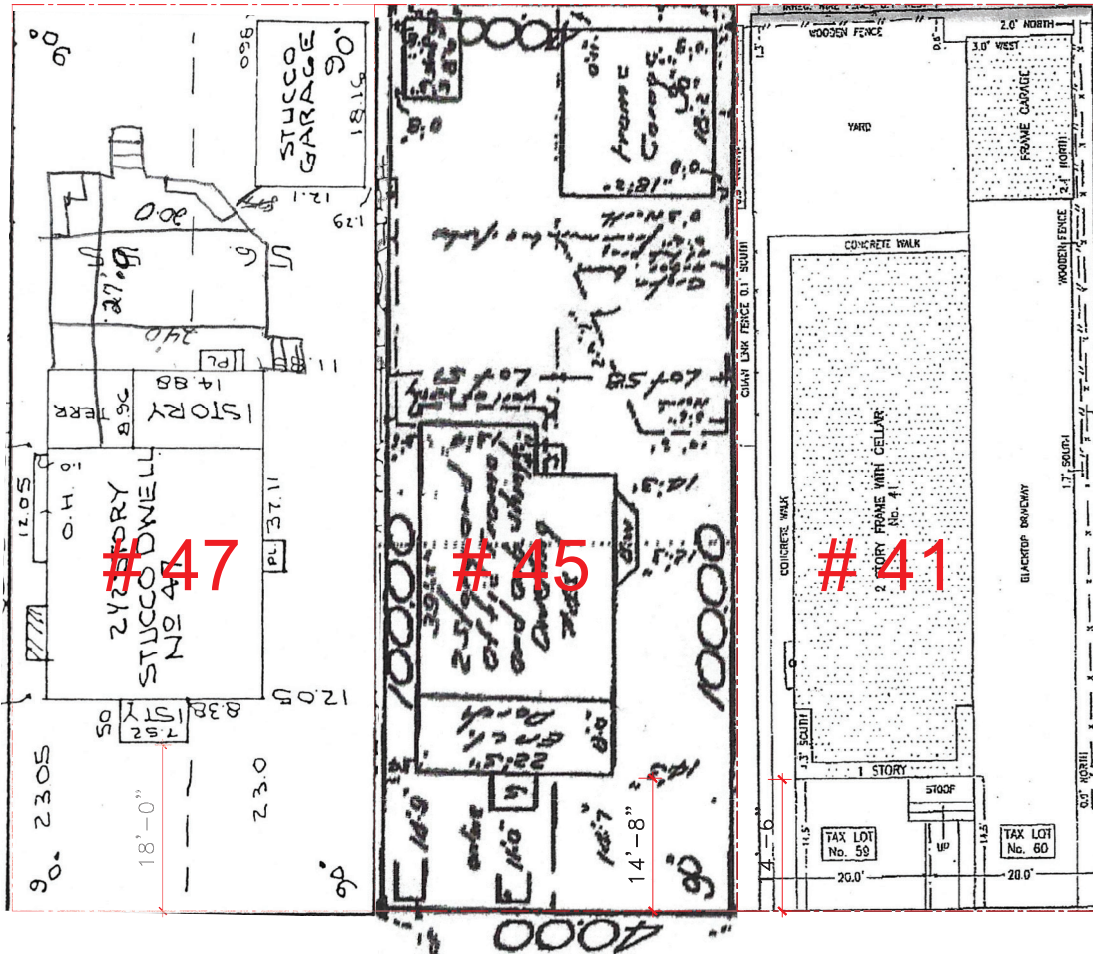
**RIGHT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



**REAR ELEVATION**  
SCALE: 1/4"=1'-0"



AVERAGE FRONT SETBACK

- #41 WHITNEY AVE. = 14'-6"
- #45 WHITNEY AVE. = 14'-8"
- #41 WHITNEY AVE. = 18'-0"
- TOTAL = (47'-2") or 47.166'

$47.166' \div 3 = 15.722'$

**WHITNEY AVENUE**



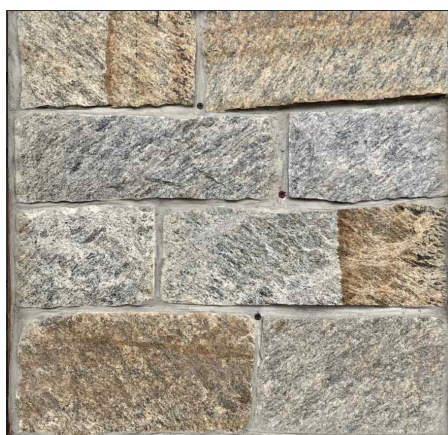
AVERAGE FRONT SETBACK



WINDOWS : VINYL  
double glazed, LOW "E"  
by "WINCORE" or equal  
color:WHITE



ROOFING : ASPHALT SHINGLES  
by "TIMBERLINE"  
color:BARKWOOD or equal



THIN STONE VENEER "CARMEL HILL -STRIP"  
by "R / STONE" or equal



VINYL SIDING by "ALSIDE"  
COLOR: VINTAGE WICKER



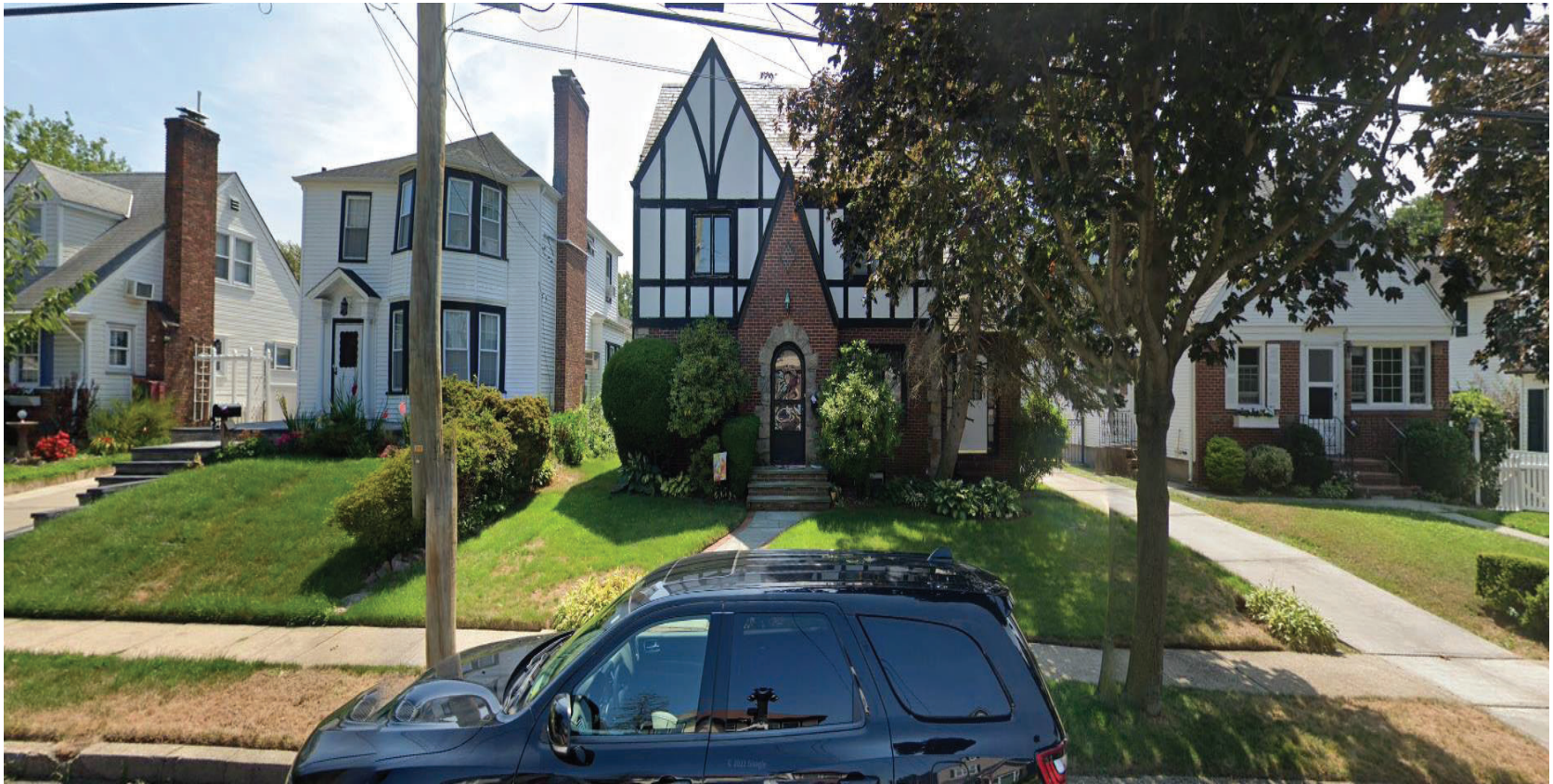
CABLE RAILING w/  
BLACK ALUM. POSTS by "KEYLINK"



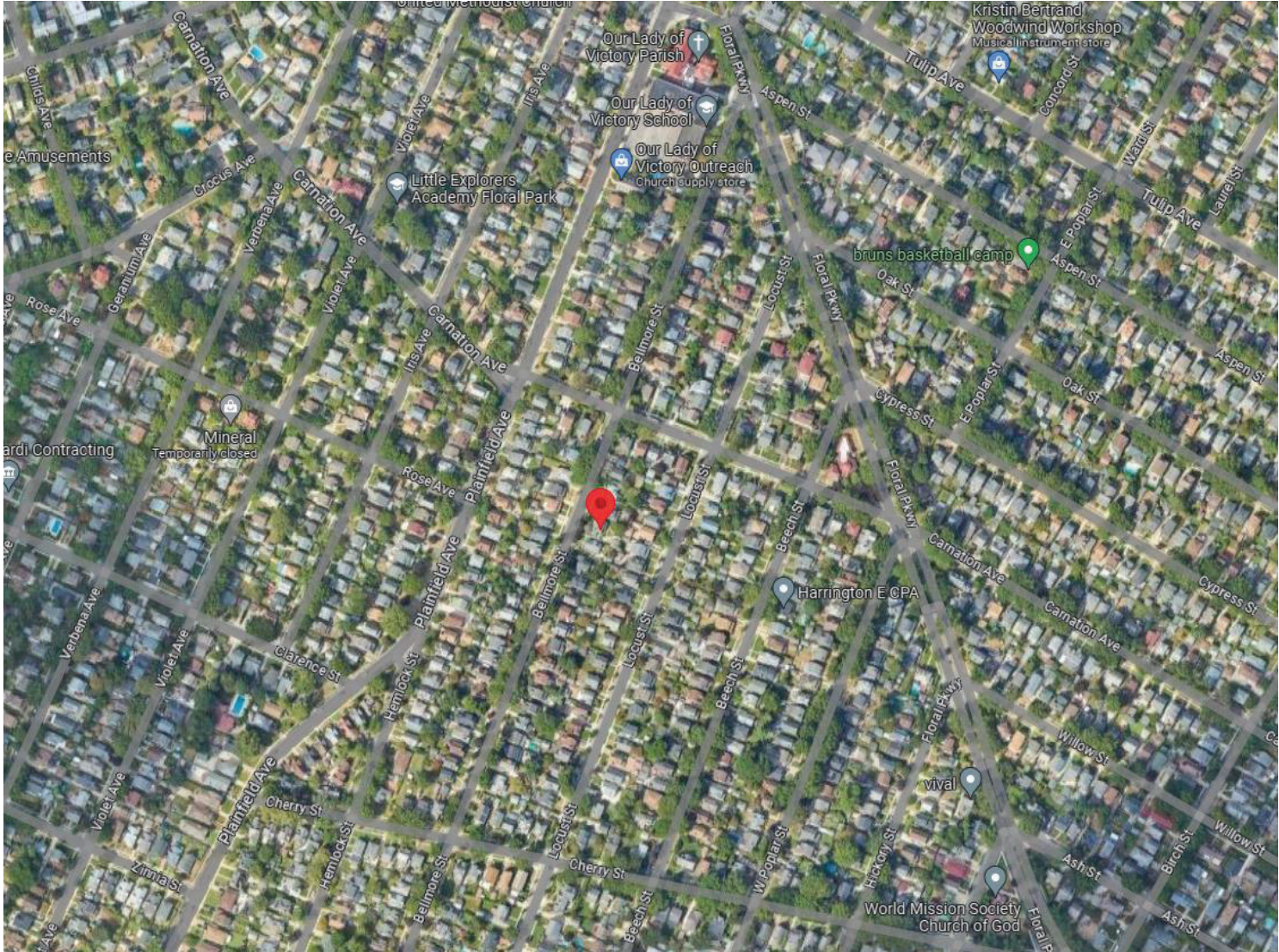
FASCIA & TRIM  
by "Azek" COLOR: WHITE

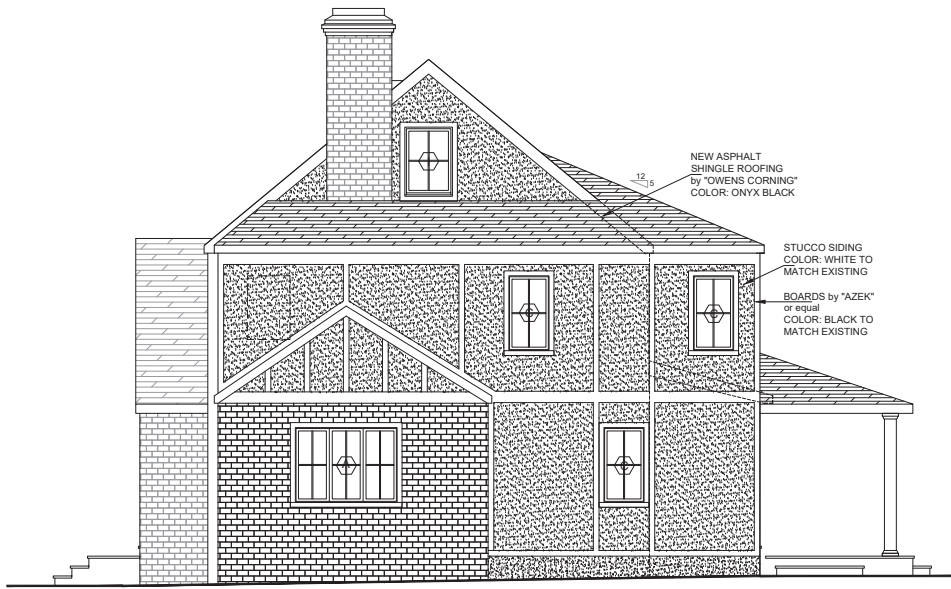
**Exterior MATERIAL**  
**45 WHITNEY AVENUE**

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
4	8:15 p.m.	93	Bellmore Street	Re-submission - Stucco	Lisa Burleigh	Demetris Demetriou, RA



# 93 Bellmore Street (Aerial View)

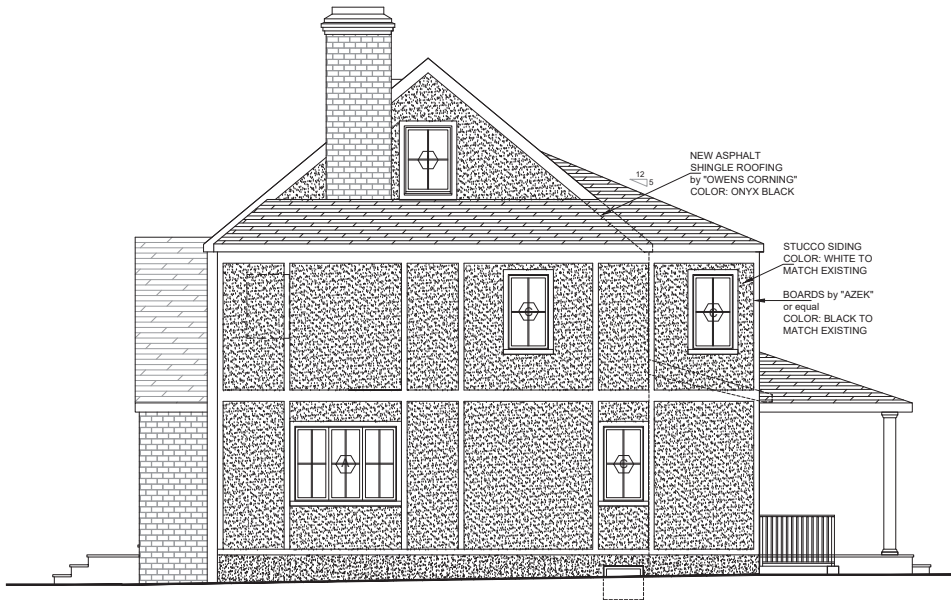




RIGHT SIDE (SW) ELEVATION SCALE:  $\frac{1}{4}''=1'-0''$   
 APPROVED by ARB 4/26/23



FRONT (NW) ELEVATION SCALE:  $\frac{1}{4}''=1'-0''$   
 APPROVED by ARB 4/26/23



RIGHT SIDE (SW) ELEVATION SCALE:  $\frac{1}{4}''=1'-0''$   
 PROPOSED 8/15/23

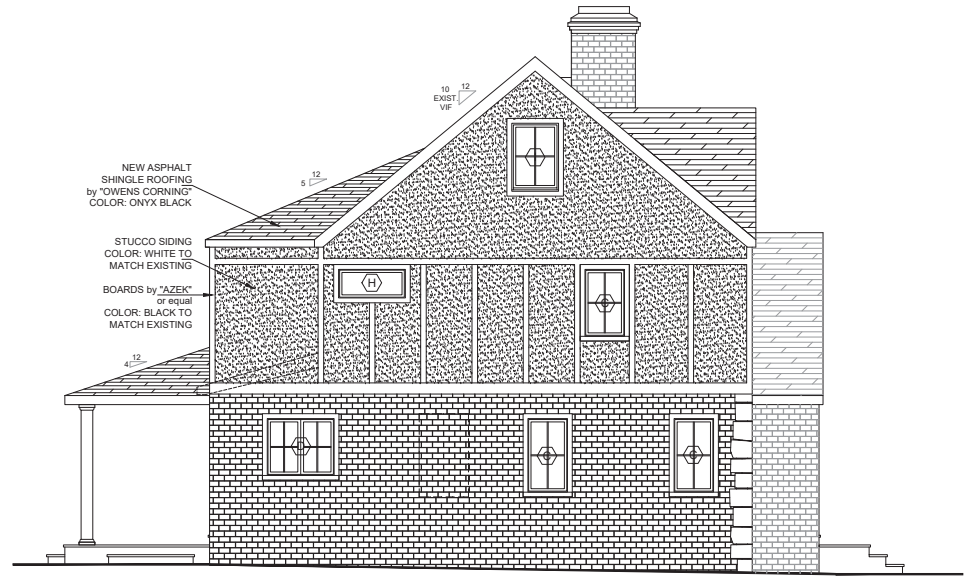


FRONT (NW) ELEVATION SCALE:  $\frac{1}{4}''=1'-0''$   
 SAME AS PREVIOUSLY APPROVED



REAR SIDE (SW) ELEVATION  
APPROVED by ARB 4/26/23

SCALE:  $\frac{1}{2}''=1'-0''$



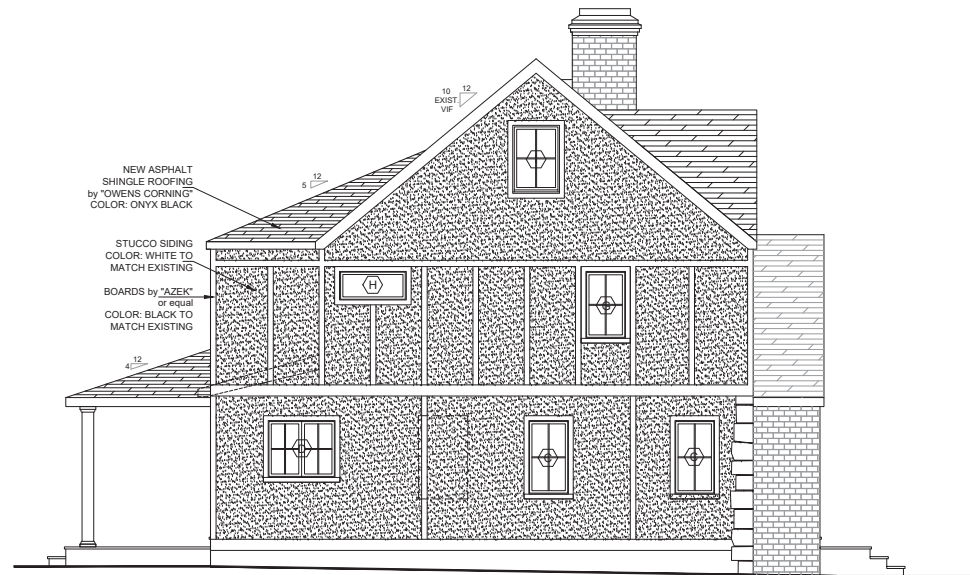
LEFT SIDE (NE) ELEVATION  
APPROVED by ARB 4/26/23

SCALE:  $\frac{1}{2}''=1'-0''$



REAR SIDE (SW) ELEVATION  
SAME AS PREVIOUSLY APPROVED

SCALE:  $\frac{1}{2}''=1'-0''$



LEFT SIDE (NE) ELEVATION  
PROPOSED 8/15/23

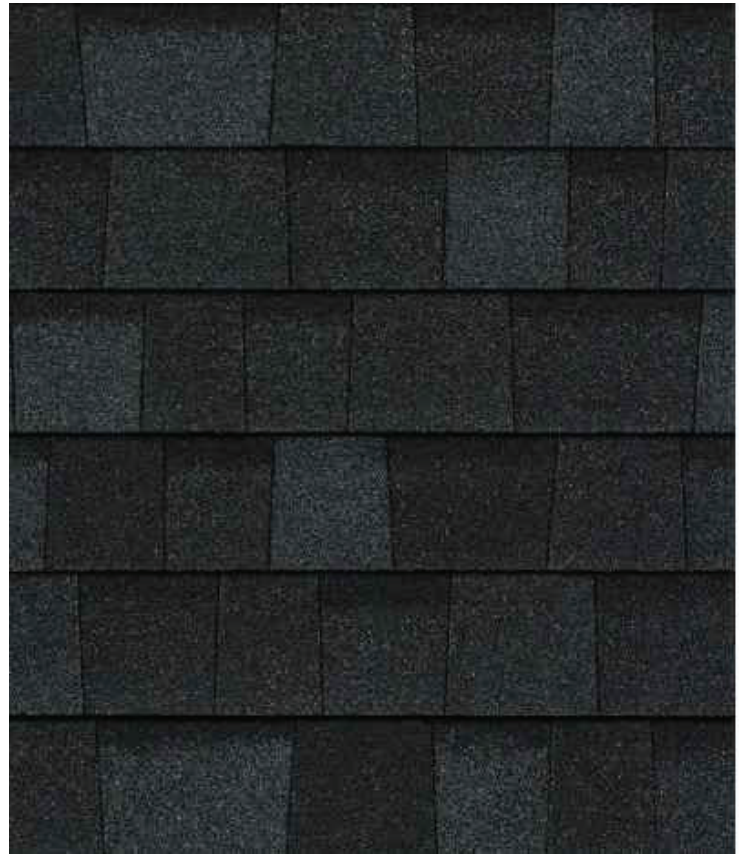
SCALE:  $\frac{1}{2}''=1'-0''$

WINDOW WELL  
TO BASEMENT





WINDOWS : VINYL  
DOUBLE GLAZED, LOW "E"  
by "ANDERSEN" or equal  
color:BLACK



ROOFING : ASPHALT SHINGLES  
by "OWENS CORNING"  
color: ONYX BLACK

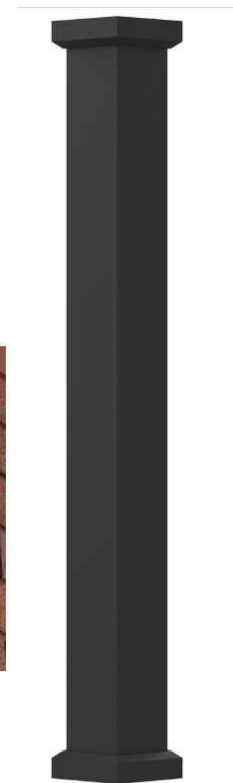


STUCCO:  
by "QUIKRETE"  
or equal  
color:WHITE



Exterior MATERIAL

93 BELLMORE STREET



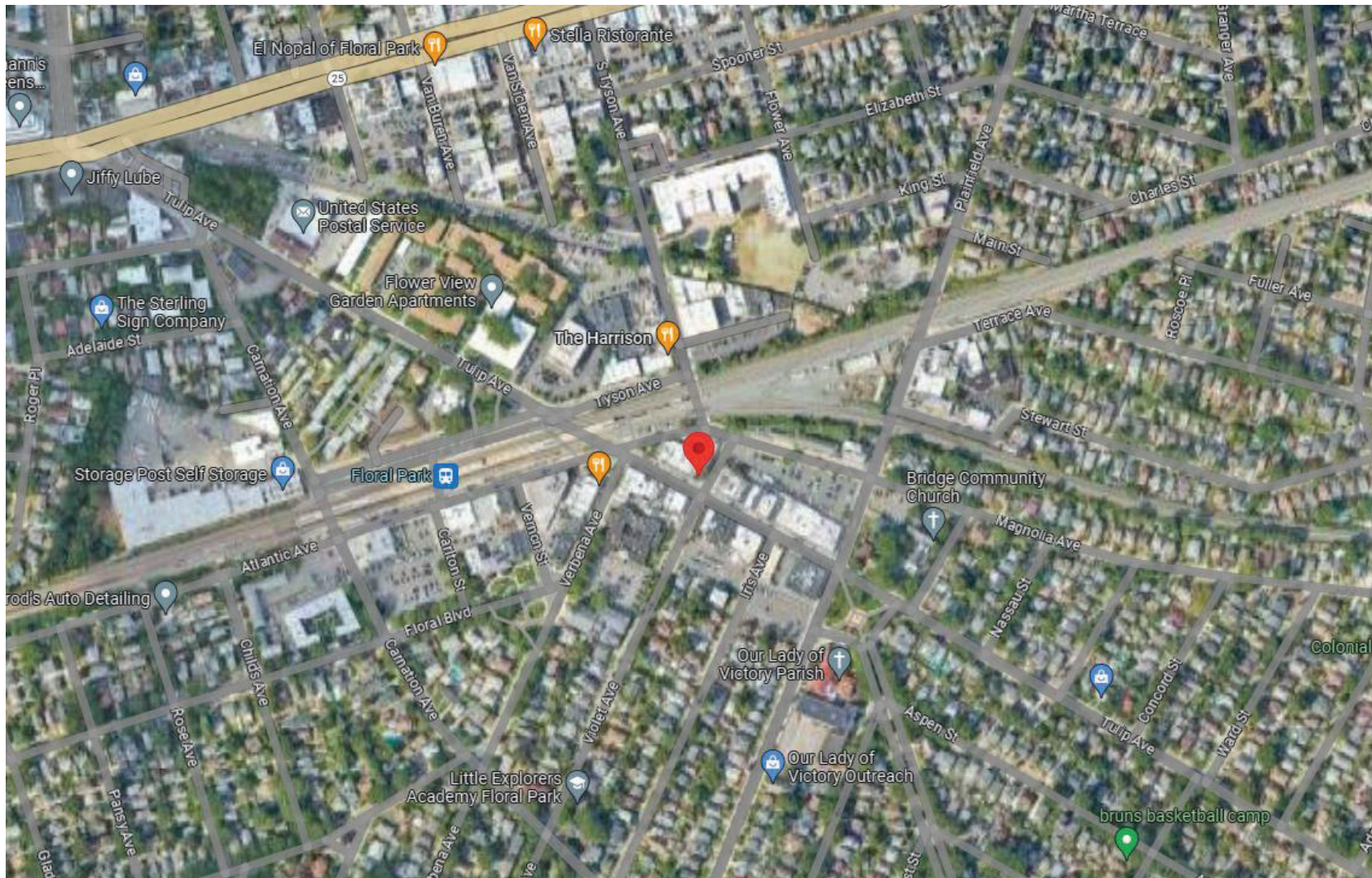
FASCIA, TRIM  
& COLUMNS  
by "Azek"

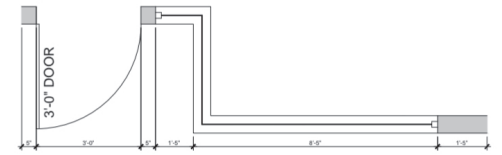


Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
5	8:20 p.m.	143	Tulip Avenue	Storefront	Janet Decker	John J. Tacetta



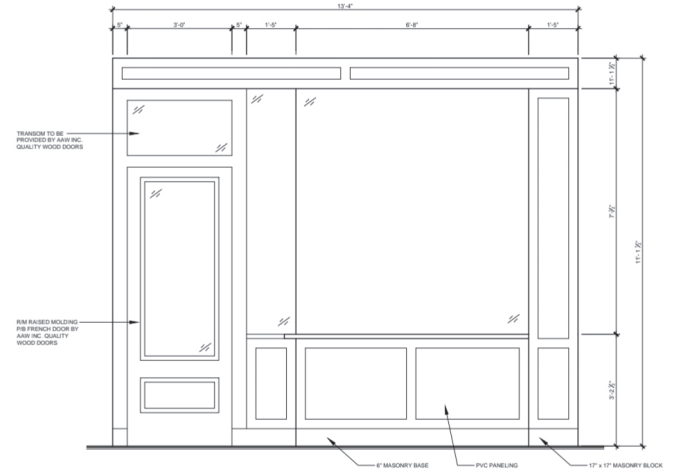
# 143 Tulip Avenue (Aerial View)





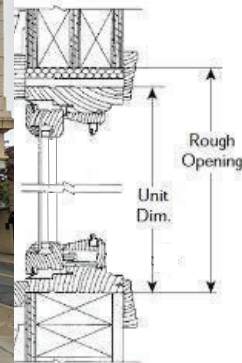
ENLARGED PLAN @ STOREFRONT

3/4" = 1'-0"



ELEVATION @ STOREFRONT

3/4" = 1'-0"

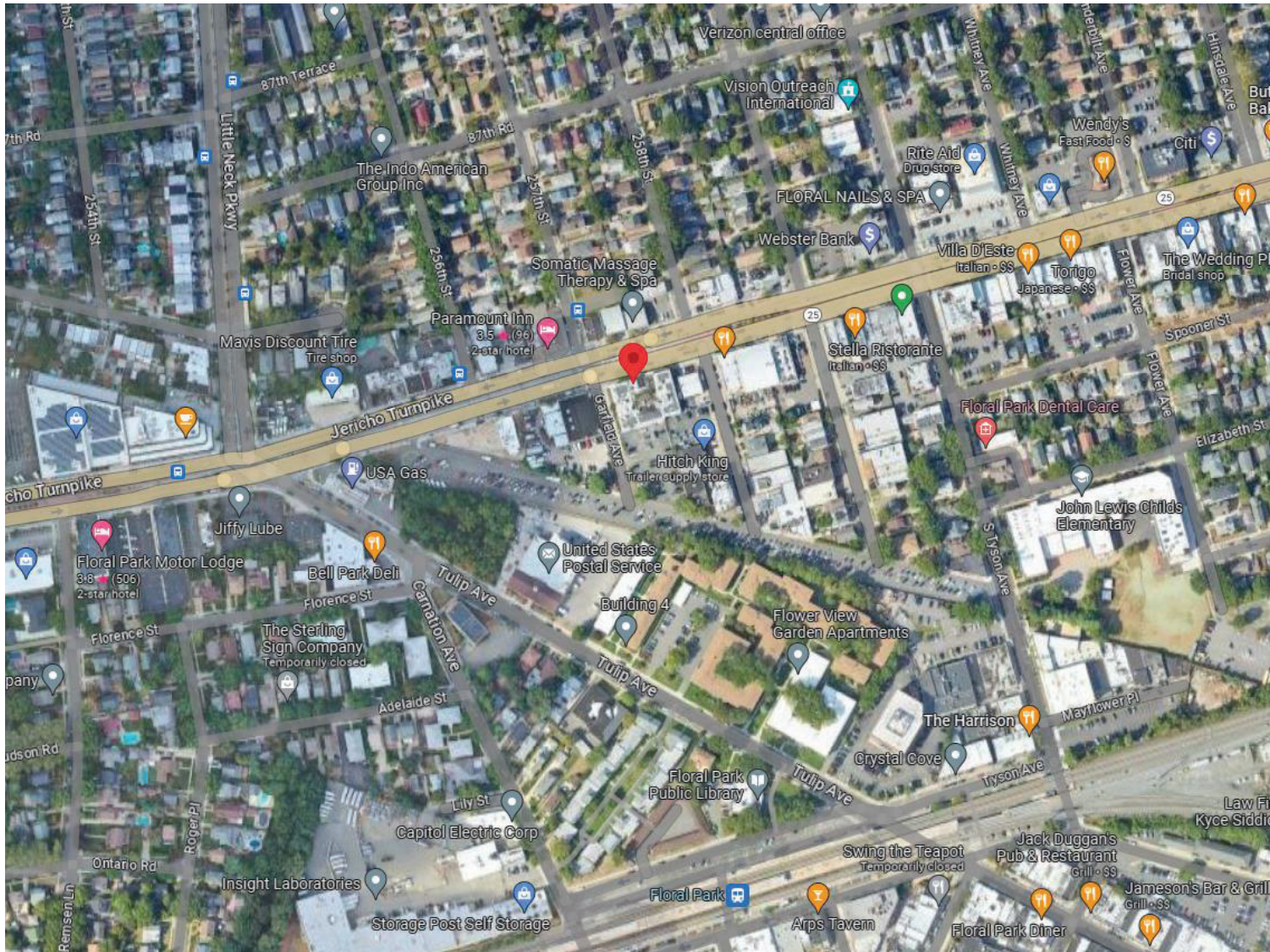


DETAIL AT WINDOW

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
6	8:25 p.m.	110	Jericho Turnpike	Sign	Gus Michael Farinella	Dezant Signs Inc.



# 110 Jericho Turnpike (Aerial View)





2 foot x 13 foot metal sign with vinyl lettering

LAW OFFICE 13inch letters  
SIGN BAND LETTERS 3.5inch letters



**Signs & Printing**

Design • Fabrication • Installation

Awards, Light Boxes, Channel Letters,

Job-Site Signs, Weed Signs,

Truck Lettering & more

**516-771-9241**

32 Cherry Lane Floral Park, NY 11001

[www.dezantsigns.com](http://www.dezantsigns.com)



10 ft.

**LAW OFFICE**

**GUS MICHAEL FARINELLA • FREE CONSULTATIONS • 516-326-2333**

24in.

**LAW OFFICE** 13inch letters  
**SIGN BAND LETTERS** 3.5inch letters

**DeZant**

**Signs & Printing**

**Design • Fabrication • Installation**

Awnings, Light Boxes, Channel Letters,  
 Job-Site Signs, Wood Signs,  
 Truck Lettering & more

**516-771-9241**

32 Cherry Lane Floral Park, NY 11001

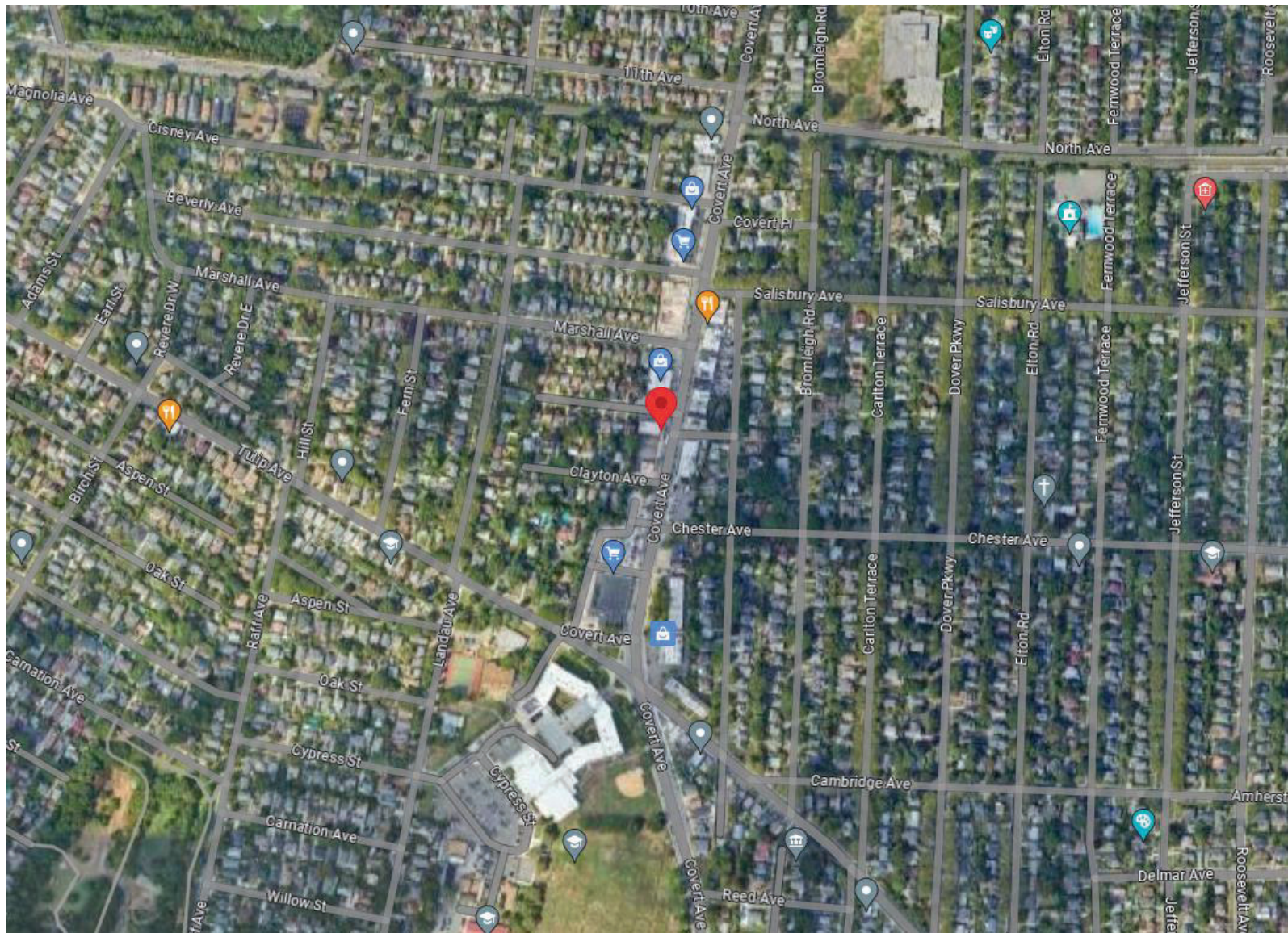
[www.dezantsigns.com](http://www.dezantsigns.com)

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
7	8:30 p.m.	85	Covert Avenue	Sign	70 Covert Avenue Realty Partners LLC	Dezant Signs Inc.





# 85 Covert Avenue (Aerial View)





24"



**FASCILLA MASONRY**

**516-555-5555**

[www.FASCILLAMASONRY.com](http://www.FASCILLAMASONRY.com)

28'

24" LOGO

15" Individual 3/4 Letters

*DeZant*

**Signs & Printing**

**Design • Fabrication • Installation**

Awnings, Light Boxes, Channel Letters,

Job-Site Signs, Wood Signs,

Truck Lettering & more

**516-771-9241**

32 Cherry Lane Floral Park, NY 11001

[www.dezantsigns.com](http://www.dezantsigns.com)



24"



# FASCILLA MASONRY

**516-555-5555**

**www.FASCILLAMASONRY.com**

28'

24" LOGO

15" Individual 3/4 Letters



**Signs & Printing**

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