



ARCHITECTURAL & PRELIMINARY SITE PLAN REVIEW BOARD

MICHAEL F. LONGOBARDI – VILLAGE TRUSTEE LIAISON
TIMOTHY T. TWEEDY, P.E. – CHAIRMAN
JOHN LOCKWOOD
ANTHONY KRUYNSKI
ROGER KUEHNLENZ
EDWARD CHATTERTON

RENEE MARCUS, AIA – SUPERINTENDENT OF BUILDINGS
LUCILLE LANGONE – SECRETARY

NOVEMBER 29, 2023

8:00 pm

Note Location: Recreation Center - Pool Building

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
1	8:00 p.m.	141,143,145	Emerson Avenue	Three New Houses and Garages	Kuldeep Waraich	William Cook, RA
2	8:05 p.m.	214	Crocus Avenue	Resubmission: Second Floor Addition	Edward Perez	Demetris Demetriou, RA
3	8:10 p.m.	8	Rose Avenue	New Garage	John Gorman	Demetris Demetriou, RA
4	8:15 p.m.	25	Willow Street	Front Entry/Mudroom	Patrick Murphy	Christopher Dowdell
5	8:20 p.m.	1	Larch Avenue	Second Story Addition	Sahiba Sobti	Edward Hicks, RA
6	8:25 p.m.	43	Larch Avenue	Exterior Alterations	James Agoglia	Gustavo Munoz, PC
7	8:30 p.m.	230	Jericho Turnpike	Storefront	Sitan Chen	Robert Truskosky, PE
8	8:35 p.m.	109	West Elder Avenue	Additions and Alterations	Michael Hagan	Jared Mandel Architects

Questions about the projects can be emailed to ARB@FPVillage.org prior to the meeting to allow for the Village and Applicant to be prepared with answers.

Supporting documents will be posted to the Architectural Review Board web page at least 24 hours prior to the meeting.

Click [here](#) for the ARB webpage.

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
1	8:00 p.m.	141,143,145	Emerson Avenue	Three New Houses and Garages	Kuldeep Waraich	William Cook, RA



141,143,145 Emerson Avenue (Side View)





145 EMERSON



143 EMERSON



141 EMERSON



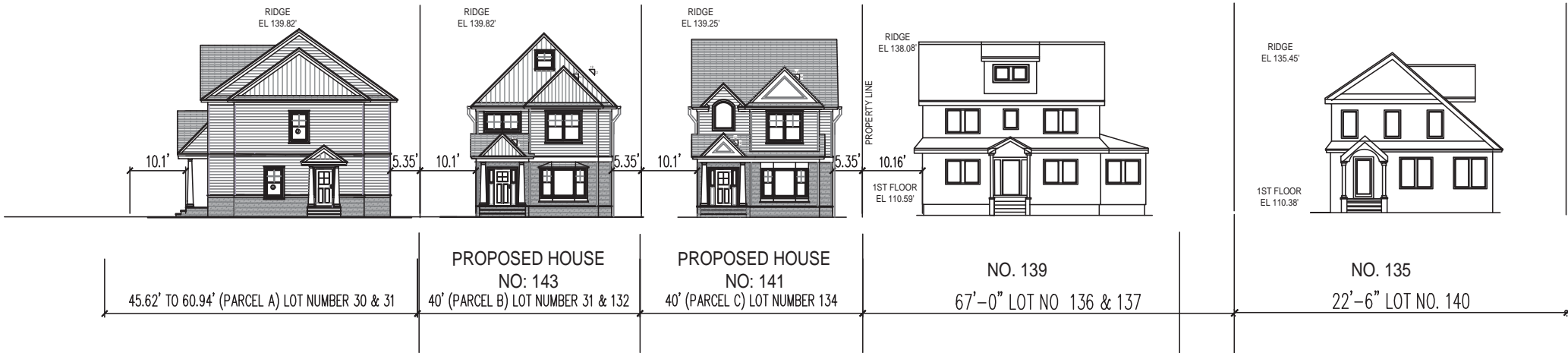
139 EMERSON



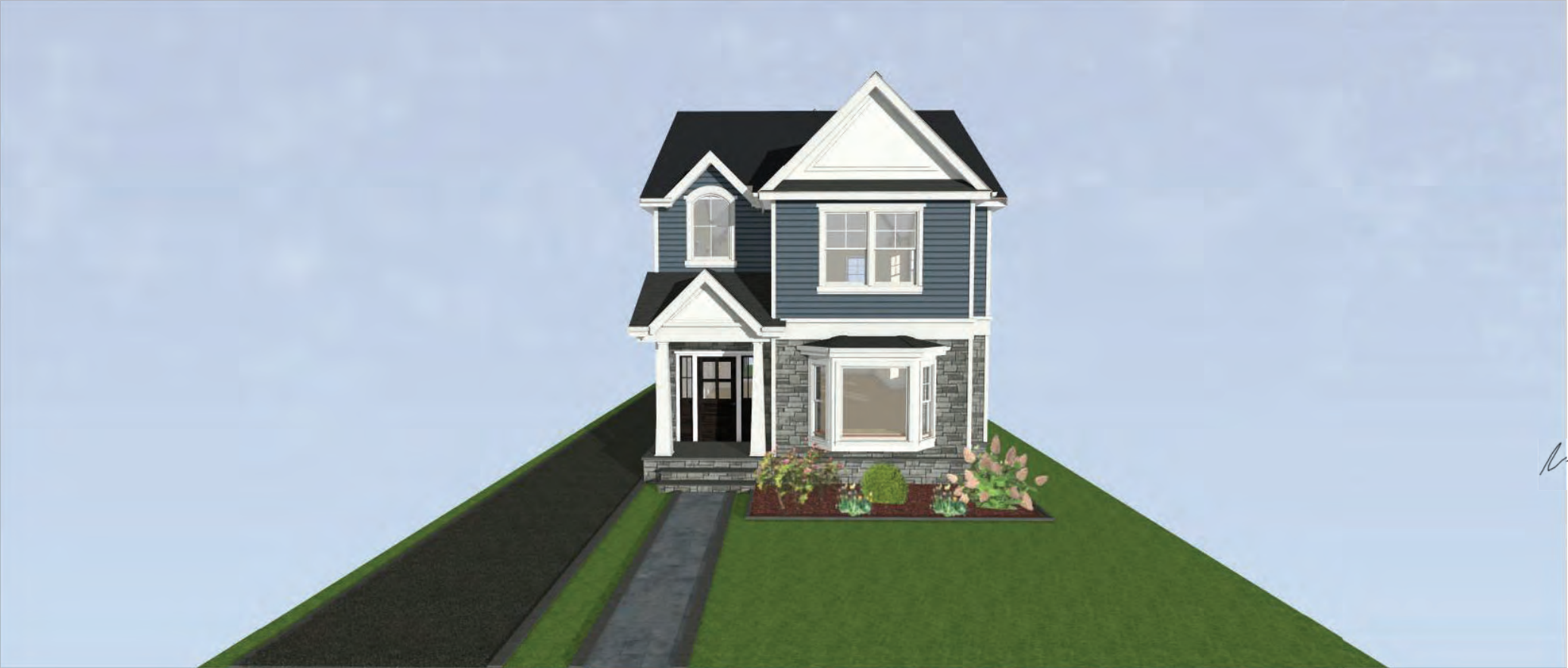
135 EMERSON



125 EMERSON

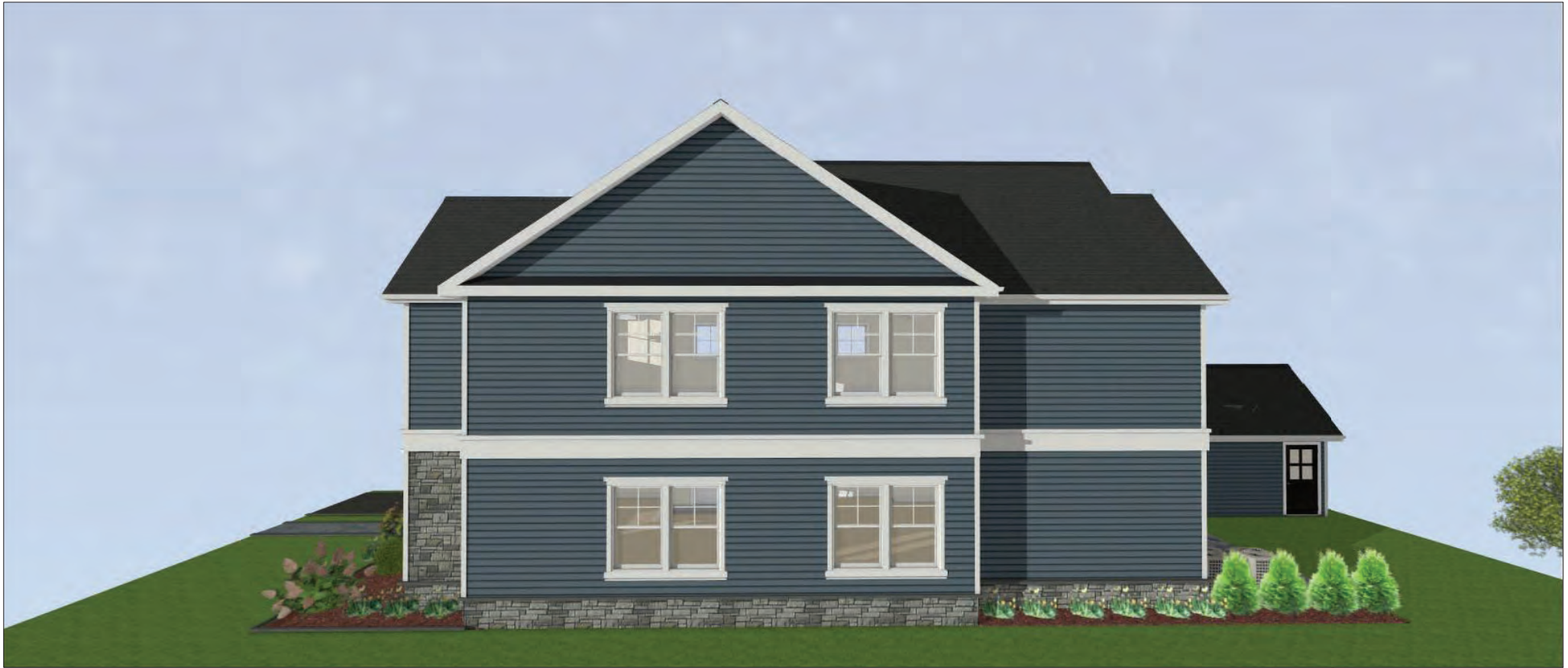


1 STREET FACADE DIAGRAM
 ARB-10 SCALE NTS



1 WEST ELEVATION
SCALE 1/8" = 1'

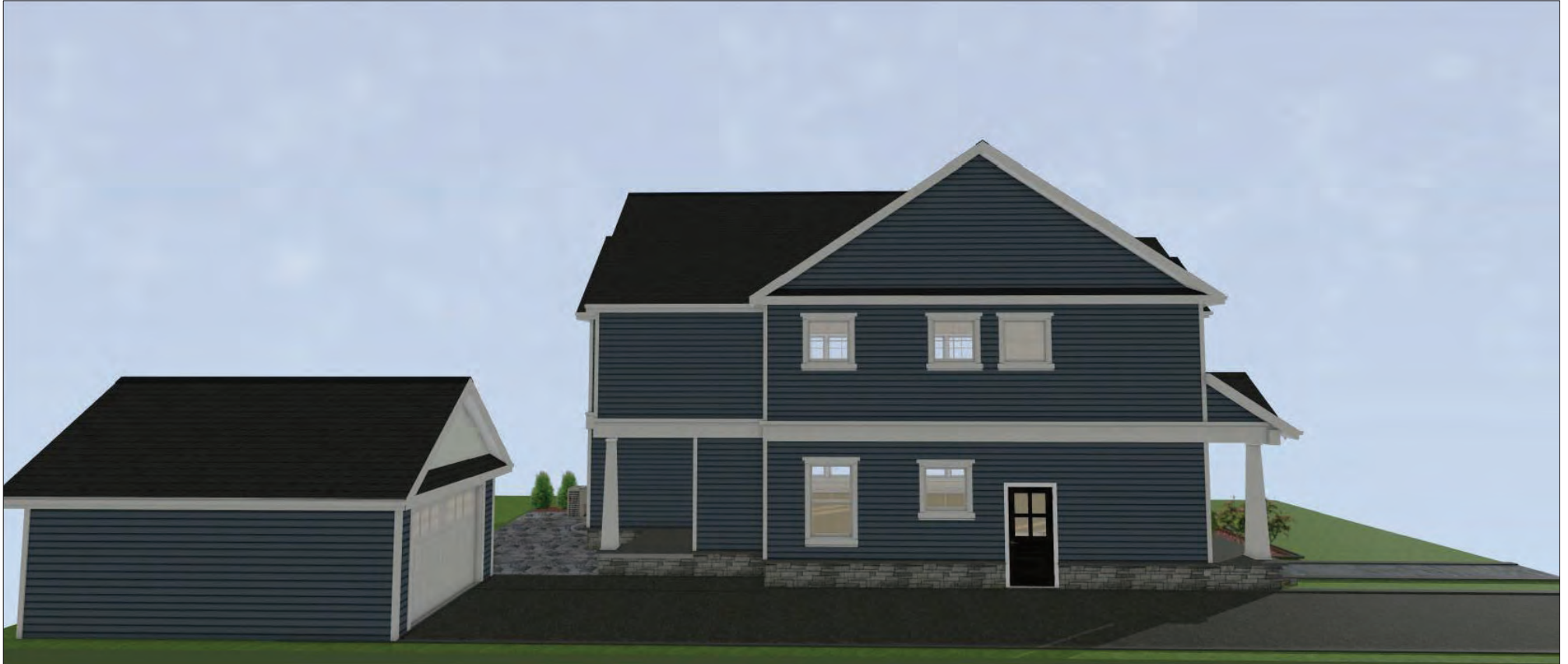
Handwritten signature



1 SOUTH ELEVATION
ARB-20 SCALE 1/8" = 1'



1 EAST ELEVATION
ARB-15 SCALE 1/8" = 1'



1 NORTH ELEVATION
ARB-19 SCALE 1/8" = 1'

THIS PLOT WAS APPROVED FOR SUBDIVISION BY THE FOLLOWING BOARDS
 ARCHITECTURAL REVIEW BOARD PRELIM PRESENTATION 11/19/20
 THE BOARD OF TRUSTEES UNDER RESOLUTION 2021-04 DATED 1/5/2021

ZONING NOTES SECTION 8 BLOCK 91 LOT 132 (PARCEL-B) AND 134 (PARCEL C)			
	PROVIDED PARCEL B	PROVIDED PARCEL C	REQUIRED (ZONE R-1)
LOT SIZE	4,000 SQFT	4,000 SQFT	4,000 SQFT
LOT FRONTAGE	40 FT	40 FT	4,000 SQFT
FIRST FLOOR (PROPOSED)	1058 SQFT	1058 SQFT	
SECOND FLOOR (PROPOSED)	1058 SQFT	1058 SQFT	
TOTAL (PROPOSED)	1997.5 SQFT	1997.5 SQFT	
FLOOR AREA	2165 SQ FT	2165 SQ FT	
LOT COVERAGE (PROPOSED)	1127 / 4000 SQFT = 28.2%	1127 / 4000 SQFT = 28.2%	30% or 1200
FRONT YARD SETBACK	21'	21'	18.07' AVERAGE SETBACK
SIDE YARD AGG.	15.45'	15.45'	15'
SIDE YARD SETBACK	5.35'	5.35'	5'
REAR YARD SETBACK	29'	29'	25'
HEIGHT	34'	33'	35'
STORIES	2 1/2	2 1/2	2 1/2
REAR YARD COVERAGE	2001160=17.2%	2001160=17.2%	2001160=17.2%

AVERAGE FRONT YARD SETBACK

139 EMERSON AVE	LOT 136	15.08
135 EMERSON AVE	LOT 138	14.89
125 EMERSON AVE	LOT 140	15.66 (@ VESTIBULE)
121 EMERSON AVE	LOT 143	12.16 (@R/O PORCH)
119 EMERSON AVE	LOT 148	20.33
115 EMERSON AVE	LOT 147	20.31
111 EMERSON AVE	LOT 146	20.27
109 EMERSON AVE	LOT 49/145/151	20.58
107 EMERSON AVE	LOT 154	20.79
305 WHITTIER AVE	LOT 153	20.62 (CORNER LOT)

$180.69 \text{ FT} / 10 = 18.07'$

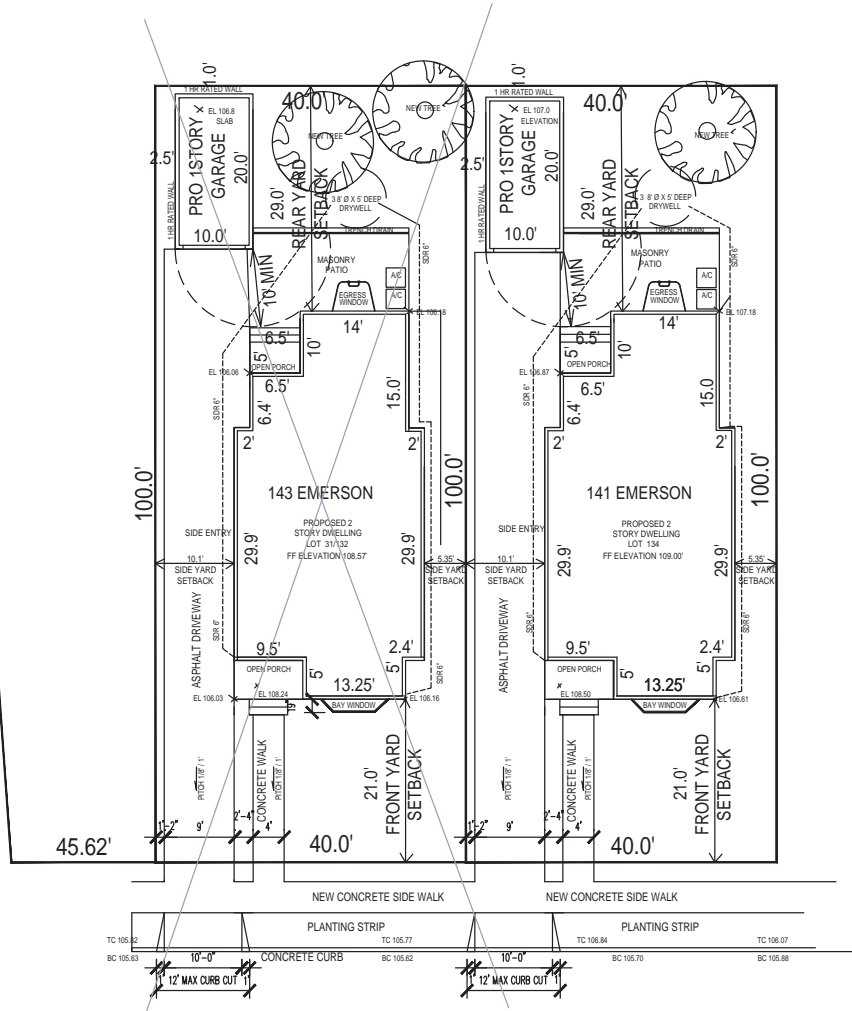
HEIGHT

AVERAGE CURB GRADE= $(105.82 + 105.77) / 2 = 105.79$
 FIRST FLOOR ELEVATION ABOVE CURB GRADE= $108.57 - 105.79 = 2.78$
 BUILDING HEIGHT = 33' OR 138.79'

GARAGE ZONING

MAX HEIGHT = 17' 14'-6" PROPOSED OK
 MIN. SETBACK SIDE YARD = 1' 2.5' PROPOSED OK
 MIN. SETBACK REAR YARD = 1' 1' PROPOSED OK
 REAR LOT COVERAGE (SEE CHART ABOVE) OK

85TH AVE



EMERSON AVE



1 SITE PLAN
 ARB-9 SCALE 1/16" = 1'

NOTES:

REVISION ISSUE DATE

SHEET CONTENT:



WILLIAM J COOK RA

EMAIL: BILLCOOKRA@ICLOUD.COM
 435 MAPLE AVE.
 WESTBURY, NY, 11590
 516-820-9732

DRAFTED BY: DVC

PROJECT NAME AND ADDRESS:
 NEW HOUSE AND GARAGE FOR
 141 EMERSON AVE, FLORAL PARK NY

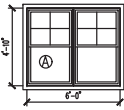
DATE 8/14/23 SHEET 1 OF 18

AS SPECIFIED ARB-9

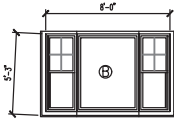
LEGEND

-  BATTEN BOARD SIDING
-  CULTURED STONE
-  25 YEAR ARCH SHINGLE
-  4" VINYL SIDING

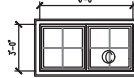
WINDOW A
 QTY: 5
 LOCATION: VARIOUS
 TYPE: DOUBLE HUNG, 72 X 58, (ANDERSON 400 SERIES)
 GLASS: INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD ENDURACLOAD, WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, WHITE, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 RD: 72-3/4"X 58-3/4"



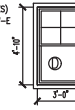
WINDOW B
 QTY: 1
 LOCATION: LIVING ROOM
 TYPE: 30" Bay (ANDERSON 400 SERIES)
 GLASS: INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 RD: 96-3/4"X 63-3/4"



DOOR C
 QTY: 1
 LOCATION: VARIOUS
 TYPE: FR DR, 72 X 36, WHITE CASMENT (400 SERIES)
 GLASS: TEMPERED INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, WHITE, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 RD: 72-3/4"X 36-3/4"



WINDOW D
 QTY: 3
 LOCATION: VARIOUS
 TYPE: DOUBLE HUNG, 36 X 58, (ANDERSON 400 SERIES)
 GLASS: INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD ENDURACLOAD, WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, WHITE, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 RD: 36-3/4"X 58-3/4"



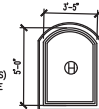
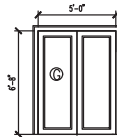
WINDOW E
 QTY: 3
 LOCATION: VARIOUS
 TYPE: DOUBLE HUNG, 36 X 36, (ANDERSON 400 SERIES)
 GLASS: TEMPERED INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 RD: 36-3/4"X 36-3/4"



WINDOW F
 QTY: 1
 LOCATION: VARIOUS
 TYPE: CASEMENT, 36 X 36, (ANDERSON 400 SERIES)
 GLASS: TEMPERED INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 RD: 36-3/4"X 36-3/4"



FR DOOR G
 QTY: 1
 LOCATION: FAMILY ROOM
 TYPE: FRENCH SLIDER, 60 X 80, (ANDERSON 400 SERIES)
 GLASS: TEMPERED INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD ENDURACLOAD, BLACK
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, BLACK, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 RD: 36-3/4"X 36-3/4"



WINDOW H
 QTY: 1
 LOCATION: FAMILY ROOM
 TYPE: BROKEN ARCH, 41 X 60, (ANDERSON 400 SERIES)
 GLASS: INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD ENDURACLOAD, BLACK
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, BLACK, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 RD: 42-3/4"X 60-3/4"



1 REAR ELEVATION
 SCALE 1/8" = 1'



2 LEFT ELEVATION
 SCALE 1/8" = 1'

12. Regency 30 in. x 80 in. 4 Lite
 1/4 Toplite RHIS Clear Glass
 Onyx Stained Fir Grain Fiberglass
 Prehung Front Door

NOTES

REVISION ISSUE DATE

SHEET CONTENT



**WILLIAM J COOK
 RA**
 EMAIL: BILL.COOKRA@ICLOUD.COM
 435 MAPLE AVE.
 WESTBURY, NY, 11590
 516-820-9732

DRAFTED BY: DVC

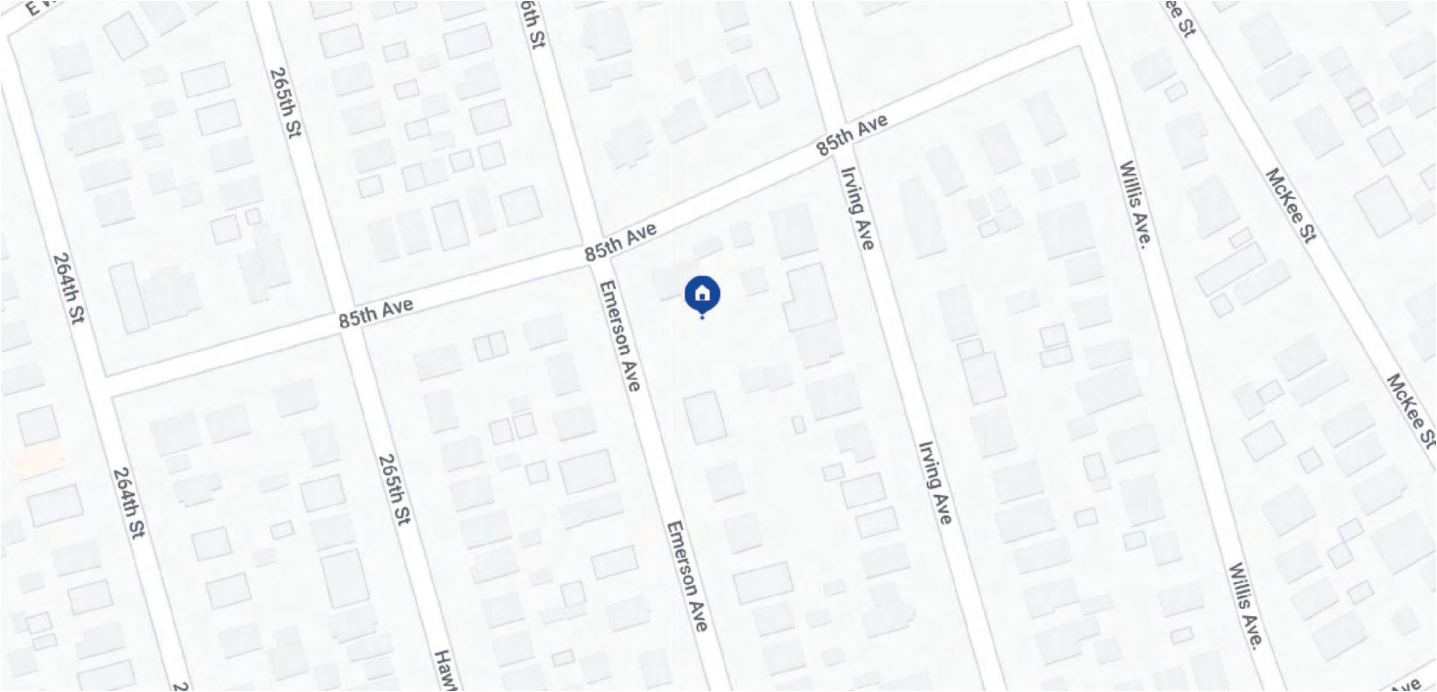
PROJECT NAME AND ADDRESS:
 NEW HOUSE AND GARAGE FOR
 141 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23 SHEET 13 OF 18

ARB-13
 AS SPECIFIED

PROPOSED NEW HOUSE AND GARAGE ON SUBDIVIDED LOT FOR 143 EMERSON AVE, FLORAL PARK, NY

THIS PLOT WAS APPROVED FOR SUBDIVISION BY THE FOLLOWING BOARDS
ARCHITECTURAL REVIEW BOARD PRELIM PRESENTATION 11/19/20
THE BOARD OF TRUSTEES UNDER RESOLUTION 2021-04 DATED 1/5/2021



NOTES:

REVISION	ISSUE	DATE

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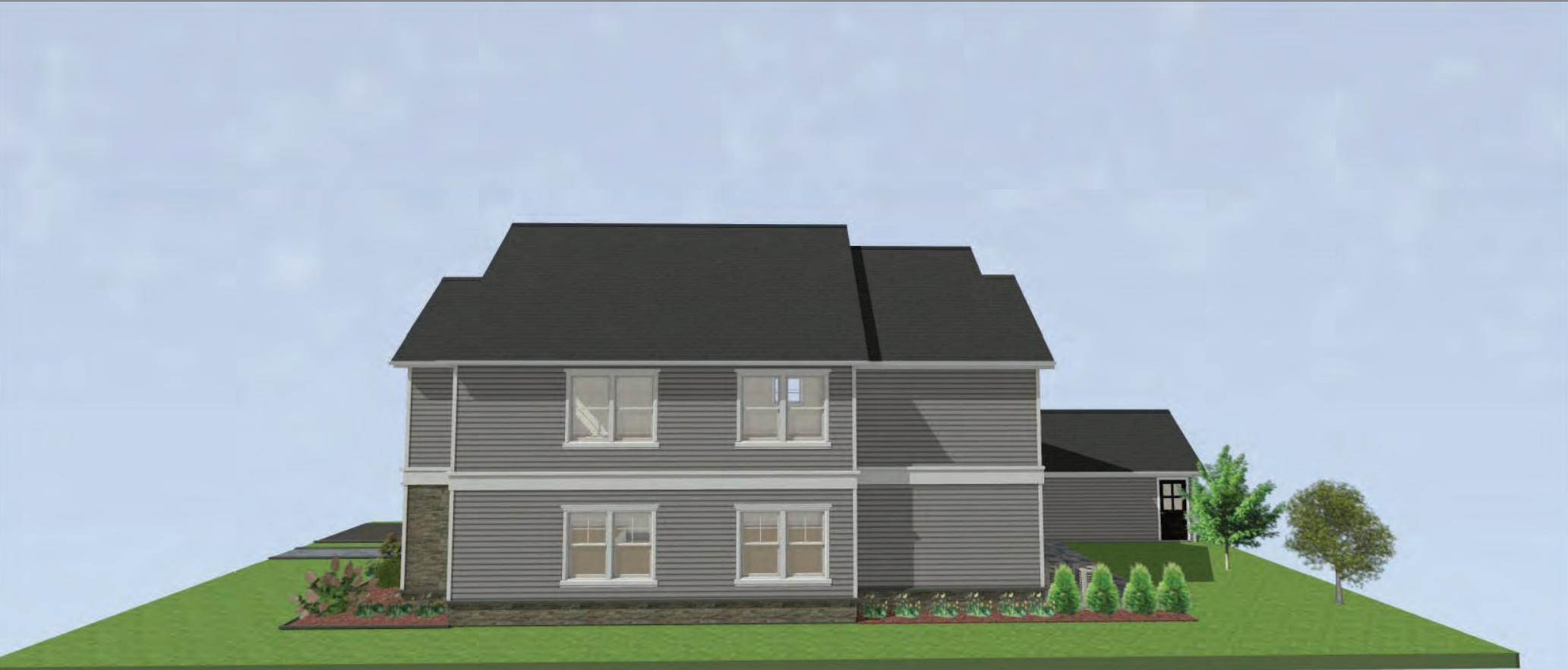


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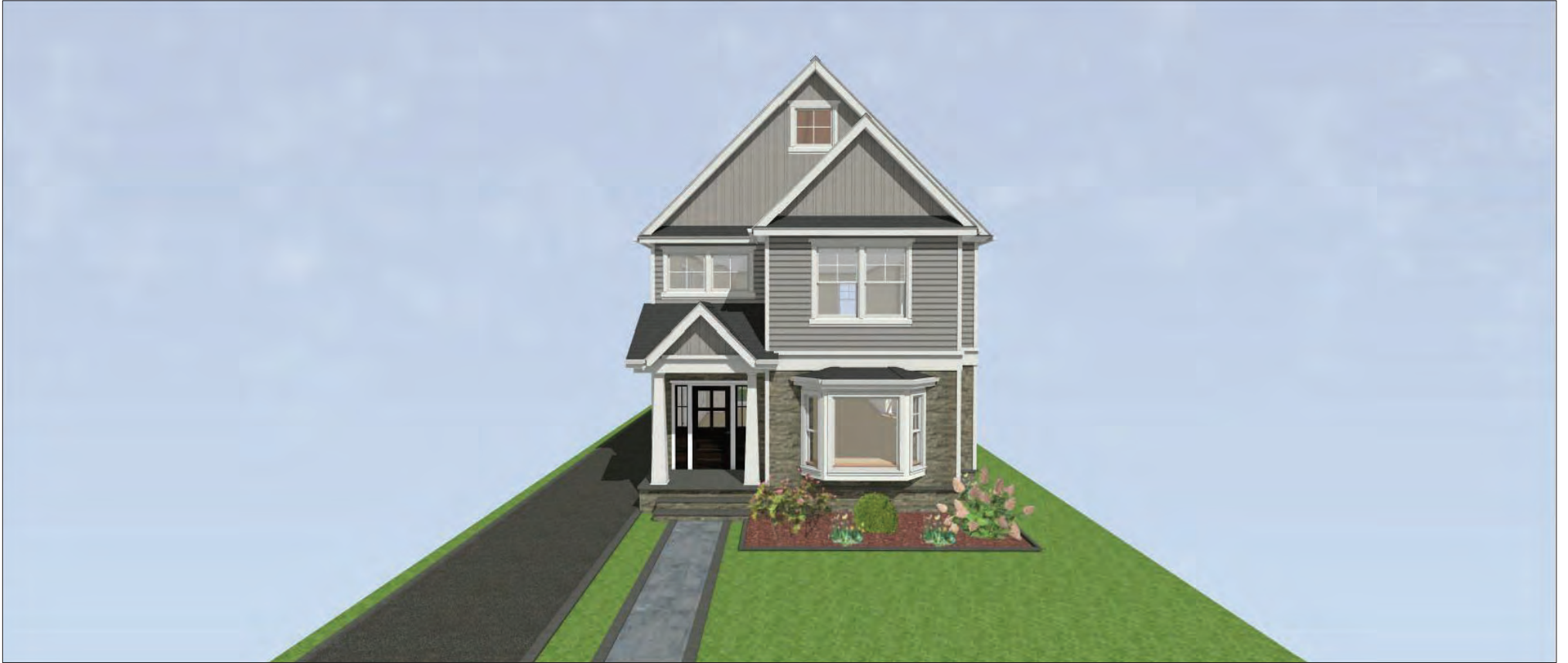
DRAFTED BY: DVC

PROJECT NAME AND ADDRESS:
NEW HOUSE AND GARAGE FOR
143 EMERSON AVE, FLORAL PARK NY

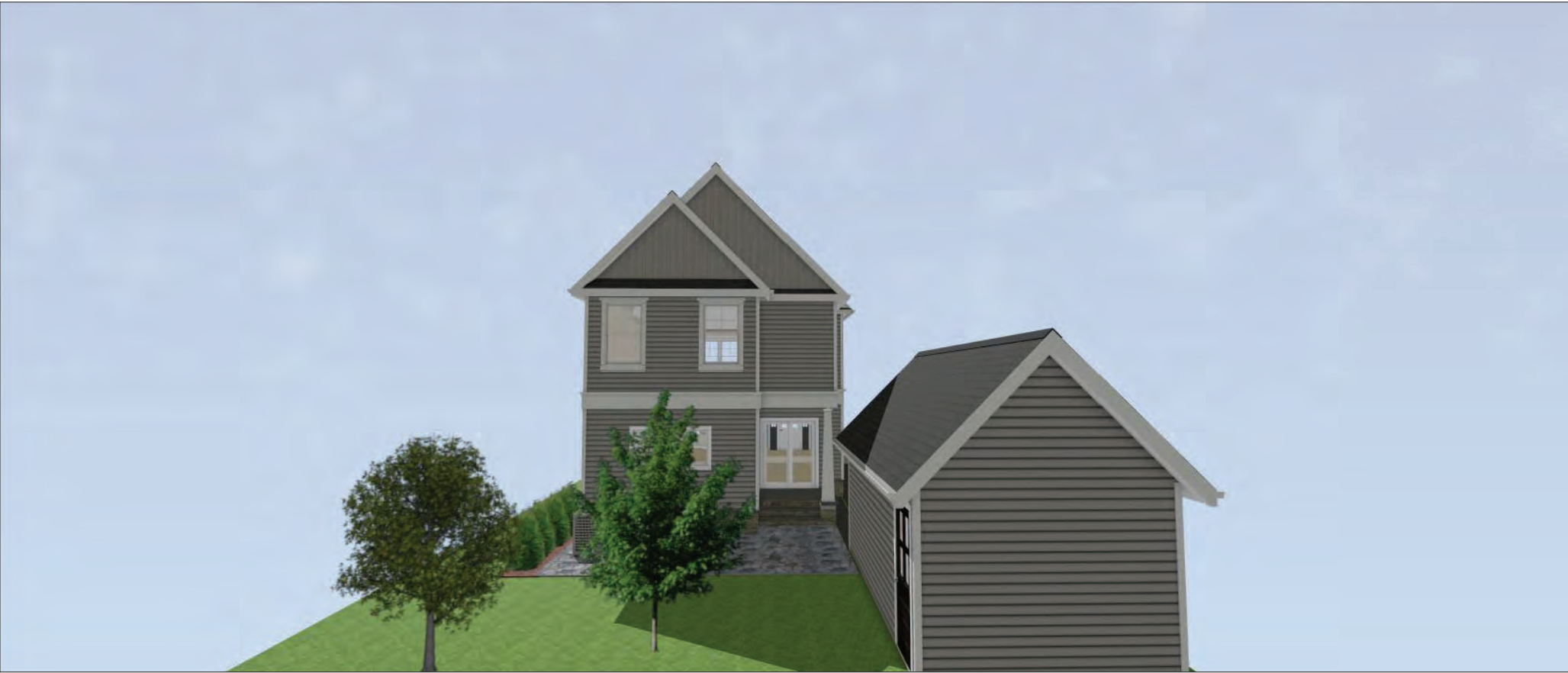
DATE 8/14/23	SHEET 1 1 OF 18
AS SPECIFIED	ARB-1



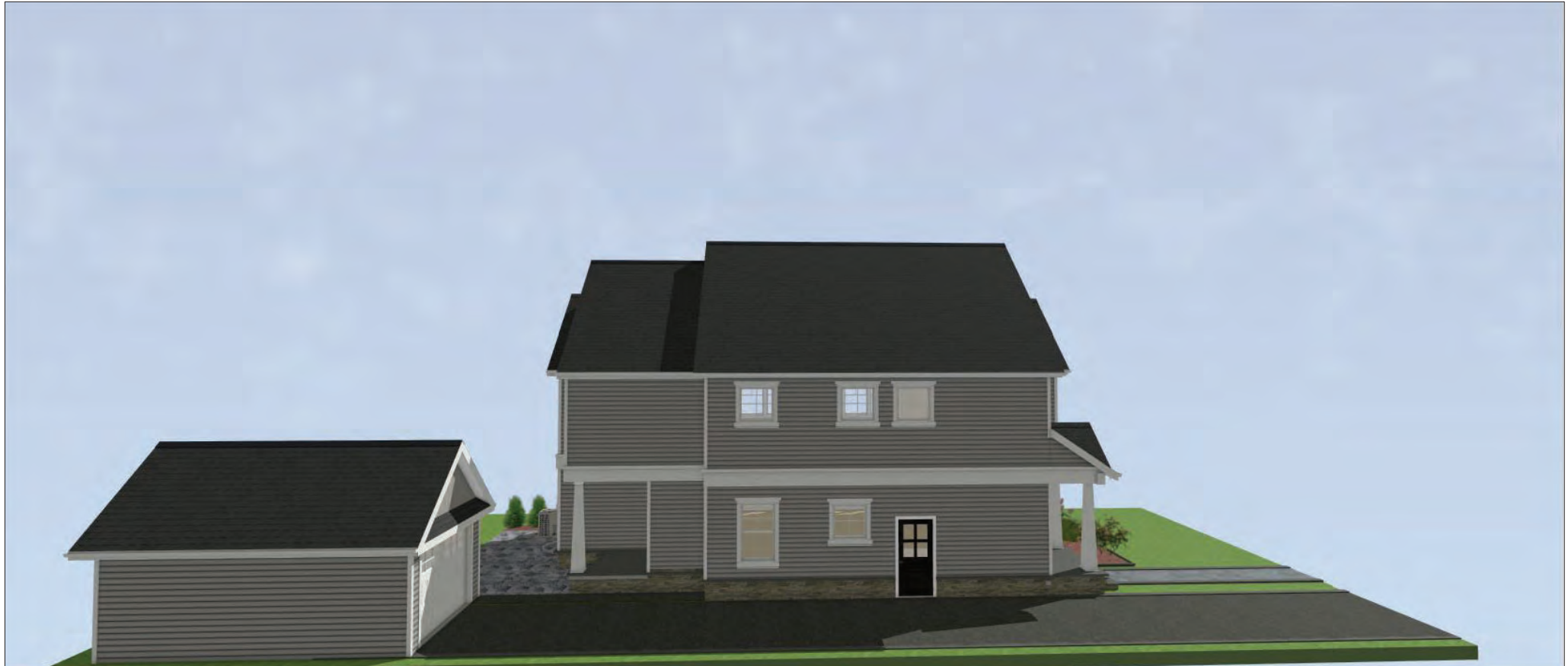
1 SOUTH ELEVATION
ARB-20 SCALE 1/8" = 1'
















1 WEST ELEVATION
ARB-19 SCALE 1/8" = 1'



1 EAST ELEVATION
ARB-19 SCALE 1/8" = 1'



1 NORTH ELEVATION
ARB-19 SCALE 1/8" = 1'

LEGEND	
	NEW RED OAK
	NEW SUGAR MAPLE
	ARBORVITAE
	SEASONAL MIX PANSIES, MARIGOLDS, MUMS
	HYDRANGEAS
	GOLD EDGE EVERGREEN EUONYMUS SHRUB
	HYBRID TEA ROSE
	SEASONAL MIX DAFFODILS, TULIPS, IRIS
	MULCH
	GRASS
	ASPHALT
	CONCRETE
	PAVER



85TH AVE

EMERSON AVE




1 LANDSCAPE PLAN
ARB-8 SCALE 1/16" = 1'

NOTES:

REVISION	ISSUE	DATE

SHEET CONTENT:



WILLIAM J COOK
RA

EMAIL: BILLCOOKRA@ICLOUD.COM
435 MAPLE AVE,
WESTBURY, NY, 11590
516-820-9732

DRAFTED BY: DVC

PROJECT NAME AND ADDRESS:

NEW HOUSE AND GARAGE FOR
143 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23	SHEET # 8 OF 18
ARB-8	

AS SPECIFIED

THIS PLOT WAS APPROVED FOR SUBDIVISION BY THE FOLLOWING BOARDS
 ARCHITECTURAL REVIEW BOARD PRELIM PRESENTATION 11/19/20
 THE BOARD OF TRUSTEES UNDER RESOLUTION 2021-04 DATED 1/5/2021

ZONING NOTES SECTION 8 BLOCK 91 LOT 131 (PARCEL B) AND 134 (PARCEL C)			
	PROVIDED PARCEL B	PROVIDED PARCEL C	REQUIRED (ZONE R-1)
LOT SIZE	4,000 SQFT	4,000 SQFT	4,000 SQFT
LOT FRONTAGE	4,000 FT	4,000 SQFT	4,000 SQFT
FIRST FLOOR (PROPOSED)	1058 SQFT	1058 SQFT	
SECOND FLOOR (PROPOSED)	1058 SQFT	1058 SQFT	
TOTAL (PROPOSED)	1997.5 SQFT	1997.5 SQFT	
FLOOR AREA	2165.50 FT	2165.50 FT	
LOT COVERAGE (PROPOSED)	1127 / 4000 SQFT = 28.2%	1127 / 4000 SQFT = 28.2%	30% or 1200
FRONT YARD SETBACK	21'	21'	18.07' AVERAGE SETBACK
SIDE YARD AGG.	15.45'	15.45'	15'
SIDE YARD SETBACK	5.35'	5.35'	5'
REAR YARD SETBACK	29'	29'	25'
HEIGHT	34'	33'	35'
STORIES	2 1/2	2 1/2	2 1/2
REAR YARD COVERAGE	2001160=17.2%	2001160=17.2%	2001160=17.2%

AVERAGE FRONT YARD SETBACK

139 EMERSON AVE	LOT 136	15.08
135 EMERSON AVE	LOT 138	14.89
125 EMERSON AVE	LOT 140	15.66 (@ VESTIBULE)
121 EMERSON AVE	LOT 143	12.16 (@R/O PORCH)
119 EMERSON AVE	LOT 148	20.33
115 EMERSON AVE	LOT 147	20.31
111 EMERSON AVE	LOT 146	20.27
109 EMERSON AVE	LOT 49/145/151	20.58
107 EMERSON AVE	LOT 154	20.79
305 WHITTIER AVE	LOT 153	20.62 (CORNER LOT)

$180.69 \text{ FT} / 10 = 18.07'$

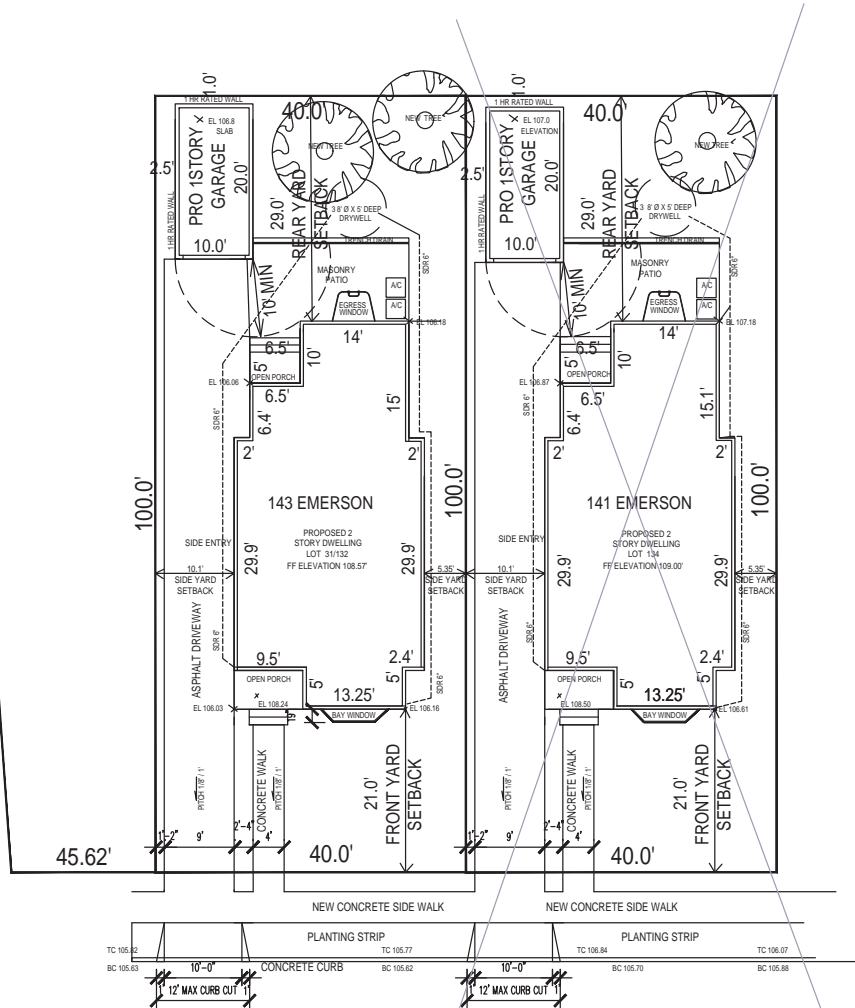
HEIGHT

AVERAGE CURB GRADE= $(105.82 + 105.77) / 2 = 105.79$
 FIRST FLOOR ELEVATION ABOVE CURB GRADE= $108.57 - 105.79 = 2.78$
 BUILDING HEIGHT = 33' OR 138.79'

GARAGE ZONING

MAX HEIGHT = 17' 14'-6" PROPOSED OK
 MIN. SETBACK SIDE YARD = 1' 2.5' PROPOSED OK
 MIN. SETBACK REAR YARD = 1' 1' PROPOSED OK
 REAR LOT COVERAGE (SEE CHART ABOVE) OK

85TH AVE



EMERSON AVE



1 SITE PLAN
 ARB-9 SCALE 1/16" = 1'

NOTES:

REVISION	ISSUE	DATE

SHEET CONTENT:



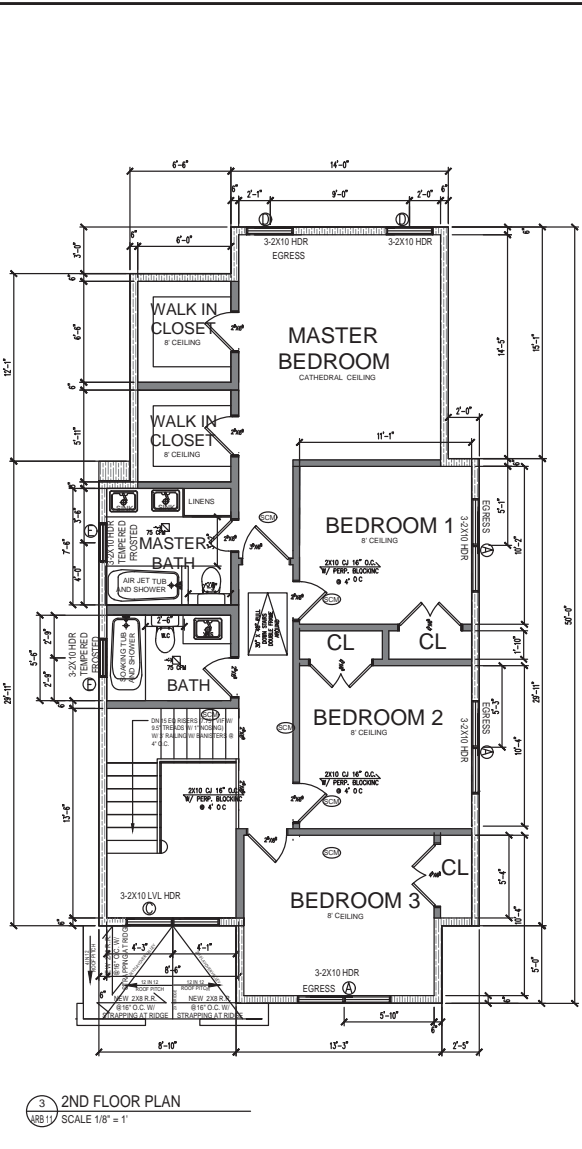
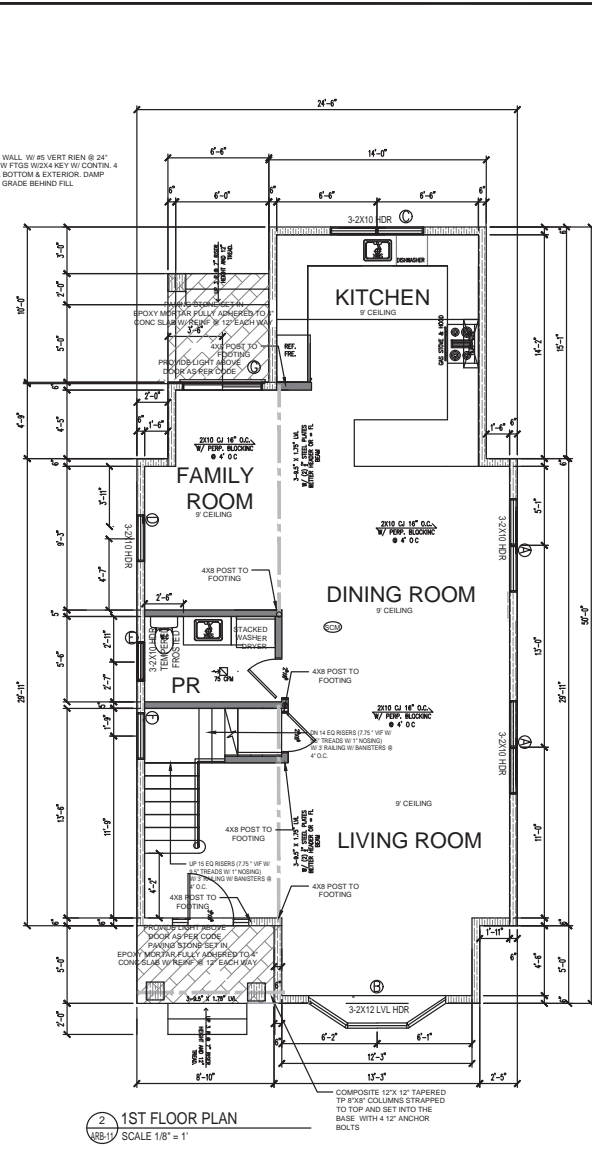
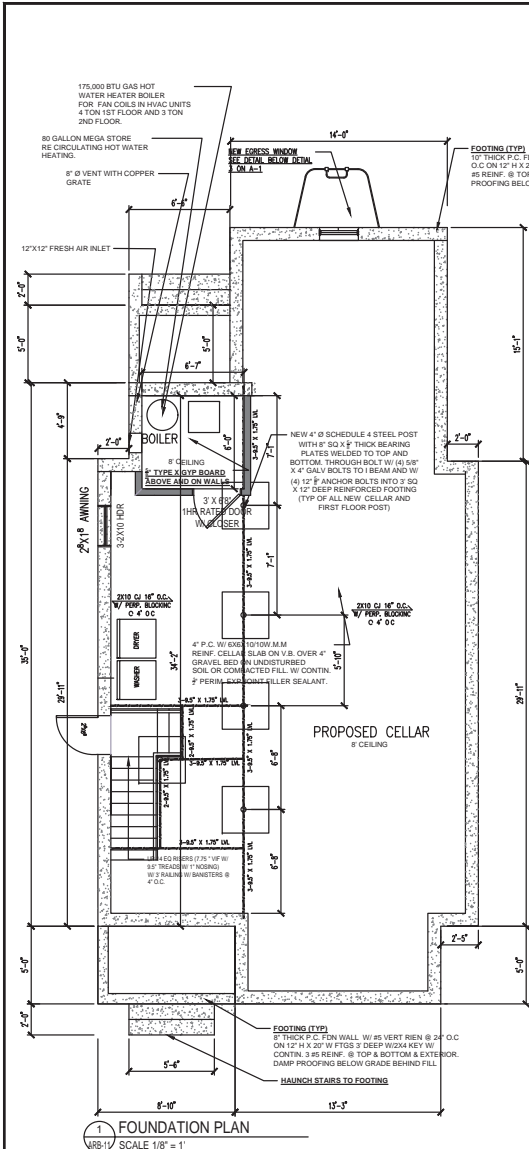
WILLIAM J COOK RA
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DRAFTED BY: DVC

PROJECT NAME AND ADDRESS:
 NEW HOUSE AND GARAGE FOR
 143 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23
 SHEET 1 OF 18

ARB-9
 AS SPECIFIED



NOTES:

REVISION	ISSUE	DATE

SHEET CONTENT:

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435 MAPLE AVE.
WESTBURY, NY, 11590
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NEW HOUSE AND GARAGE FOR
141 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23
SHEET 1
11 OF 18

AS SPECIFIED
ARB-11

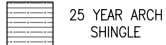
LEGEND



BATTEN BOARD SIDING



CULTURED STONE



25 YEAR ARCH SHINGLE

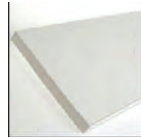


4" VINYL SIDING

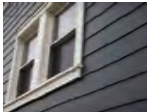
1. CERTIANTEED (MOIRE BLACK) LANDMARK TL 25 YEAR ARCH SHINGLES



2. AZEK FASCIA AND FRIEZE



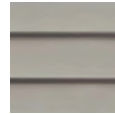
3. AZEK WINDOW TRIM



4. CERTIANTEED (GRANITE GRAY) 7" BOARD AND BATTEN



5. CERTIANTEED (GRANITE GRAY) AMERICAN LEGEND 4" VINYL SIDING



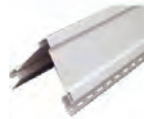
6. 5" K STYLE ALUM WHITE GUTTERS AND LEADERS



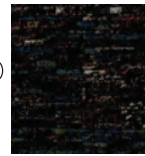
7. ANDERSON 400 SERIES DOUBLE HUNG WINDOWS



8. 4" CORNERS (WHITE)



9. CULTURED STONE STACKED. (BLACK MOUNTAIN)



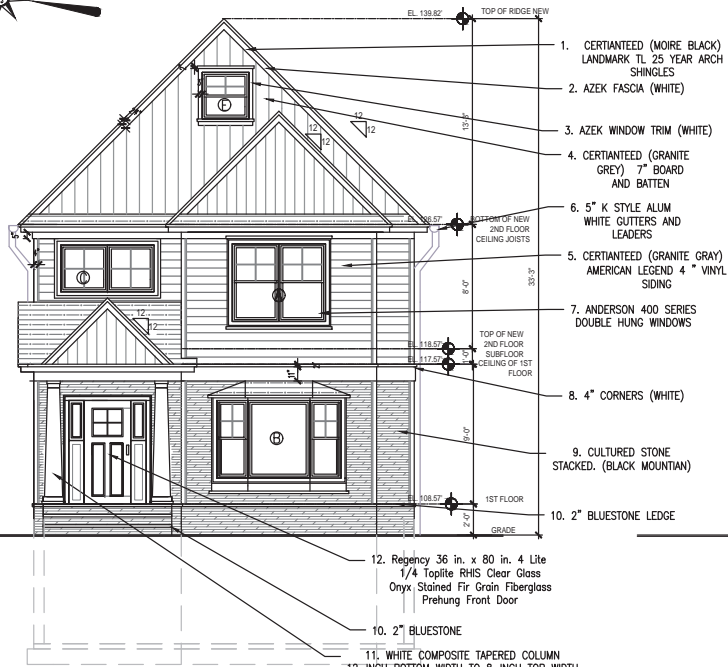
10. 2" BLUESTONE LEDGE AND BLUE STONE TREADS AND PORCH



11. WHITE COMPOSITE TAPERED COLUMN 12-INCH BOTTOM WIDTH TO 8-INCH TOP WIDTH X 8'H PREMIUM SQUARE TAPERED SMOOTH PVC ENDURA-CRAFT COLUMN WRAP KIT, PRAIRIE CAPITAL & BASE by Ekena Millwork



12. Regency 36 in. x 80 in. 4 Lite 1/4 Toplite RHIS Clear Glass Onyx Stained Fir Grain Fiberglass Prehung Front Door



1 FRONT ELEVATION
SCALE 1/8" = 1'



2 RIGHT ELEVATION
SCALE 1/8" = 1'

NOTES:

REVISION ISSUE		DATE

SHEET CONTENT:



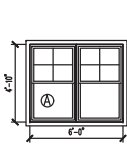
**WILLIAM J COOK
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EMAIL: BILLCOOKRA@ICLOUD.COM
435 MAPLE AVE.
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516-820-9732

DRAFTED BY: DVC

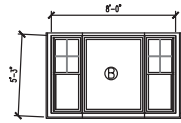
PROJECT NAME AND ADDRESS:
NEW HOUSE AND GARAGE FOR
143 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23 SHEET 12 OF 18
ARB-12

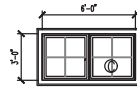
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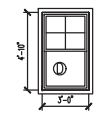
WINDOW A
 QTY: 5
 LOCATION: VARIOUS
 TYPE: DOUBLE HUNG, 72 X 58, (ANDERSON 400 SERIES)
 GLASS: INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD ENOURACIAD, WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, WHITE, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 R0: 72-3/4"X 58-3/4"



WINDOW B
 QTY: 1
 LOCATION: LIVING ROOM
 TYPE: 30" Bay (ANDERSON 400 SERIES)
 GLASS: INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 R0: 96-3/4"X 63-3/4"



DOOR C
 QTY: 1
 LOCATION: VARIOUS
 TYPE: FR DR, 72 X 36, WHITE CASEMENT (400 SERIES)
 GLASS: TEMPERED INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, WHITE, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 R0: 72-3/4"X 36-3/4"



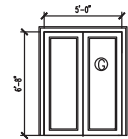
WINDOW D
 QTY: 3
 LOCATION: VARIOUS
 TYPE: DOUBLE HUNG, 36 X 58, (ANDERSON 400 SERIES)
 GLASS: INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD ENOURACIAD, WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, WHITE, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 R0: 36-3/4"X 58-3/4"







WINDOW E
 QTY: 3
 LOCATION: VARIOUS
 TYPE: DOUBLE HUNG, 36 X 36, (ANDERSON 400 SERIES)
 GLASS: TEMPERED INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 R0: 36-3/4"X 36-3/4"



WINDOW F
 QTY: 1
 LOCATION: VARIOUS
 TYPE: CASEMENT, 36 X 36, (ANDERSON 400 SERIES)
 GLASS: TEMPERED INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 R0: 36-3/4"X 36-3/4"



FR DOOR G
 QTY: 1
 LOCATION: FAMILY ROOM
 TYPE: FRENCH SLIDER, 60 X 80, (ANDERSON 400 SERIES)
 GLASS: TEMPERED INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD ENOURACIAD, BLACK
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, BLACK, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 R0: 36-3/4"X 36-3/4"

- LEGEND**
-  BATTEN BOARD SIDING
 -  CULTURED STONE
 -  25 YEAR ARCH SHINGLE
 -  4" VINYL SIDING



1 REAR ELEVATION
 SCALE 1/8" = 1'



2 LEFT ELEVATION
 SCALE 1/8" = 1'

12. Regency 30 in. x 80 in. 4 Lite
 1/4 Toppite RHIS Clear Glass
 Onyx Stained Fir Grain Fiberglass
 Prehung Front Door

NOTES:

REVISION	ISSUE	DATE

SHEET CONTENT:



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PROJECT NAME AND ADDRESS:
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 143 EMERSON AVE, FLORAL PARK NY

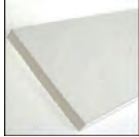
DATE 8/14/23 SHEET 13 OF 18

ARB-13
 AS SPECIFIED

1. CERTIANTEED (MOIRE BLACK)
LANDMARK TL 25 YEAR ARCH
SHINGLES



2. AZEK FASCIA AND
FRIEZE



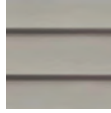
3. AZEK DOOR TRIM



4. CERTIANTEED (GRANITE GRAY) 7"
BOARD AND BATTEN



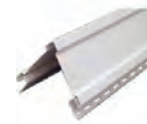
5. CERTIANTEED (GRANITE GRAY)
AMERICAN LEGEND 4 " VINYL
SIDING



6. CERTIANTEED (GRANITE GRAY)
AMERICAN LEGEND 4 " VINYL
SIDING



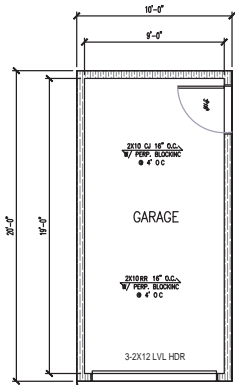
8. 4" CORNERS (WHITE)



7.Coachman Collection 8 ft. x 7 ft.
18.4 R-Value Intellicores
Insulated ONYX STAINED Garage
Door with SQ24 Window

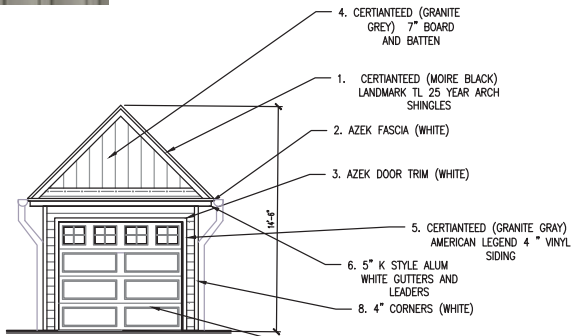


9. Regency 36 in. x 80 in. 4 Lite
1/4 Toplite RHIS Clear Glass
Onyx Stained Fir Grain
Fiberglass Prehung Front Door

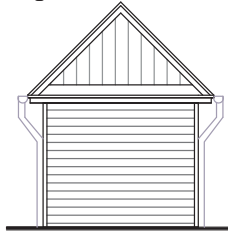


Coachman Collection 8 ft. x 7 ft.
18.4 R-Value Intellicores Insulated
ONYX STAINED Garage Door with
SQ24 Window

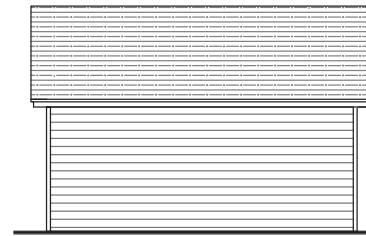
1 PLAN
SCALE 1/8" = 1'



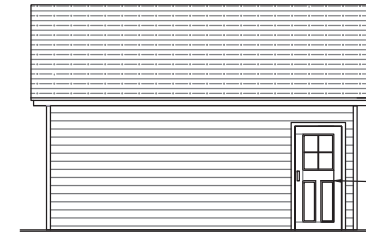
2 FRONT ELEVATION
SCALE 1/8" = 1'



4 REAR ELEVATION
SCALE 1/8" = 1'



3 LEFT ELEVATION
SCALE 1/8" = 1'



5 RIGHT ELEVATION
SCALE 1/8" = 1'

12. Regency 36 in. x 80 in. 4 Lite
1/4 Toplite RHIS Clear Glass
Onyx Stained Fir Grain Fiberglass
Prehung Front Door

NOTES:	
REVISION ISSUE	DATE

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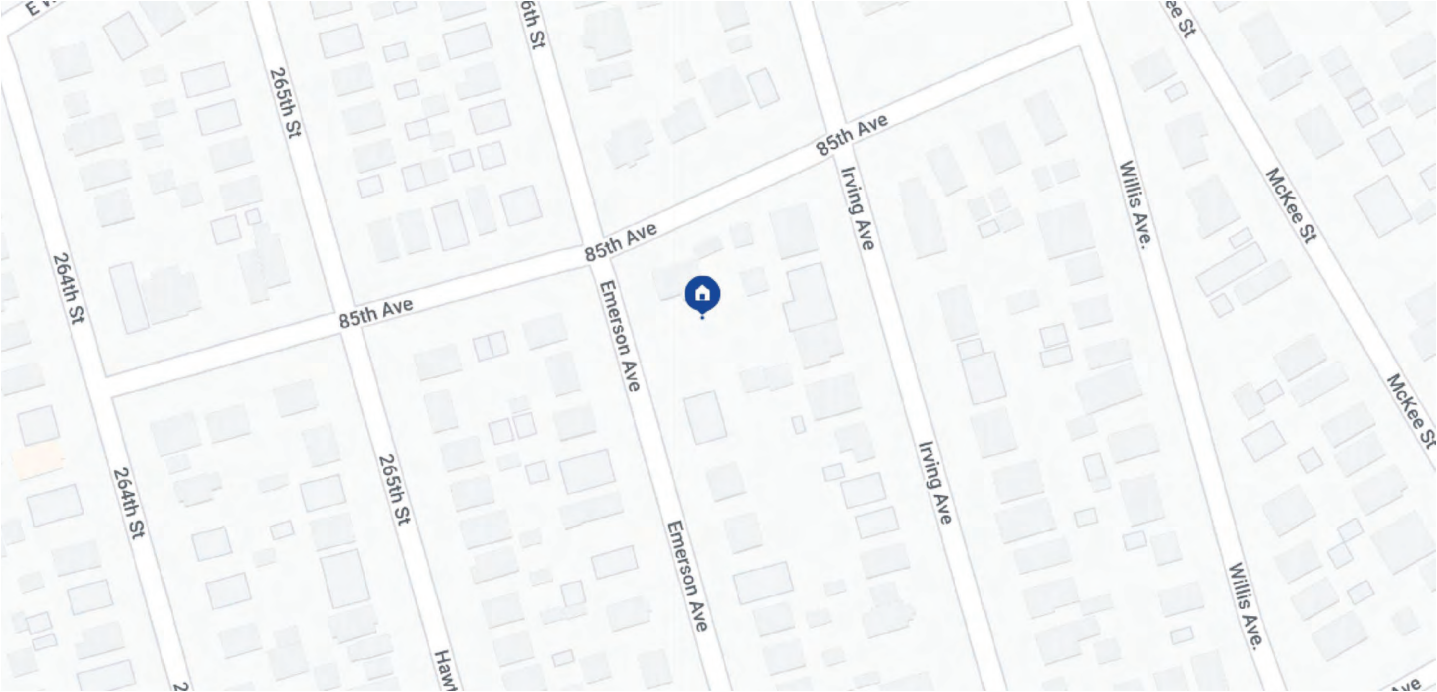
DRAFTED BY: DVC

PROJECT NAME AND ADDRESS:
NEW HOUSE AND GARAGE FOR
143 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23	SHEET 14 OF 18
ARB-14	
AS SPECIFIED	

PROPOSED ADDITIONS, ALTERATIONS AND GARAGE ON SUBDIVIDED LOT FOR 145 EMERSON AVE, FLORAL PARK, NY

THIS PLOT WAS APPROVED FOR SUBDIVISION BY THE FOLLOWING BOARDS
 ARCHITECTURAL REVIEW BOARD PRELIM PRESENTATION 11/19/20
 THE BOARD OF TRUSTEES UNDER RESOLUTION 2021-04 DATED 1/5/2021



NOTES:

REVISION	ISSUE	DATE

SHEET CONTENT:



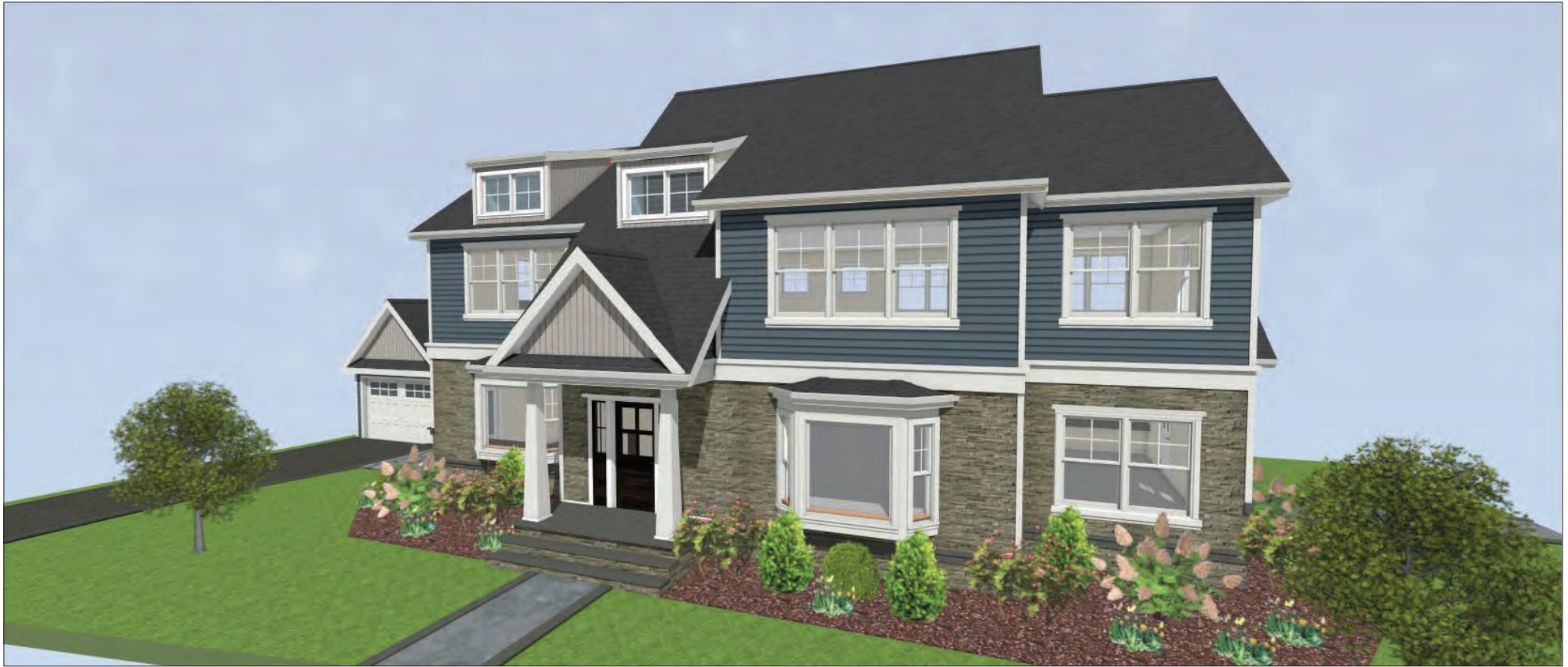
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PROJECT NAME AND ADDRESS:
 NEW HOUSE AND GARAGE FOR
 145 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23 SHEET # 1 OF 22

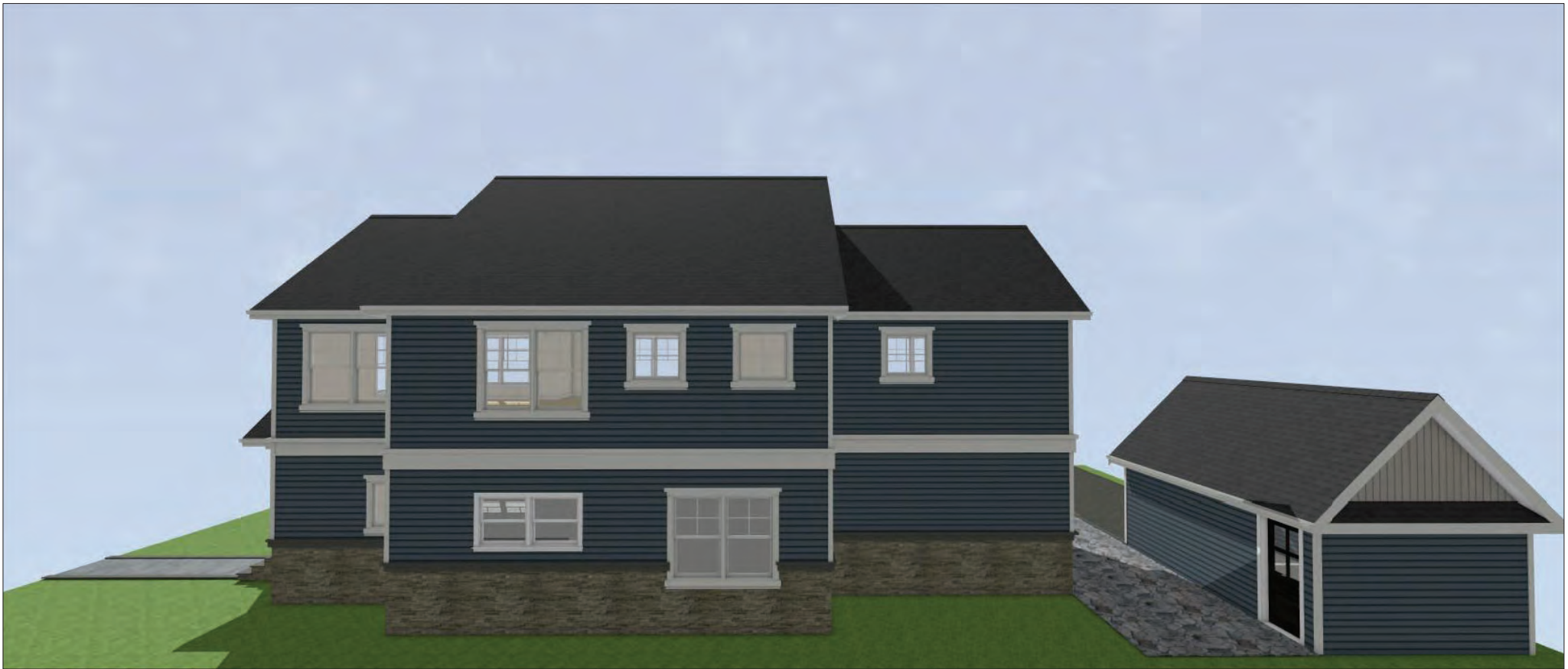
AS SPECIFIED ARB-1



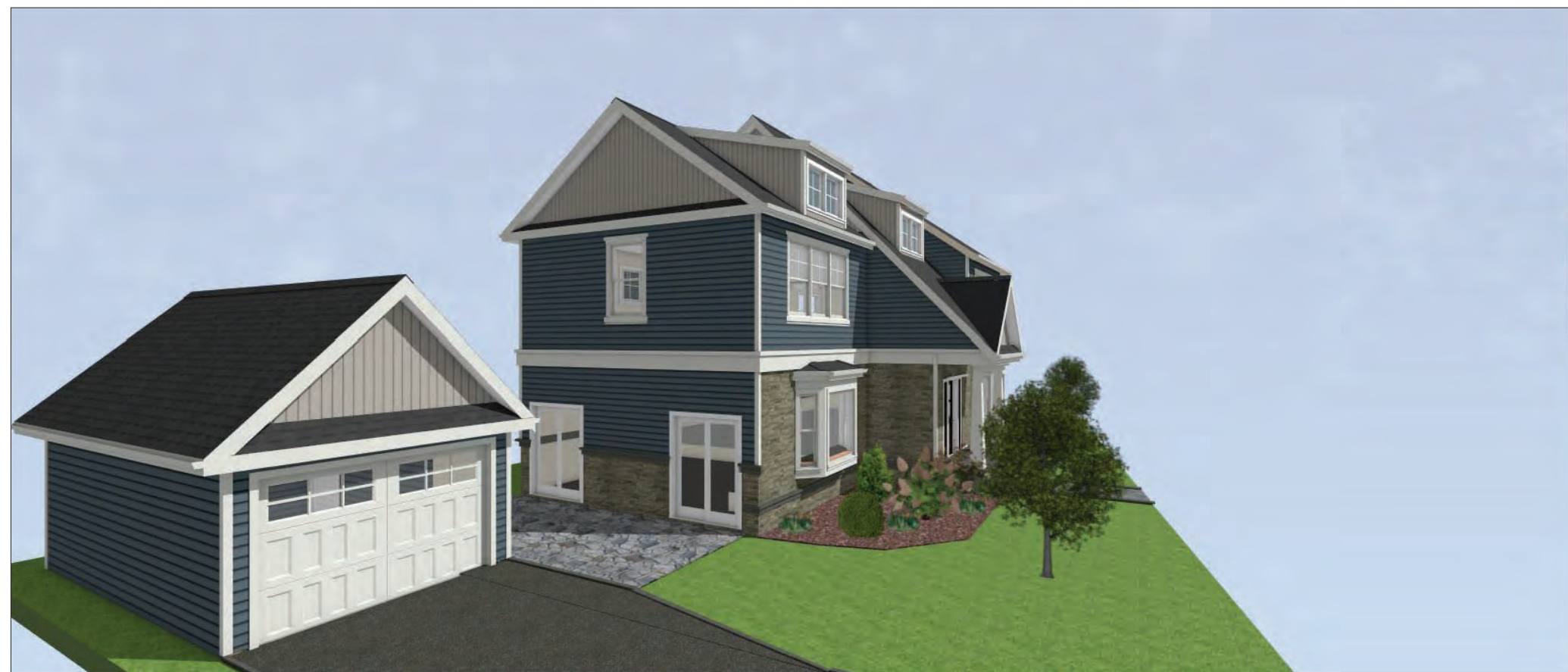
1 NORTH ELEVATION 1
APR-19 SCALE 1/8" = 1'



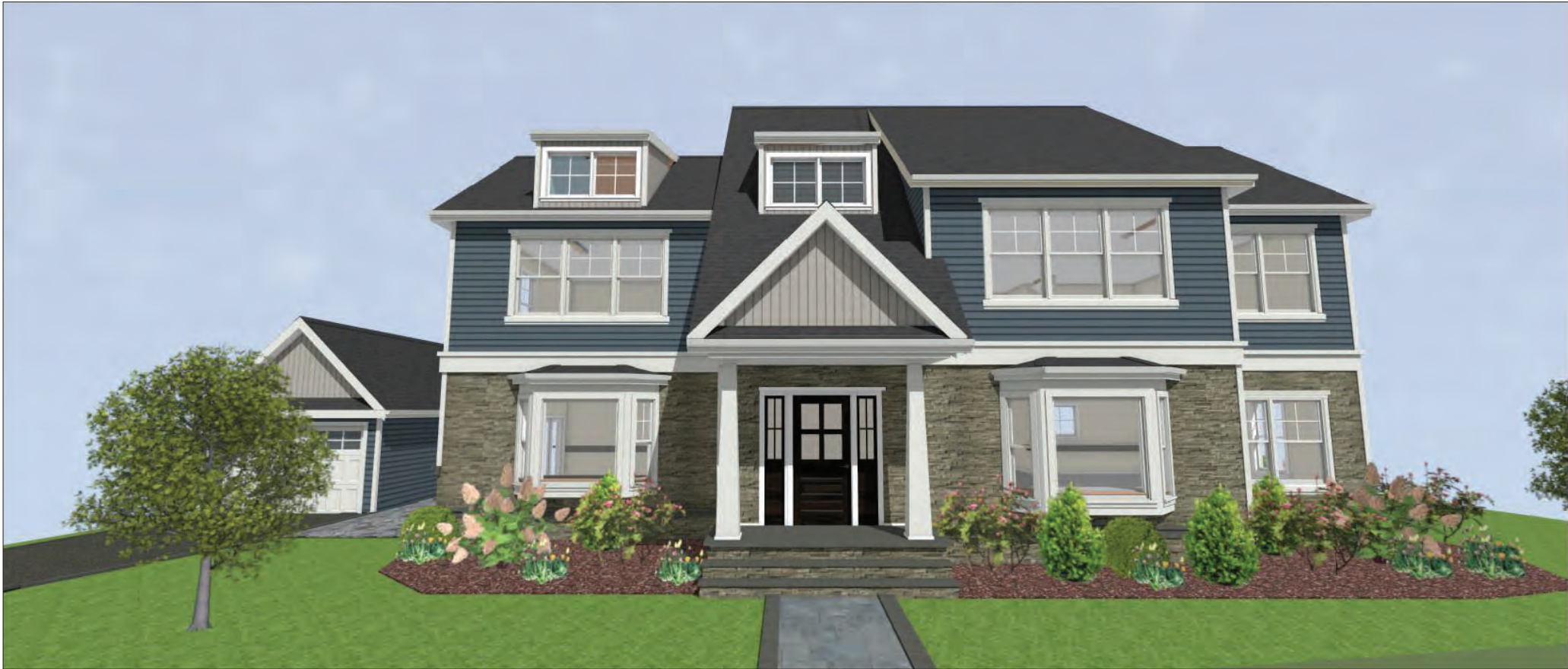
1 WEST ELEVATION
SCALE 1/8" = 1'















1 SOUTH ELEVATION
ARB-20 SCALE 1/8" = 1'



1 EAST ELEVATION
ARB-19 SCALE 1/8" = 1'



1 NORTH ELEVATION 2
488-27 SCALE 1/8" = 1'

LEGEND	
	NEW RED OAK
	BOXWOOD
	SEASONAL MIX PANSIES, MARIGOLDS, MUMS
	HYDRANGEAS
	GOLD EDGE EVERGREEN EUONYMUS SHRUB
	HYBRID TEA ROSE
	SEASONAL MIX DAFFODILS, TULIPS, IRIS
	MULCH
	GRASS
	ASPHALT
	CONCRETE
	PAVER



EMERSON AVE



1 LANDSCAPE PLAN
ARB-8 SCALE 1/16" = 1'

NOTES:	
REVISION	DATE

SHEET CONTENT:



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DRAFTED BY: DVC

PROJECT NAME AND ADDRESS:
NEW HOUSE AND GARAGE FOR
145 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23	SHEET # 8 OF 22
AS SPECIFIED	ARB-8

THIS PLOT WAS APPROVED FOR SUBDIVISION BY THE FOLLOWING BOARDS
 ARCHITECTURAL REVIEW BOARD PRELIM PRESENTATION 11/19/20
 THE BOARD OF TRUSTEES UNDER RESOLUTION 2021-04 DATED 1/5/2021

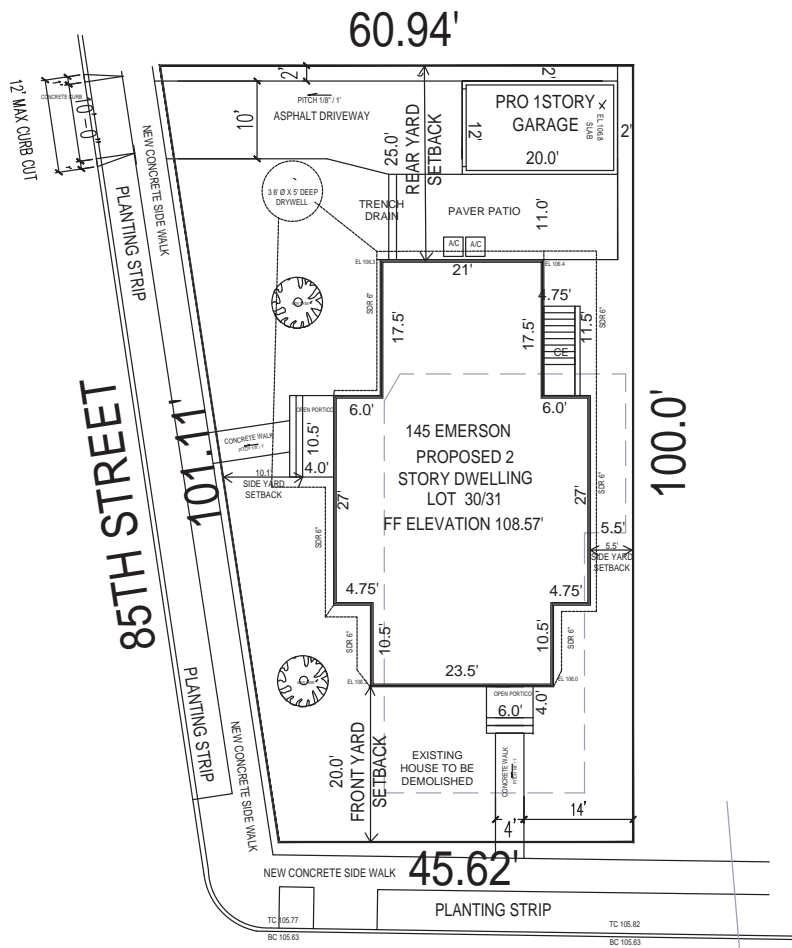
ZONING NOTES SECTION 8 BLOCK 91 LOT 31 (PARCEL A)		
	PROVIDED PARCEL A	REQUIRED (ZONE R-1)
LOT SIZE	5328 SQFT	4,000 SQFT
LOT FRONTAGE	45.62 SQFT	4,000 SQFT
FIRST FLOOR (PROPOSED)	1058 SQFT	
SECOND FLOOR (PROPOSED)	1058 SQFT	
TOTAL (PROPOSED)	1987.5 SQFT	
FLOOR AREA	2186 SQ FT	
LOT COVERAGE (PROPOSED)	1576 / 5328 SQFT = 29.5%	30% or 1588.4
FRONT YARD SETBACK	20'	18.07' AVERAGE SETBACK
SIDE YARD AGG.	15.5'	15'
SIDE YARD SETBACK	5.5'	5'
REAR YARD SETBACK	25'	25'
HEIGHT	34'	35'
STORIES	2 1/2	2 1/2
REAR YARD COVERAGE	2407/480=16.2%	20%

AVERAGE FRONT YARD SETBACK

139 EMERSON AVE	LOT 136	15.08
135 EMERSON AVE	LOT 138	14.89
125 EMERSON AVE	LOT 140	15.66 (@ VESTIBULE)
121 EMERSON AVE	LOT 143	12.16 (@R/O PORCH)
119 EMERSON AVE	LOT 148	20.33
115 EMERSON AVE	LOT 147	20.31
111 EMERSON AVE	LOT 146	20.27
109 EMERSON AVE	LOT 49/145/151	20.58
107 EMERSON AVE	LOT 154	20.79
305 WHITTIER AVE	LOT 153	20.62 (CORNER LOT)
		180.69 FT / 10 = 18.07'

HEIGHT
 AVERAGE CURB GRADE= (105.82 +105.77)/ 2= 105.79
 FIRST FLOOR ELEVATION ABOVE CURB GRADE= 108.57'-105.79=2.78
 BUILDING HEIGHT = 34' OR 139.82'

GARAGE ZONING
 MAX HEIGHT = 17' 14'-6" PROPOSED OK
 MIN. SETBACK SIDE YARD = 1' 2' PROPOSED OK
 MIN. SETBACK REAR YARD = 1' 1' PROPOSED OK
 REAR LOT COVERAGE (SEE CHART ABOVE) OK



1 SITE PLAN
 ARB-9 SCALE 1/16" = 1'

NOTES:

REVISION	ISSUE	DATE

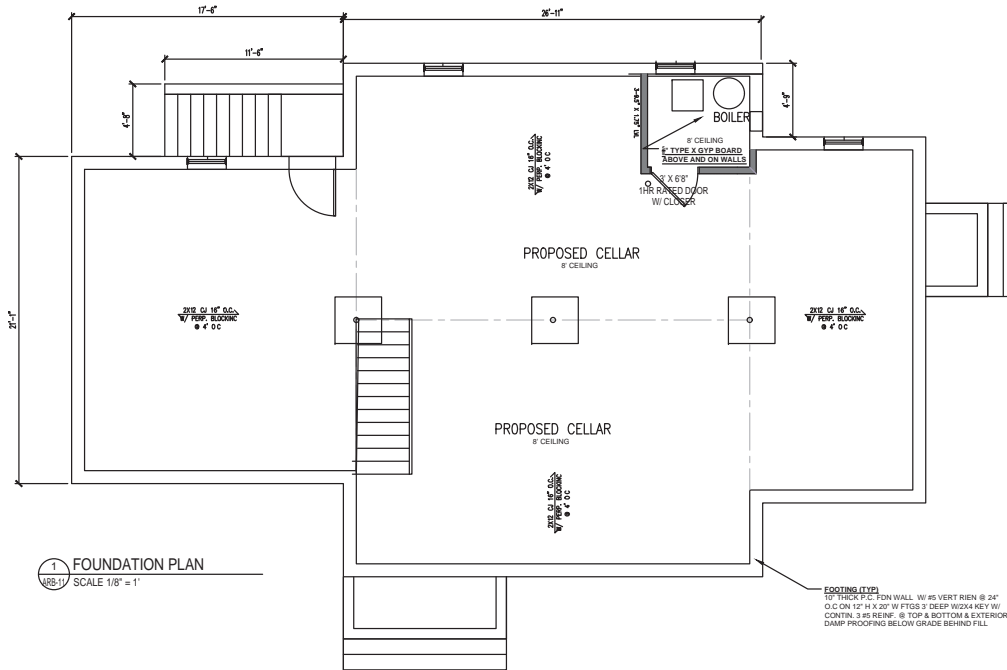
SHEET CONTENT:

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 516-820-9732

DRAFTED BY: DVC

PROJECT NAME AND ADDRESS:
 ADDITIONS TO HOUSE AND NEW
 GARAGE FOR
 145 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23	SHEET 1 9 OF 22
AS SPECIFIED	ARB-9



1 FOUNDATION PLAN
SCALE 1/8" = 1"



NOTES:

REVISION	ISSUE	DATE

SHEET CONTENT:



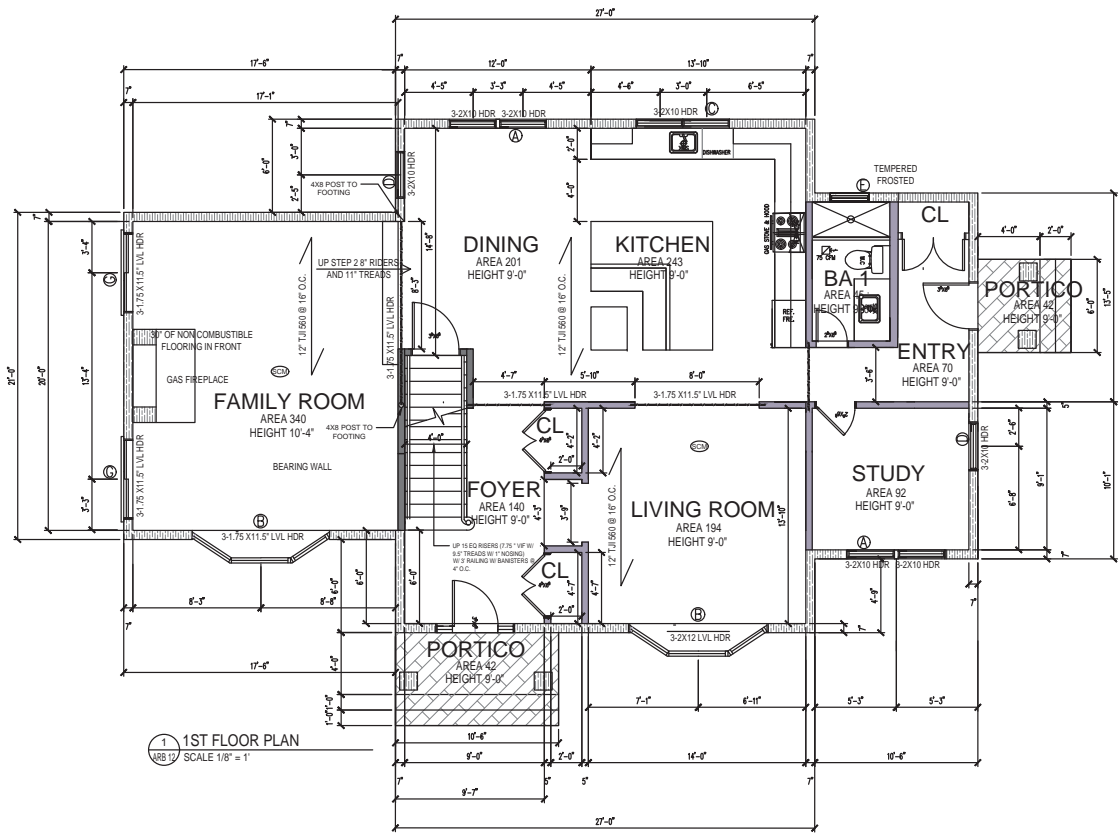
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PROJECT NAME AND ADDRESS:
ADDITIONS TO HOUSE AND NEW
GARAGE FOR
145 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23	SHEET # 11 OF 22
AS SPECIFIED	ARB-11



1 1ST FLOOR PLAN
 1/8" = 1'

1510 SQFT



NOTES:

REVISION	ISSUE	DATE

SHEET CONTENT:

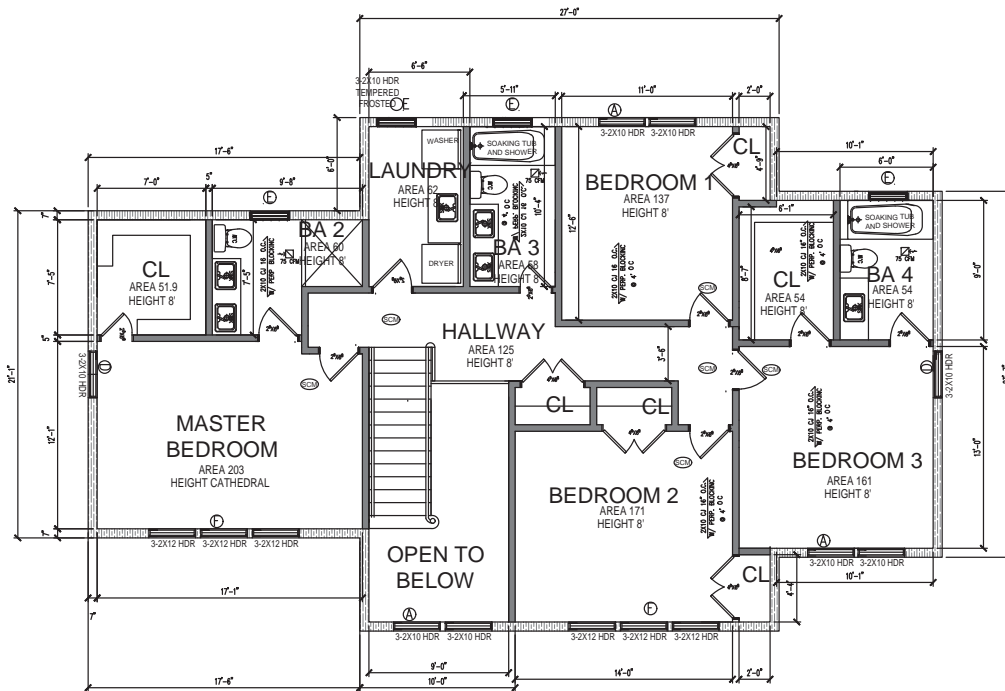


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PROJECT NAME AND ADDRESS:
 ADDITIONS TO HOUSE AND NEW
 GARAGE FOR
 145 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23	SHEET 12 OF 22
AS SPECIFIED	ARB-12



1 2ND FLOOR PLAN
SCALE 1/8" = 1'

1510 SQFT



NOTES:

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SHEET CONTENT:

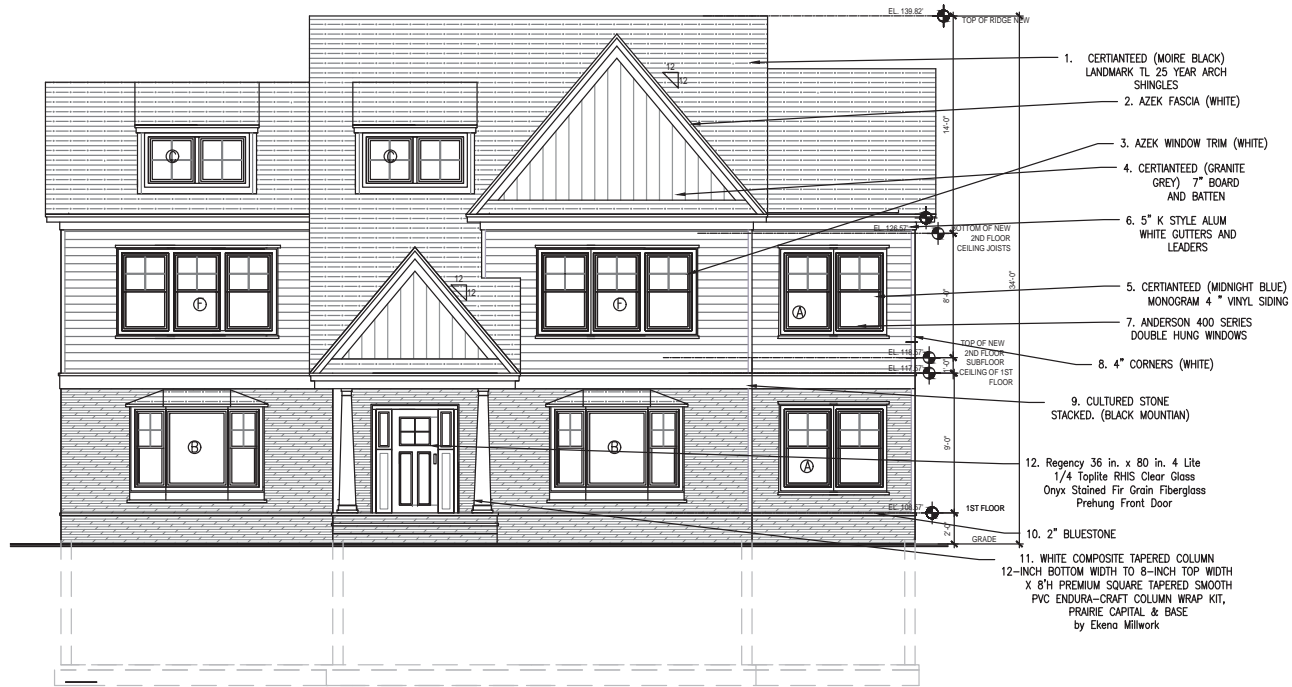


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


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ADDITIONS TO HOUSE AND NEW
GARAGE FOR
145 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23	SHEET # 13 OF 22
AS SPECIFIED	ARB-13



1 FRONT ELEVATION
SCALE 1/8" = 1'

LEGEND

-  BATTEN BOARD SIDING
-  CULTURED STONE
-  25 YEAR ARCH SHINGLE
-  4" VINYL SIDING

1. CERTIANTEED (MOIRE BLACK) LANDMARK TL 25 YEAR ARCH SHINGLES

2. AZEK FASCIA AND FRIEZE

3. AZEK WINDOW TRIM

4. CERTIANTEED (GRANITE GRAY) 7" BOARD AND BATTEN

5. CERTIANTEED (MIDNIGHT BLUE) MONOGRAM 4" VINYL SIDING

6. 5" K STYLE ALUM WHITE GUTTERS AND LEADERS

7. ANDERSON 400 SERIES DOUBLE HUNG WINDOWS

8. 4" CORNERS (WHITE)

9. CULTURED STONE STACKED. (BLACK MOUNTAIN)

10. 2" BLUESTONE LEDGE AND BLUE STONE TREADS AND PORCH

11. WHITE COMPOSITE TAPERED COLUMN 12-INCH BOTTOM WIDTH TO 8-INCH TOP WIDTH X 8'H PREMIUM SQUARE TAPERED SMOOTH PVC ENDURA-CRAFT COLUMN WRAP KIT, PRAIRIE CAPITAL & BASE by Ekena Millwork

12. Regency 36 in. x 80 in. 4 Lite 1/4 Toplite RHIS Clear Glass Onyx Stained Fir Grain Fiberglass Prehung Front Door

NOTES:

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145 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23





SHEET 1
14 OF 22

AS SPECIFIED

ARB-14



LEGEND

-  BATTEN BOARD SIDING
-  CULTURED STONE
-  25 YEAR ARCH SHINGLE
-  4" VINYL SIDING



2 LEFT ELEVATION
ARB-15 SCALE 1/8" = 1"



2 RIGHT ELEVATION
ARB-15 SCALE 1/8" = 1"

NOTES:	
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DRAFTED BY: DVC

--

PROJECT NAME AND ADDRESS:
 ADDITIONS TO HOUSE AND NEW
 GARAGE FOR
 145 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23	SHEET # 15 OF 22
AS SPECIFIED	ARB-15

LEGEND

-  BATTEN BOARD SIDING
-  CULTURED STONE
-  25 YEAR ARCH SHINGLE
-  4" VINYL SIDING



1 REAR ELEVATION
SCALE 1/8" = 1'

WINDOW A
 QTY: 5
 LOCATION: VARIOUS
 TYPE: DOUBLE HUNG, 72 X 58, (ANDERSON 400 SERIES)
 GLASS: INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD ENDURACLAD, WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, WHITE, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 RD: 72-3/4"X 58-3/4"

WINDOW B
 QTY: 2
 LOCATION: LIVING ROOM
 TYPE: 30" Bay (ANDERSON 400 SERIES)
 GLASS: INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 RD: 96-3/4"X 63-3/4"

DOOR C
 QTY: 3
 LOCATION: VARIOUS
 TYPE: FR DR, 72 X 36, WHITE CASEMENT (400 SERIES)
 GLASS: TEMPERED INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, WHITE, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 RD: 72-3/4"X 36-3/4"

WINDOW D
 QTY: 4
 LOCATION: VARIOUS
 TYPE: DOUBLE HUNG, 36 X 58, (ANDERSON 400 SERIES)
 GLASS: INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD ENDURACLAD, WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, WHITE, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 RD: 36-3/4"X 58-3/4"

WINDOW E
 QTY: 4
 LOCATION: VARIOUS
 TYPE: DOUBLE HUNG, 36 X 36, (ANDERSON 400 SERIES)
 GLASS: TEMPERED INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 RD: 36-3/4"X 36-3/4"


WINDOW F
 QTY: 2
 LOCATION: VARIOUS
 TYPE: DOUBLE HUNG, 108 X 58, (ANDERSON 400 SERIES)
 GLASS: INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD ENDURACLAD, WHITE
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, WHITE, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 RD: 72-3/4"X 58-3/4"

FR DOOR G
 QTY: 2
 LOCATION: FAMILY ROOM
 TYPE: FRENCH SLIDER, 60 X 80, (ANDERSON 400 SERIES)
 GLASS: TEMPERED INSULATED LOW-E ADVANCED LOW-E INSULATING GLASS ARGON
 EXTERIOR COLOR: STANDARD ENDURACLAD, BLACK
 INTERIOR COLOR: PREFINISHED WHITE PAINT INTERIOR
 SCREENS: FULL SCREEN, BLACK, INVIEW
 LOOK: MODERN
 U FACTOR: .28 OR BETTER
 SHGC: .28 OR BETTER
 RD: 36-3/4"X 36-3/4"

NOTES:

REVISION ISSUE DATE

SHEET CONTENT:



WILLIAM J COOK
RA

EMAIL: BILLCOOKRA@ICLOUD.COM
435 MAPLE AVE.
WESTBURY, NY, 11590
516-820-9732

DRAFTED BY: DVC

PROJECT NAME AND ADDRESS:
ADDITIONS TO HOUSE AND NEW GARAGE FOR
145 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23 SHEET 1
16 OF 22

AS SPECIFIED ARB-16

1. CERTIANTEED (MOIRE BLACK)
LANDMARK TL 25 YEAR ARCH
SHINGLES



2. AZEK FASCIA AND
FRIEZE



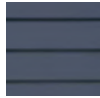
3. AZEK DOOR TRIM



4. CERTIANTEED (GRANITE GRAY) 7"
BOARD AND BATTEN



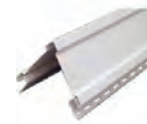
5. CERTIANTEED (MIDNIGHT BLUE)
MONOGRAM 4 " VINYL SIDING



6. CERTIANTEED (GRANITE GRAY)
AMERICAN LEGEND 4 " VINYL
SIDING



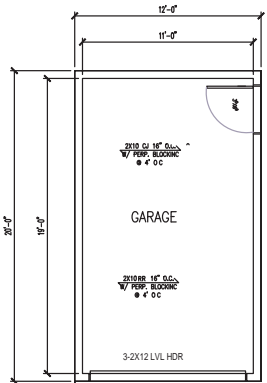
8. 4" CORNERS (WHITE)



7. Coachman Collection 8 ft. x 7 ft.
18.4 R-Value Intellicore
Insulated ONYX STAINED Garage
Door with SQ24 Window

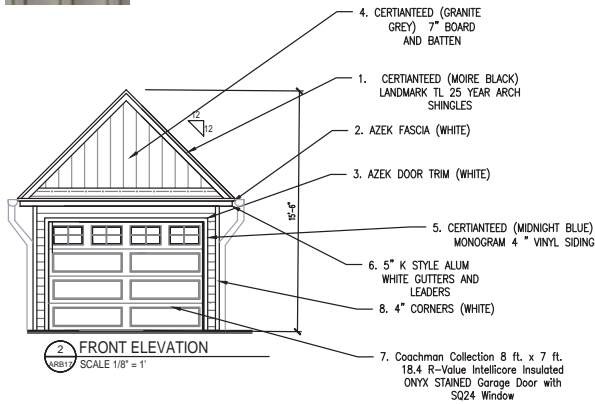


9. Regency 36 in. x 80 in. 4 Lite
1/4 Toplite RHIS Clear Glass
Onyx Stained Fir Grain
Fiberglass Prehung Front Door

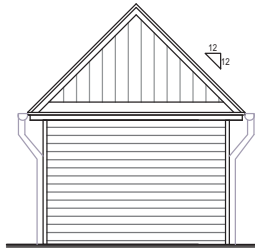


1. PLAN
SCALE 1/8" = 1'

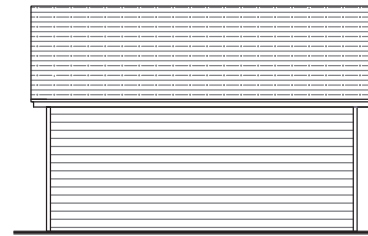
Coachman Collection 8 ft. x 7 ft.
18.4 R-Value Intellicore Insulated
ONYX STAINED Garage Door with
SQ24 Window



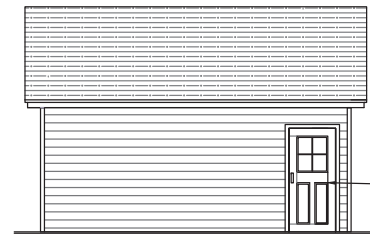
2. FRONT ELEVATION
SCALE 1/8" = 1'



4. REAR ELEVATION
SCALE 1/8" = 1'



3. LEFT ELEVATION
SCALE 1/8" = 1'



5. RIGHT ELEVATION
SCALE 1/8" = 1'

12. Regency 36 in. x 80 in. 4 Lite
1/4 Toplite RHIS Clear Glass
Onyx Stained Fir Grain Fiberglass
Prehung Front Door

NOTES:

REVISION	ISSUE	DATE

SHEET CONTENT:



**WILLIAM J COOK
RA**

EMAIL: BILLCOOKRA@ICLOUD.COM
435 MAPLE AVE.
WESTBURY, NY, 11590
516-820-9732

DRAFTED BY: DVC

PROJECT NAME AND ADDRESS:

NEW HOUSE AND GARAGE FOR
145 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23

SHEET #
17 OF 22

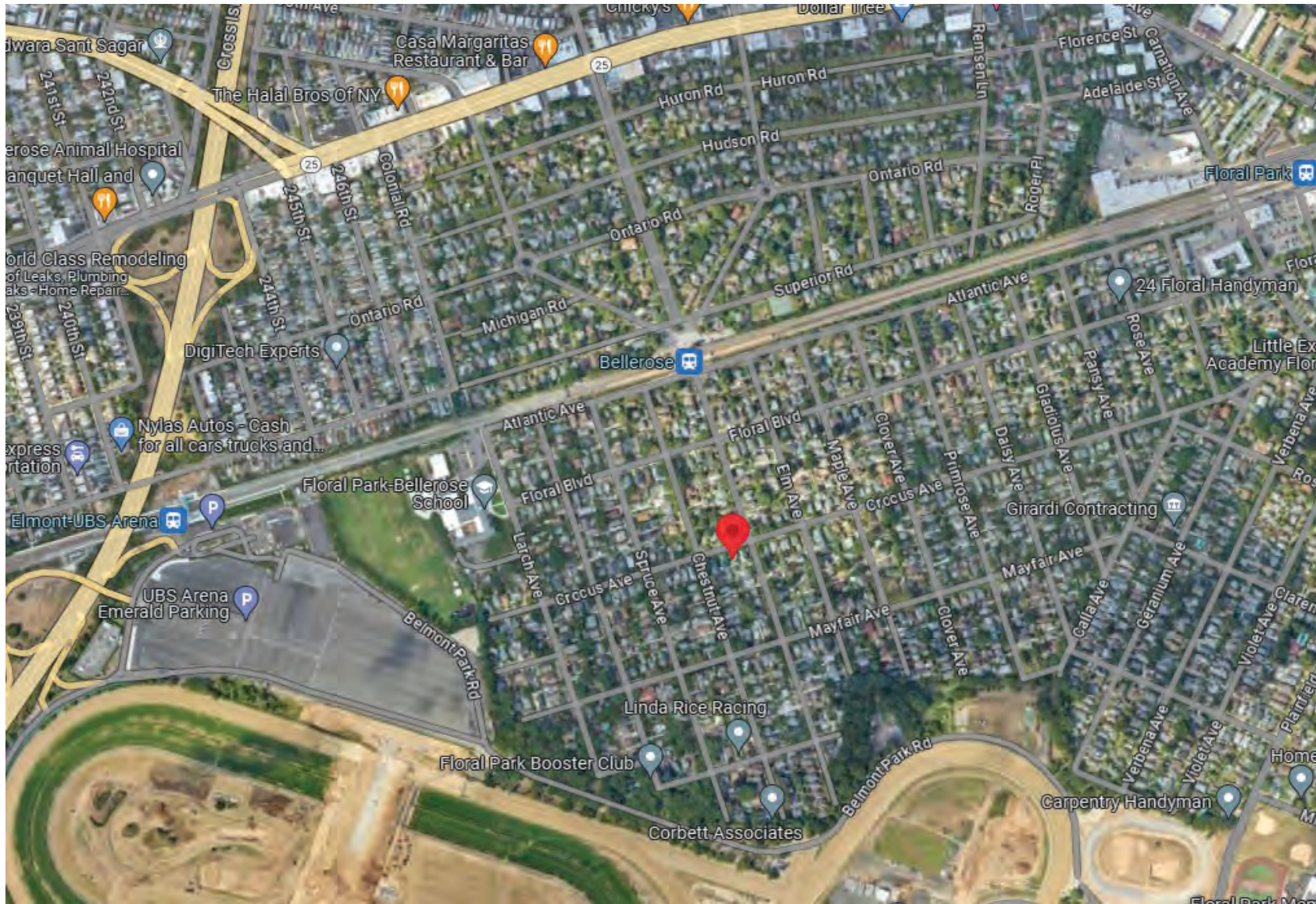
AS SPECIFIED

ARB-17

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
2	8:05 p.m.	214	Crocus Avenue	Resubmission: Second Floor Addition	Edward Perez	Demetris Demetriou, RA



214 Crocus Avenue (Aerial View)





FRONT VIEW (N)



RIGHT SIDE VIEW (E)

214 CROCUS AVENUE



LEFT SIDE VIEW (W)



REAR VIEW (S)

214 CROCUS AVENUE



LEFT SIDE NEIGHBOR



RIGHT SIDE NEIGHBOR

ADJACENT NEIGHBORS

214 CROCUS AVENUE

CONSTRUCTION NOTES:

- INSULATION IN THE EXTERIOR WALLS & CEILING OF ALL HEATED SPACES SHALL BE FIBERGLASS BATT. SIZE AS INDICATED ON DRAWINGS WITH A VAPOR BARRIER ON THE HEATED SIDE. PACK ALL SPACES AROUND WINDOWS AND DOORS WITH INSULATION. ALL INSULATION SHALL BE SEIZED, LOCATED AND INSTALLED IN ACCORDANCE WITH THE N.Y.S. ENERGY CODE.
- INSULATION IN CATHEDRAL CEILINGS SHALL BE AS INDICATED ON DRAWINGS. CARE SHALL BE TAKEN TO MAINTAIN THE FREE PASSAGE OF AIR BETWEEN INSULATION AND ROOF DECK.
- GLAZING IN DOORS, SHOWER/TUB ENCLOSURES, SHOWER/TUB DOORS & ADJOINING DOORS SHALL BE SO SIZED, CONSTRUCTED, TREATED OR COMBINED WITH OTHER MATERIALS AS TO EFFECTIVELY MINIMIZE THE POSSIBILITY OF INJURY TO PERSONS IN THE EVENT THE GLAZING IS CRACKED OR BROKEN. TEMPORE/SAFETY GLASS SHALL BE USED IN ALL WINDOWS AND DOORS AS PER SECTION R308 GLAZING.
- ALL WALLS AND CEILING SHALL BE FINISHED WITH 1/2" MIN. GYPSUM WALLBOARD EXCEPT AS INDICATED OTHERWISE ON DRAWINGS. USE WATERPROOF TYPE IN AREAS OF MOISTURE.
- ALL CLOSETS TO RECEIVE VINYL COATED WIRE SHELVES AND HANG RODS. TYPICAL UNLESS OTHERWISE NOTED.
- STORM WATER FROM ROOF TO BE DISPOSED OF IN A PROPER MANNER AS REQUIRED BY COUNTY HEALTH DEPARTMENT, LOCAL BUILDING DEPARTMENT AND ALL OTHER AGENCIES HAVING JURISDICTION.
- ALL GUTTERS TO BE SEAMLESS ALUMINUM WITH BAKED ENAMEL FINISH.
- FLUE LININGS SHALL BE OF TERRA COTTA, EXTENDING FULL HEIGHT THROUGH THE CHIMNEY CAP (PER SECTION R1001.8, 1001.9, 1001.10, 1001.11 & 1001.12)
- ALL FIREBOXES SHALL BE LINED WITH FIREBRICKS AS PER SECTION R1003.5 & ASTM C27 OR C1261 & C139 FOR MORTAR.
- PROVIDE COMBUSTION AIR VENTS AS PER ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.
- STRUCTURAL STEEL TO BE ASTM A36, DETAILED, FABRICATED AND ERECTED PER AISC.
- AT ALL FLUSH STEEL BEAM LOCATIONS, POSITION STEEL BEAM WITH SUFFICIENT CLEARANCE BETWEEN TOP AND BOTTOM STEEL AND ADJOINING WOOD FRAMING TO ALLOW FOR WOOD SHRINKAGE.
- THE ELECTRICAL INSTALLATION SHALL CONFORM TO ALL LAWS AND ORDINANCES OF THE NATIONAL ELECTRIC CODE, THE LONG ISLAND POWER AUTHORITY, LOCAL MUNICIPALITIES AND THE REQUIREMENTS OF THE NEW YORK BOARD FIRE UNDERWRITERS (OR EQUIVALENT AUTHORITY.)
- AT LEAST ONE SINGLE STATION SMOKE DETECTING ALARM DEVICE INSTALLED IN CONFORMITY WITH SECTION R317 & NFPA 72 SHALL BE PROVIDED ADJACENT TO AND IN ALL SLEEPING SPACES AND ON EACH ADDITIONAL FLOOR LEVEL AND SHALL BE LOCATED ON OR NEAR THE CEILING.
- ALL PLUMBING FITURES SHALL BE INDIVIDUALLY TRAPPED AND VENTED AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE. CAST IRON PIPE SHALL CONFORM WITH THE LOCAL CODE REQUIREMENTS WITH THE APPROVED JOINTS, PIPE SUPPORTS AND CLEANOUTS.
- PLUMBER TO OBTAIN SEPARATE PLUMBING PERMIT.
- ALL PIPES TO BE INSULATED FROM FREEZING AND CONDENSATION.
- CONTRACTOR TO VENT ALL EQUIPMENT AS PER MANUFACTURERS SPECIFICATIONS AND BUILDING CODE REQUIREMENTS. ALL OUTLETS TO BE LOCATED AS SUCH AS TO PREVENT GASES/ODORS FROM ENTERING THE BUILDING OR FOLLING NEIGHBORING PROPERTIES.
- CONTRACTOR TO PROVIDE FINAL SITE GRADE IN ACCORDANCE WITH STATE AND LOCAL BUILDING CODES. SITE SHALL BE GRADED TO DIVERT WATER AWAY FROM STRUCTURE.
- CONTRACTOR TO PROVIDE NECESSARY SMOKE/FIRE/HEAT/CO2 DETECTORS AS INDICATED ON THE PLANS AND AS REQUIRED BY STATE AND LOCAL CODES.
- ALL EXTERIOR WINDOWS TO BE ANDERSON BRAND OR EQUIVALENT, INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
- ALL STEEL INDICATED ON PLANS SHALL BE A36 COATED WITH ONE SHOP COAT OF RUST INHIBITING PAINT.

CODE COMPLIANCE:

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE 2020 NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND ALL SUPPLEMENTS

COORDINATE ALL INSPECTIONS WITH THE LOCAL BUILDING DEPARTMENT

EXCAVATION NOTE: GC. TO CALL 1(800)272-4480/811 PRIOR TO ANY EXCAVATION, TO RECEIVE A LIST OF ALL UNDERGROUND UTILITIES AND OBTAIN WRITTEN CLEARANCE AND INDICATION FROM EACH OF THE PRESENT UTILITIES AT THE SITE.

PERMITS REQUIRED:

ALL SPECIALTY WORK, SUCH AS PLUMBING, ELECTRICAL, MECHANICAL-HVAC & FIRE SPRINKLERS TO BE PERFORMED BY LICENSED CONTRACTORS AND OBTAIN REQUIRED PERMITS AS REQUIRED ENERGY CODE.

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE NYS ENERGY CODE.

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE NEW YORK STATE, LOCAL AND ALL APPLICABLE CODES.
- IT IS THE INTENTION OF THESE DRAWINGS TO PROVIDE FOR THE CONSTRUCTION OF A RESIDENCE INCLUDING EVERY ITEM AS SHOWN OR REASONABLY IMPLIED OR REQUIRED TO COMPLETE ALL WORK.
- THE DRAWINGS AND NOTES ARE INTENDED TO BE COMPLETE. SHOULD ANYTHING BE OMITTED FROM THE DRAWINGS NECESSARY TO THE PROPER CONSTRUCTION OF THE WORK, HEREIN DESCRIBED, IT SHALL BE THE DUTY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
- ONLY DRAWINGS APPROVED BY THE LOCAL MUNICIPALITY IS TO BE USED FOR CONSTRUCTION PURPOSES.
- ANY DISCREPANCIES IN THE PLANS, SPECIFICATIONS, DIMENSIONS, SIZING ETC. SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- NO PLANS OR DRAWINGS ARE TO BE SCALED. ONLY FIGURED DIMENSIONS ARE TO BE USED.
- LICENSED ELECTRICIAN TO BE USED FOR ALL ELECTRICAL WORK.
- LICENSED PLUMBER TO BE USED FOR ALL PLUMBING WORK.
- CONTRACTOR TO VERIFY WITH OWNER AND UTILITY PROVIDERS THE LOCATIONS OF ANY UNDERGROUND UTILITIES, TANKS, PIPES OR LINES AND PROVIDE ADEQUATE PROTECTION AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL NECESSARY INSPECTIONS TO OBTAIN CERTIFICATES OF OCCUPANCY/COMPLETION.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION METHODS, TECHNIQUES, SEQUENCES AND FOR COORDINATING ALL TRADES TO COMPLETE WORK.
- CONTRACTOR IS RESPONSIBLE TO LEAVE THE SITE AND SURROUNDING AREAS BROOM SWEEP CLEAN AT THE END OF EACH WORK DAY AND PREVENT THE ACCUMULATION OF WASTE AND DEBRIS ON THE CONSTRUCTION SITE.
- CONTRACTOR IS RESPONSIBLE TO ERECT AND MAINTAIN REASONABLE SAFE GUARDS AND PROTECTION OF THE SITE. THIS WILL INCLUDE FENCING, DANGER SIGNS AND OTHER WARNINGS.
- THE ARCHITECTS CERTIFICATION OF THE PLANS AND LIABILITY WITH THE WORK IS LIMITED TO THE PLANS CONFORMITY TO THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE.
- CONTRACTOR IS RESPONSIBLE FOR ALL FABRICATED MATERIALS FOR ACCURACY, FIT AND INSTALLATION.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ACCEPTANCE FOR ALL FABRICATIONS AND FABRICATED MATERIALS.
- CONTRACTOR TO COORDINATE WITH SIMPSON STRONG-TIE COMPANY, INC 1-800-999-5099 TO PROVIDE ALL CONNECTION CONNECTORS, HANGERS AND BRACING AS REQUIRED FOR WIND RESISTANCE CONNECTIONS TO PROVIDE CONTINUOUS LOAD PATH FROM THE ROOF TO THE FOUNDATION.

ZONING ANALYSIS

SECTION-32, BLOCK-160, LOT:865 & 866 ZONE: R-1 LOT AREA: 5,000 sq.ft.

	REQUIRED	EXISTING	PROPOSED ADDITION
SETBACKS			
FRONT	20'-0"	9'-2"	24'-2"
WEST SIDE	10'-0"	10'-0"	10'-0"
EAST SIDE	5'-0"	2'-3"	10'-7"
AGGREGATE SIDE	15'-0"	12'-3"	20'-7"
REAR	25'-0"	39'-5"	NO CHANGE
HEIGHT	2 1/2 Stories or 35'	29'-3"	25'-6" ADDITION
MAX. MAIN BUILDING COVERAGE	5,000 x 30% = 1,500 sq.ft.	1,216 sq.ft.	1,483 sq.ft.
		24.32%	29.66 %

NEW FOUNDATION SURVEY NOTE:
OWNER & G.C. TO CONSULT WITH A LICENSED SURVEYOR AS REQUIRED PRIOR TO ANY NEW EXCAVATION OR FRAMING WORK

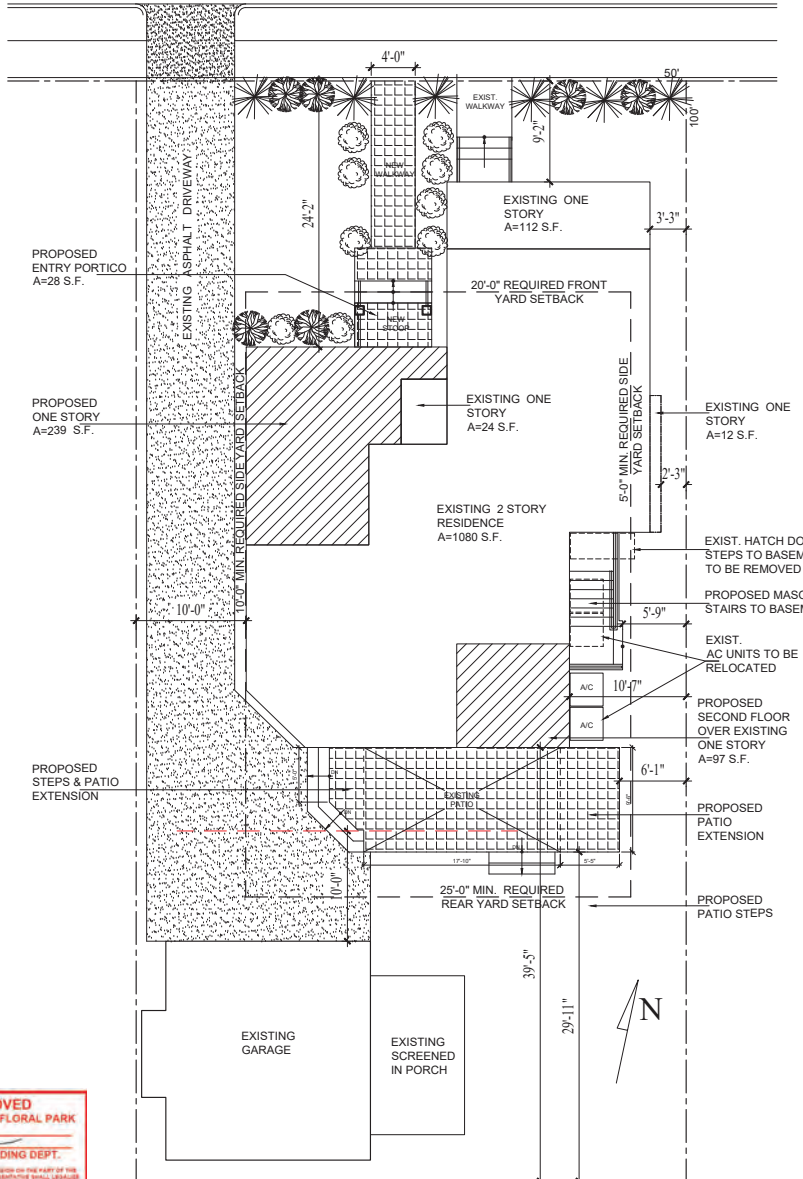
SMOKE & HEAT DETECTORS:
PROVIDE SMOKE DETECTORS, HARDWIRED W/ BATTERY BACK-UP & INTERCONNECTED IN:
1) ALL SLEEPING ROOMS
2) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF SLEEPING ROOMS.
3) ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENT & MECHANICAL ROOM.
AS PER SECTION R314 NYS RESIDENTIAL BLDG. CODE

CARBON MONOXIDE DETECTORS:
PROVIDE CARBON MONOXIDE DETECTORS OUTSIDE SLEEPING ROOMS & HABITABLE BASEMENT SPACES, MECHANICAL ROOM & ONE PER LANDING OF EACH STAIRWELL AS PER SECTION R315 NYS RESIDENTIAL BLDG. CODE

TABLE R301.2(1) CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING INDEX			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDOUS	AIR FREEZING INDEX	MEAN ANNUAL TEMPERATURE
	SPEED/MPH	DIR.		WEATHERING INDEX	FROST LINE DEPTH	TERMITES					
20 psf	120 mph	NO	B	SEVERE	3'-0"	MODERATE TO HEAVY	NASSAU: 13	YES	ZONE X	496	52.9

PREVIOUS SUBMISSION



SITE PLAN

SCALE:3/16"=1'-0"

SITE PLAN INFORMATION TAKEN FROM SURVEY DRAWN BY LIC. SURVEYOR JOHN P. FERRANTELO, DATED: 08-11-2006

OWNER AND GENERAL CONTRACTOR TO ENGAGE A LICENSED SURVEYOR TO STAKE OUT ALL NEW ADDITIONS PRIOR TO ANY NEW EXCAVATION AND FOUNDATION CONSTRUCTION FOR CONFORMANCE OF REQUIRED SETBACKS

DATE	REMARKS
2/28/22	A.R.B. SUBMISSION
03-22-22	A.R.B. APPROVED
04-22-22	SUBMIT FOR BLDG. PERMIT
05-11-22	REVISED AS PER PLAN EXAMINERS COMMENTS

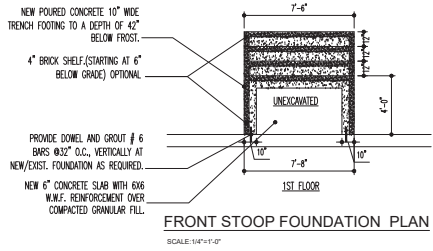
NERERI DESIGN GROUP
Consulting Structural Engineers
845.628.6889 neri@nereridesigngroup.com



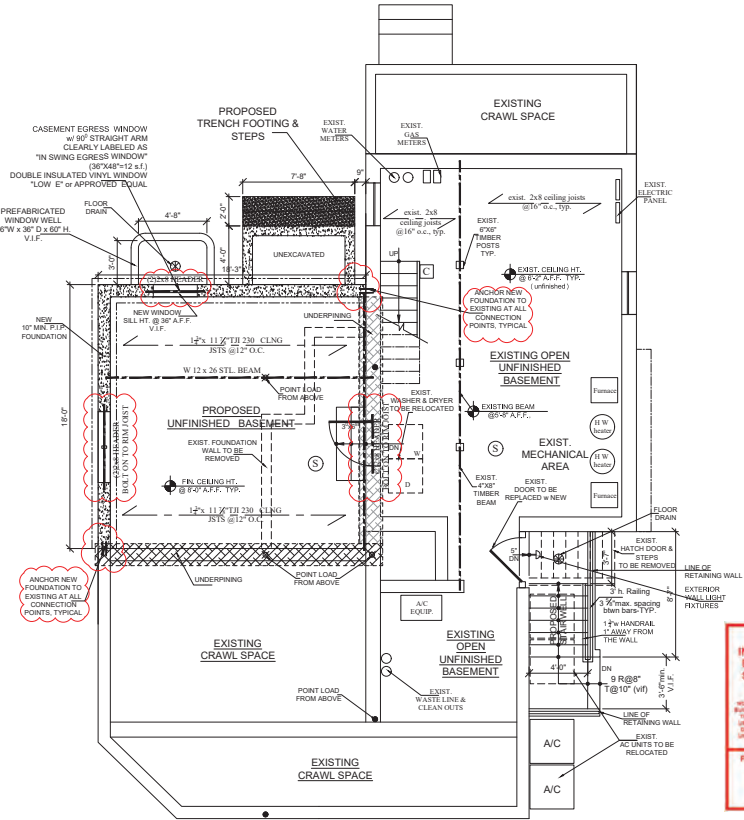
DEMETRIS DEMETRIOU R.A.
5 GERANIUM AVE. FLORAL PARK, NY 11001
914.671.9907
ddemarchitect@gmail.com

PEREZ RESIDENCE
214 CROCUS AVENUE, FLORAL PARK, NY 11001
ADDITIONS, RENOVATIONS

SECTION-32, BLOCK-160, LOT:865 & 866, ZONE: R-1
DATE: 02-24-2022
A-1



- LEGEND
- ☐ CARBON MONOXIDE DETECTOR
 - ⊙ SMOKE DETECTOR- HARD WIRED BATTERY BACK
 - V.I.F. VERIFY IN FIELD
 - ⊖ CENTER LINE
 - ⊖ EXHAUST FAN
 - ⊖ EQUIPMENT VENT



BASEMENT PLAN
SCALE: 1/4"=1'-0"

- ANY EXISTING CEILING FRAMING COMPROMISED BY MISC. WIRING & PIPES TO BE REINFORCED AND REFRAMED
- ARCHITECT TO BE CONSULTED AT ALL TIMES

WOOD HEADER SCHEDULE	
SPAN	HEADERS SIZE
UP TO 3'-0"	(2) 2 X 8
UP TO 4'-0"	(3) 2 X 10
UP TO 6'-0"	(3) 2 X 10
UP TO 8'-0"	(3) 10" LVL

NOTE: UNLESS OTHERWISE NOTED IN PLANS

APPROVED
INC. VILLAGE OF FLORAL PARK
DATE: 08-23-22
SIGNED: _____
SUPT. OF BUILDING DEPT.

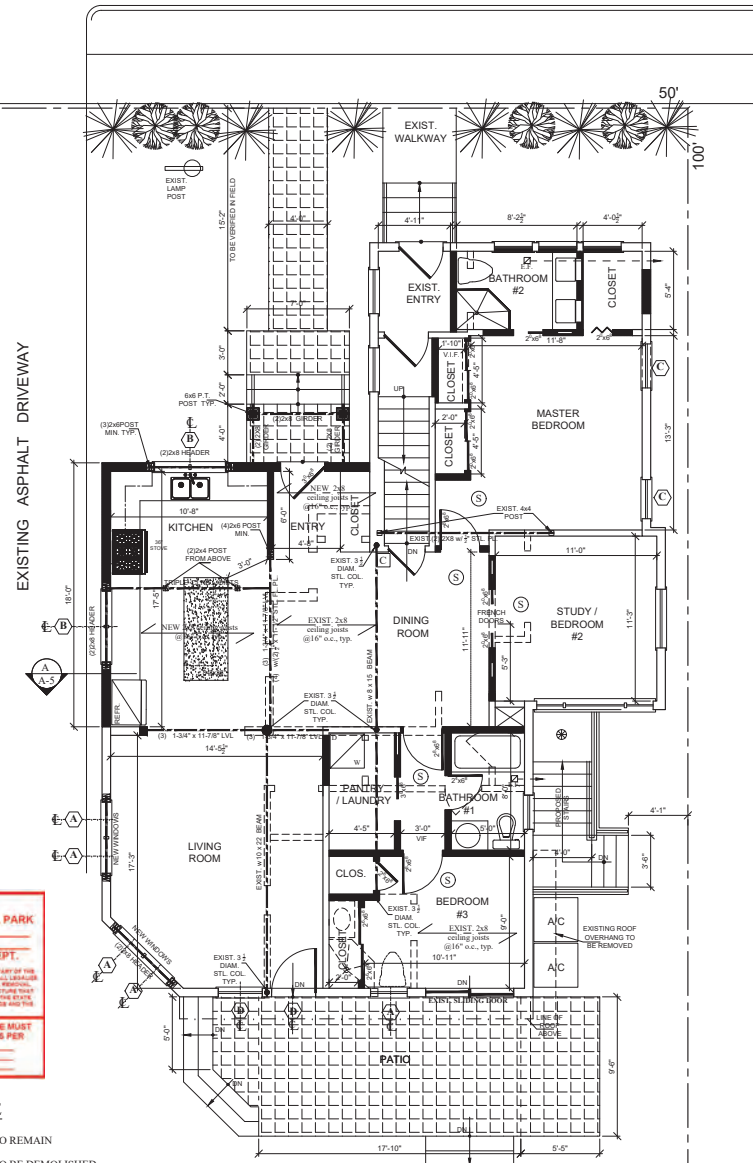
NO SUBSTITUTIONS OF MATERIALS OR THE USE OF THE WORD "APPROXIMATE" OR "APPROXIMATE" SHALL BE ALLOWED FOR ANY PORTION OF THIS PLAN. THE ARCHITECT ASSUMES RESPONSIBILITY FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS. ANY DIMENSIONS SHOWN ARE NOT INTENDED TO BE A SUBSTITUTE FOR THE ORIGINAL SET OF THIS PLAN AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

FINAL CONSTRUCTION AND USE MUST CONFORM TO CONDITIONS AS PER
ARB APPROVAL 08/23/22
SDA APPROVAL _____
BOT APPROVAL _____

WALL SCHEDULE

- EXISTING TO REMAIN
- - - EXISTING TO BE DEMOLISHED
- NEW FRAME WALL
- ▬ NEW FOUNDATION WALL

EXISTING ASPHALT DRIVEWAY



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

ARCHITECT TO BE CONSULTED AT ALL TIMES
AND WHEN EXISTING FRAMING IS EXPOSED

DATE	REMARKS
3-28-22	A.R.B. SUBMISSION
05-23-22	A.R.B. APPROVED
04-22-22	SUBMIT FOR BUILDING PERMIT
05-31-22	REVISED AS PER PLAN EXAMINER COMMENTS

NEMER DESIGN GROUP
Consulting Structural Engineers
845.623.0899 nemerdesigngroup@gmail.com



DEMETRIS DEMETRIOU R.A.
5 GERANUM AVE., FLORAL PARK, NY 11001
914.671.1907
ddemarchitect@gmail.com

Perez Residence
214 CROCUS AVENUE, FLORAL PARK, NY 11001
ADDITIONS, RENOVATIONS

SECTION: 32 - BLOCK: 160, LOT: 885 & 886, ZONE: R-1

DATE: 03-24-2022

A-2

PREVIOUS SUBMISSION

VENTILATION CALCULATIONS
SECTION R303.1

FIRST FLOOR

MASTER BEDROOM AREA = 167 SQ.FT.
167 SQ. FT. X 4% = 6.68 SQ. FT. REQUIRED WINDOW VENTILATION AREA PROVIDED: (2) 10.5 SQ.FT. = 21 SQ.FT.

BEDROOM #2 AREA = 124 SQ.FT.
124 SQ. FT. X 4% = 4.95 SQ. FT. REQUIRED WINDOW VENTILATION AREA PROVIDED: 6.6 + 16.28 + 15.2 SQ.FT. = 38.04 SQ.FT.

BEDROOM #3 AREA = 95 SQ.FT.
95 SQ. FT. X 4% = 3.8 SQ. FT. REQUIRED WINDOW VENTILATION AREA PROVIDED: 10 + 40 SQ.FT. = 50 SQ.FT.

SECOND FLOOR

BEDROOM #1 AREA = 155 SQ.FT.
155 SQ. FT. X 4% = 6.2 SQ. FT. REQUIRED WINDOW VENTILATION AREA PROVIDED: (3) 10 SQ.FT. = 30 SQ.FT.

BEDROOM #2 AREA = 93 SQ.FT.
93 SQ. FT. X 4% = 3.72 SQ. FT. REQUIRED WINDOW VENTILATION AREA PROVIDED: (2) 10 SQ.FT. = 20 SQ.FT.

BEDROOM #3 AREA = 85 SQ.FT.
85 SQ. FT. X 4% = 3.4 SQ. FT. REQUIRED WINDOW VENTILATION AREA PROVIDED: (2) 10 SQ.FT. = 20 SQ.FT.

LIGHTING CALCULATIONS
SECTION R303.1

MASTER BEDROOM AREA = 167 SQ.FT.
167 SQ. FT. X 8% = 13.36 SQ. FT. GLASS AREA REQUIRED WINDOW VENTILATION AREA PROVIDED: (2) 10.5 SQ.FT. = 21 SQ.FT.

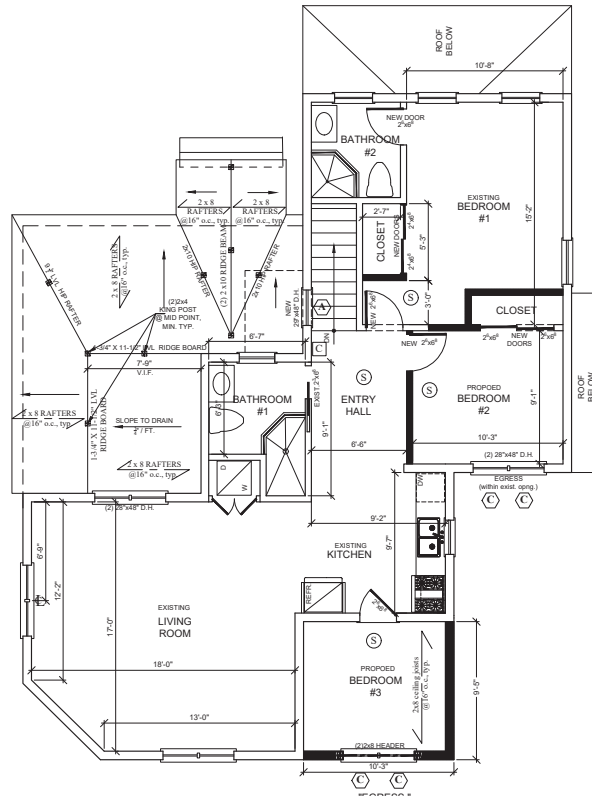
BEDROOM #2 AREA = 124 SQ.FT.
124 SQ. FT. X 8% = 9.92 SQ. FT. GLASS AREA REQUIRED WINDOW VENTILATION AREA PROVIDED: 6.6 + 16.28 + 15.2 SQ.FT. = 38.04 SQ.FT.

BEDROOM #3 AREA = 95 SQ.FT.
95 SQ. FT. X 8% = 7.6 SQ. FT. GLASS AREA REQUIRED WINDOW VENTILATION AREA PROVIDED: 10 + 40 SQ.FT. = 50 SQ.FT.

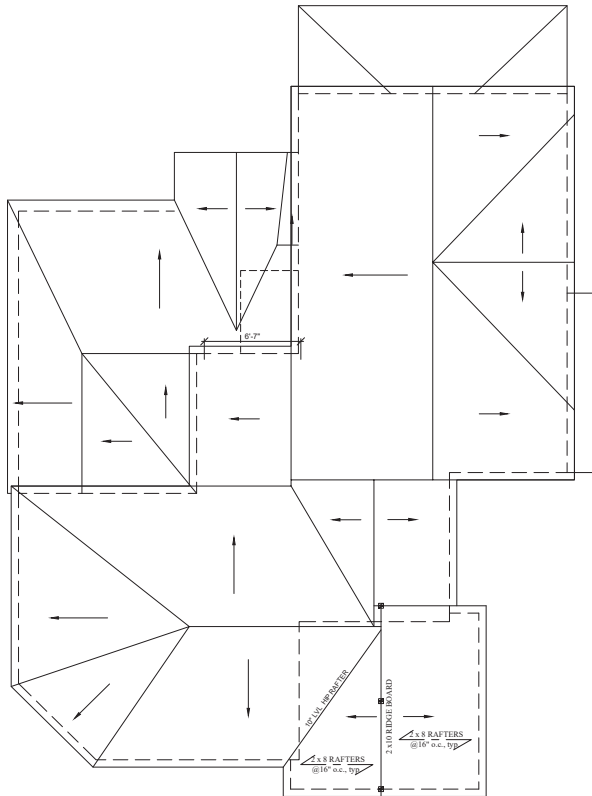
BEDROOM #1 AREA = 155 SQ.FT.
155 SQ. FT. X 8% = 12.4 SQ. FT. GLASS AREA REQUIRED WINDOW VENTILATION AREA PROVIDED: (3) 11.4 SQ.FT. = 34.2 SQ.FT.

BEDROOM #2 AREA = 93 SQ.FT.
93 SQ. FT. X 8% = 7.44 SQ. FT. GLASS AREA REQUIRED WINDOW VENTILATION AREA PROVIDED: (2) 10 SQ.FT. = 20 SQ.FT.

BEDROOM #3 AREA = 85 SQ.FT.
85 SQ. FT. X 8% = 6.8 SQ. FT. GLASS AREA REQUIRED WINDOW VENTILATION AREA PROVIDED: (2) 10 SQ.FT. = 20 SQ.FT.



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

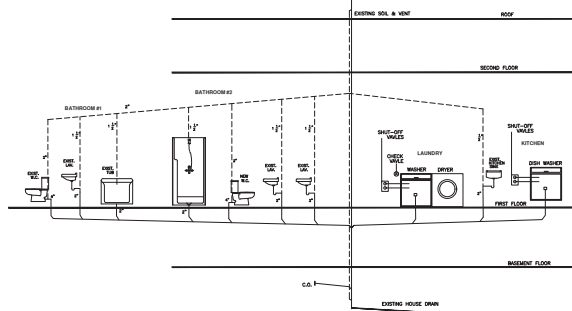


ROOF PLAN
SCALE: 1/4"=1'-0"

STRUCTURAL NOTE:
ARCHITECT AND STRUCTURAL ENGINEER TO REVIEW EXISTING FRAMING AFTER IS EXPOSED AND VERIFY PROPOSED FRAMING

STRUCTURAL NOTE:
ALL KING POSTS IN ATTIC TO BEAR ON DOUBLE JOISTS UNLESS OTHERWISE NOTED

FLASHING NOTE:
PROVIDE ALUM. FLASHING AT ALL PENETRATION THROUGH ROOF AND WALLS AS REQUIRED



PLUMBING RISER DIAGRAM
SCALE: 3/16"=1'-0"
FIRST FLOOR ONLY

- LEGEND**
- C CARBON MONOXIDE DETECTOR
 - S SMOKE DETECTOR - HARD WIRED BATTERY BACK
 - V.I.F. VERIFY IN FIELD
 - CL CENTER LINE
 - EF EXHAUST FAN
 - EV V. EQUIPMENT VENT

WALL SCHEDULE

---	EXISTING TO REMAIN
- - - -	EXISTING TO BE DEMOLISHED
---	NEW FRAME WALL
---	NEW FOUNDATION WALL

WOOD HEADER SCHEDULE

SPAN	HEADER SIZE
UP TO 3'-0"	C2 X 8
UP TO 4'-0"	C2 X 10
UP TO 6'-0"	C3 X 10
UP TO 8'-0"	C3 10' LVL

NOTE: UNLESS OTHERWISE NOTED IN PLANS

PREVIOUS SUBMISSION

APPROVED
INC. VILLAGE OF FLORAL PARK
DATE: 08/25/24
SIGNED: [Signature]
SUPT. OF BUILDING DEPT.

ALL SYSTEMS SHALL BE INSTALLED ON THE BASIS OF THIS PERMIT AND SUBJECT TO THE REQUIREMENTS OF THE VILLAGE OF FLORAL PARK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

FINAL CONSTRUCTION AND USE MUST CONFORM TO CONDITIONS AS PER AIA APPROVAL 08/25/24
BZA APPROVAL
BOT APPROVAL

DATE	REMARKS
2-28-22	A.R.B. SUBMISSION
03-23-22	A.R.B. APPROVED
04-22-22	SUBMIT FOR BLDG PERMIT
05-31-22	REVISD AS PER PLAN EXAMINER COMMENTS

NEMER DESIGN GROUP
Consulting Structural Engineers
845.62.6089 nrd@nemergroup.com



DEMETRIS DEMETRIOU R.A.
5 GERANIUM AVE., FLORAL PARK, NY 11001
914.671.9907
ddemarchitect@gmail.com

PEREZ RESIDENCE
214 CROCUS AVENUE, FLORAL PARK, NY 11001
ADDITIONS, RENOVATIONS

SECTION:302, BLOCK:160, LOT:965 & 866, ZONE: R-1

DATE: 02-24-2022
A-3

DATE	REMARKS
2-28-22	A.R.B. SUBMISSION
03-23-22	A.R.B. APPROVED
04-22-22	SUBMIT FOR BLDG. PERMIT
05-31-22	REVISED AS PER PLAN EXAMINER COMMENTS

NEMERI DESIGN GROUP
 Consulting Structural Engineers
 845.626.6888 nat@nemeriengineering.com



DEMETRIS DEMETRIOU R.A.
 5 GERARDUM AVE., FLORAL PARK, NY 11001
 914.671.9907
ddemarchitect@gmail.com

PEREZ RESIDENCE
 214 CROCUS AVENUE, FLORAL PARK, NY 11001
ADDITIONS, RENOVATIONS
 SECTION#32, BLOCK#160, LOT#885 & 886, ZONE: R-1

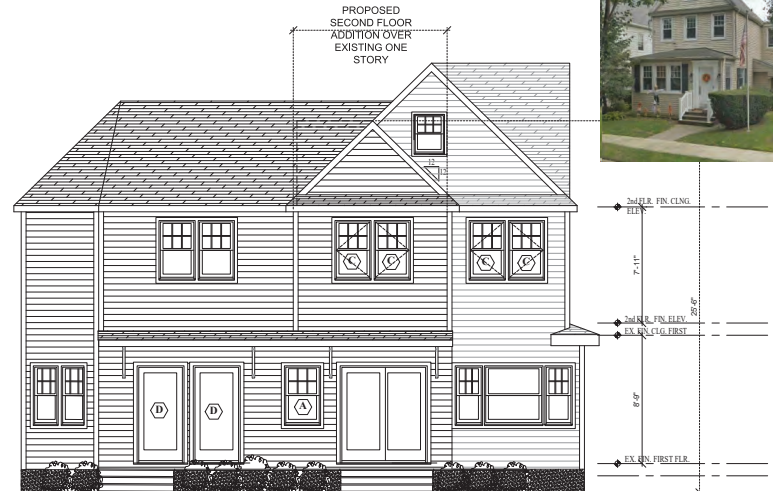
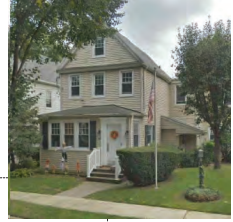
DATE: 02-24-2022
A-4



FRONT ELEVATION
 SCALE: 1/4"=1'-0"



RIGHT ELEVATION (DRIVEWAY)
 SCALE: 1/4"=1'-0"



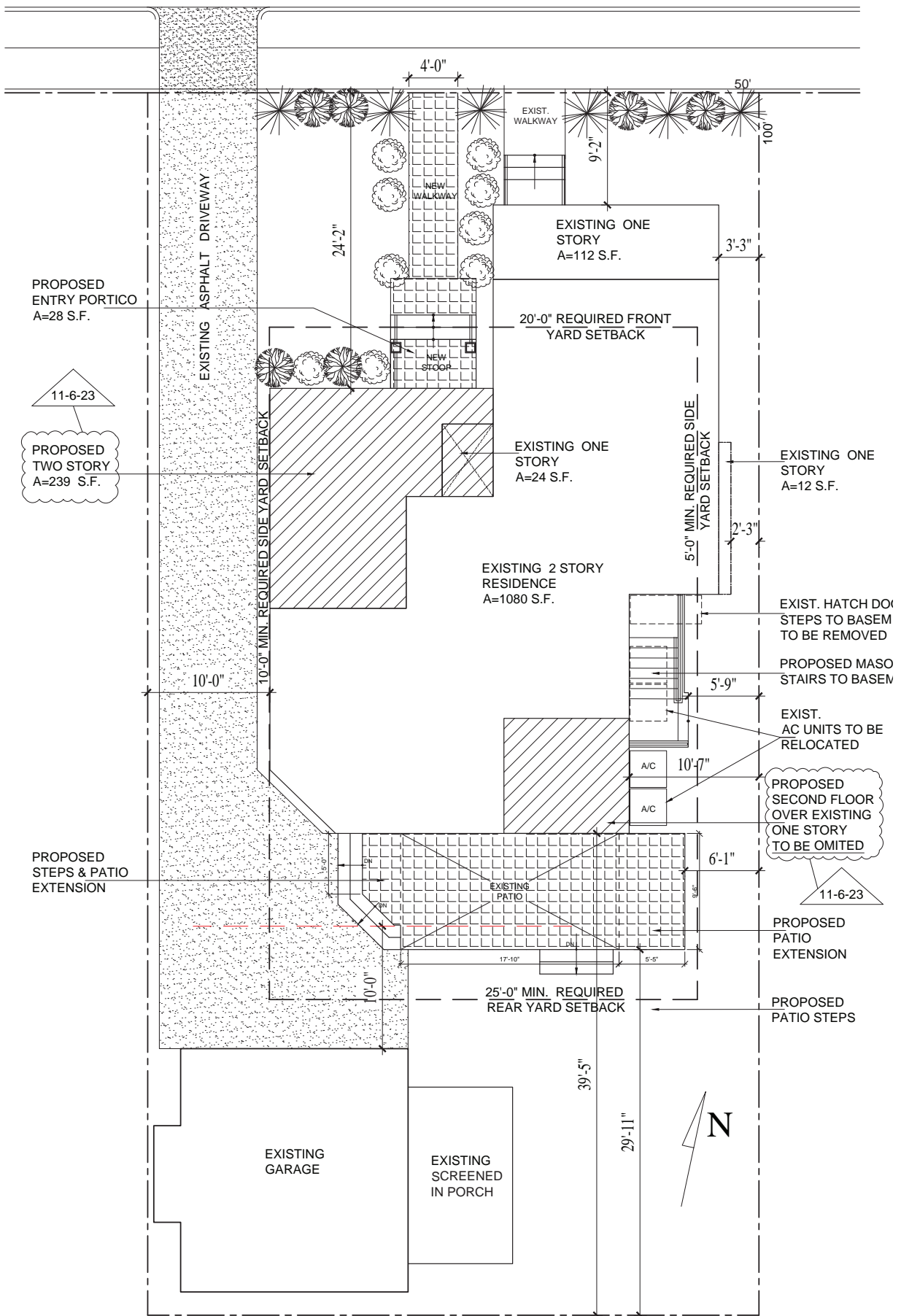
REAR ELEVATION
 SCALE: 1/4"=1'-0"



LEFT ELEVATION
 SCALE: 1/4"=1'-0"

PREVIOUS SUBMISSION

APPROVED
 INC. VILLAGE OF FLORAL PARK
 DATE: 02-24-22
 SIGNED: _____
 SUPT. OF BUILDING DEPT.
NO GUARANTEE IS MADE OR IMPLIED ON THE PART OF THE BUILDING DEPARTMENT OR REPRESENTATIVE BUILDING DEPARTMENT OFFICIALS FOR EXISTING CONDITIONS OR STRUCTURE, USE OR OCCUPANCY OF A BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO THE PROVISIONS OF THE STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE VILLAGE ORDINANCES.
 FINAL CONSTRUCTION AND USE MUST CONFORM TO CONDITIONS AS PER:
 A.R.B. APPROVAL _____ 02/23/22
 SZA APPROVAL _____
 SDT APPROVAL _____

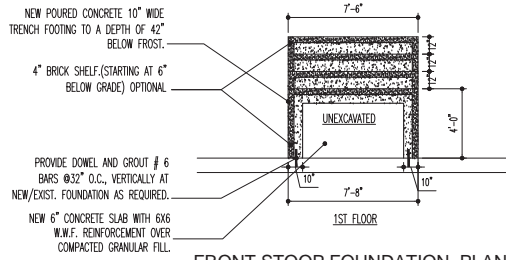


SITE PLAN

SCALE: 3/16" = 1'-0"

CURRENT

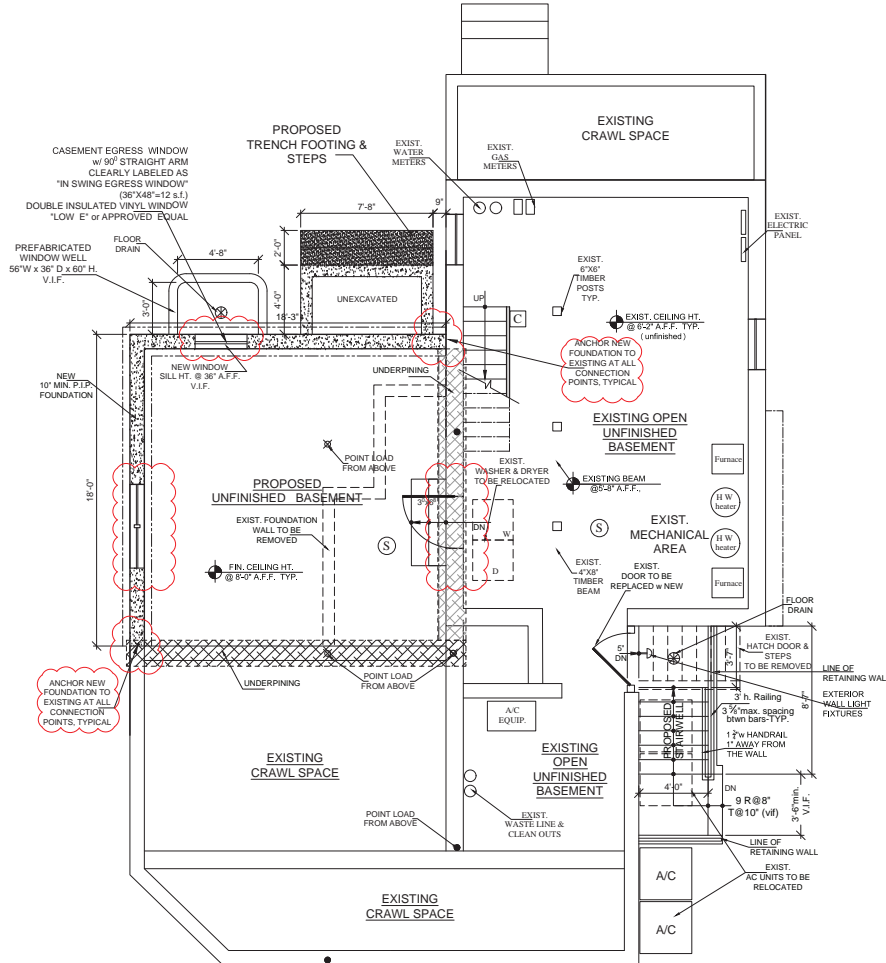
SURVEYOR TO STAKE OUT ALL NEW ADDITIONS PRIOR TO ANY NEW EXCAVATION AND FOUNDATION CONSTRUCTION FOR CONFORMANCE OF REQUIRED SETBACKS



FRONT STOOP FOUNDATION PLAN

SCALE: 1/4"=1'-0"

- LEGEND**
- [C] CARBON MONOXIDE DETECTOR
 - [S] SMOKE DETECTOR - HARD WIRED BATTERY BACK
 - V.I.F. VERIFY IN FIELD
 - CL CENTER LINE
 - [EF] EXHAUST FAN
 - [EV] EQUIPMENT VENT



BASEMENT PLAN

SCALE: 1/4"=1'-0"

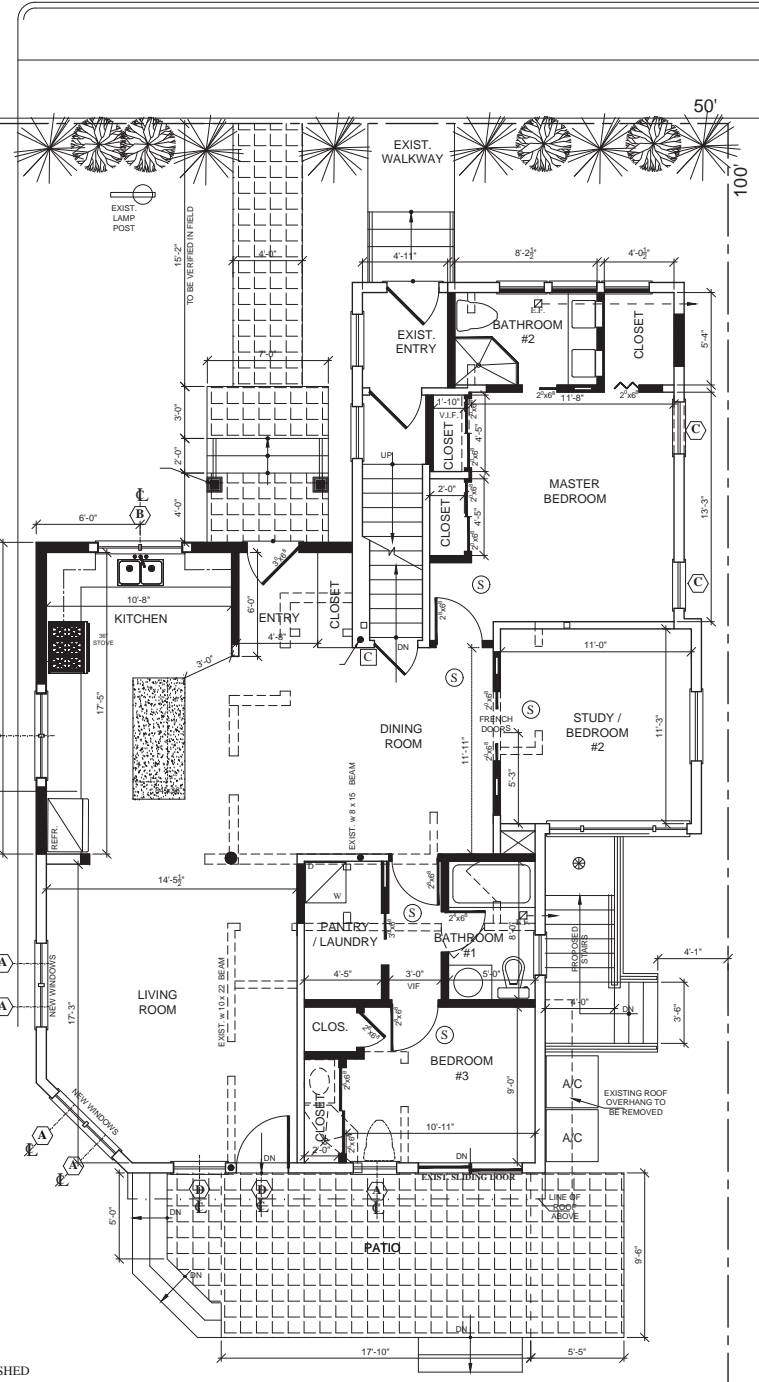
- ANY EXISTING CEILING FRAMING COMPROMISED BY MISC. WIRING & PIPES TO BE REINFORCED AND REFRAMED
- ARCHITECT TO BE CONSULTED AT ALL TIMES

WOOD HEADER SCHEDULE	
SPAN	HEADER SIZE
UP TO 3'-0"	(2) 2 X 6
UP TO 4'-0"	(2) 2 X 10
UP TO 6'-0"	(3) 2 X 10
UP TO 8'-0"	(3) 10" LVL

NOTE:
UNLESS OTHERWISE NOTED DN PLANS

WALL SCHEDULE

- _____ EXISTING TO REMAIN
- - - - - EXISTING TO BE DEMOLISHED
- NEW FRAME WALL
- _____-____- NEW FOUNDATION WALL



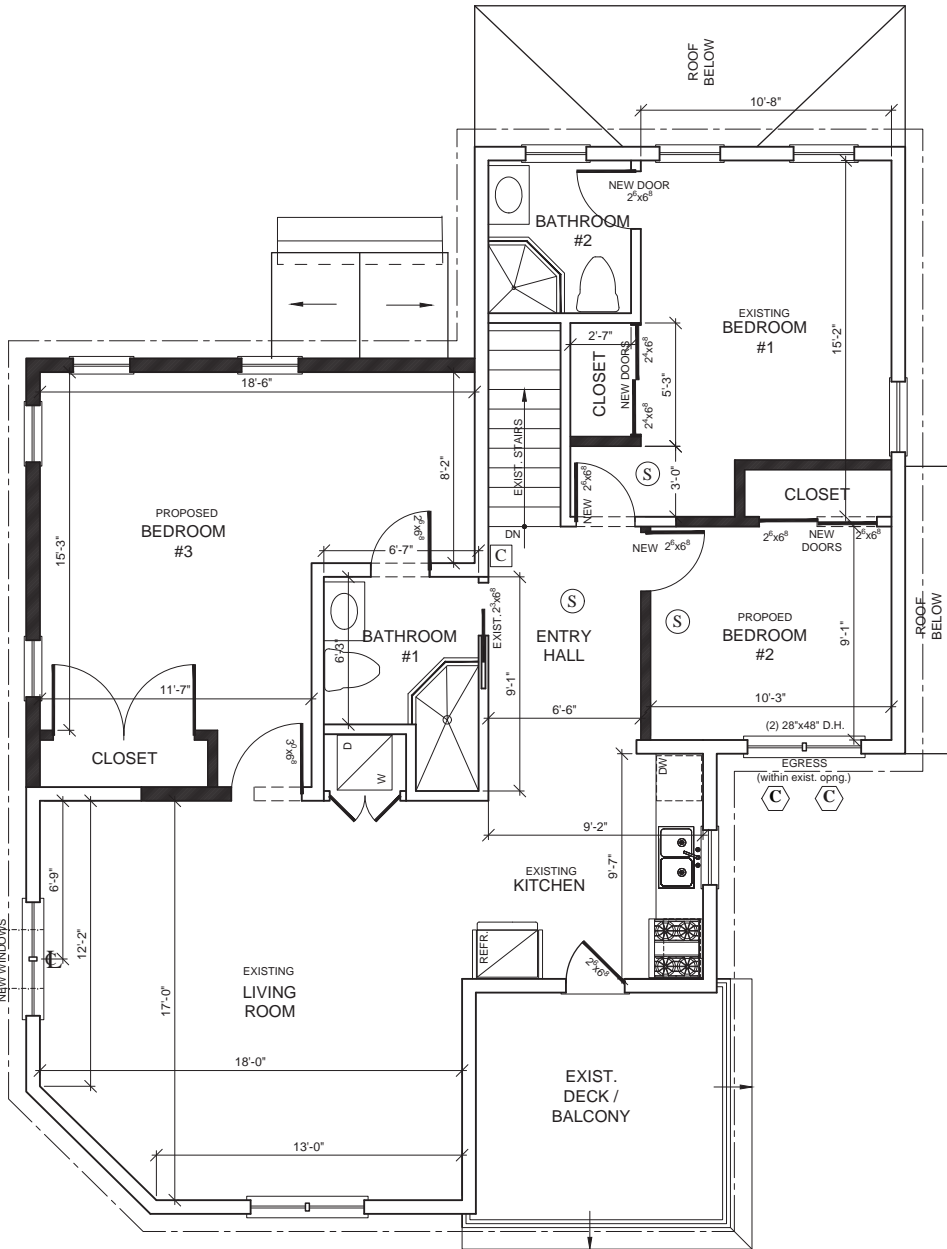
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

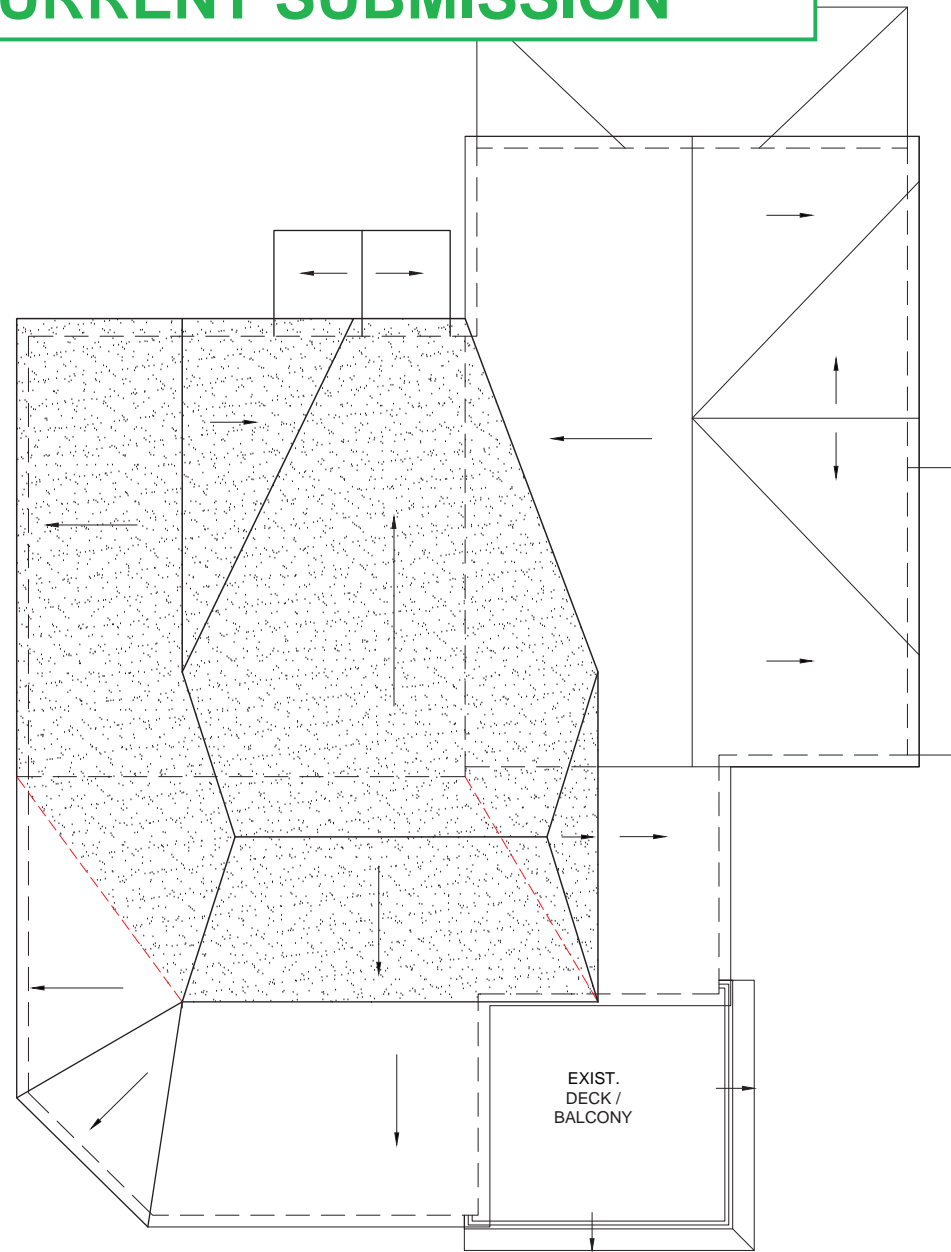
ARCHITECT TO BE CONSULTED AT ALL TIMES
AND WHEN EXISTING FRAMING IS EXPOSED

CURRENT SUBMISSION

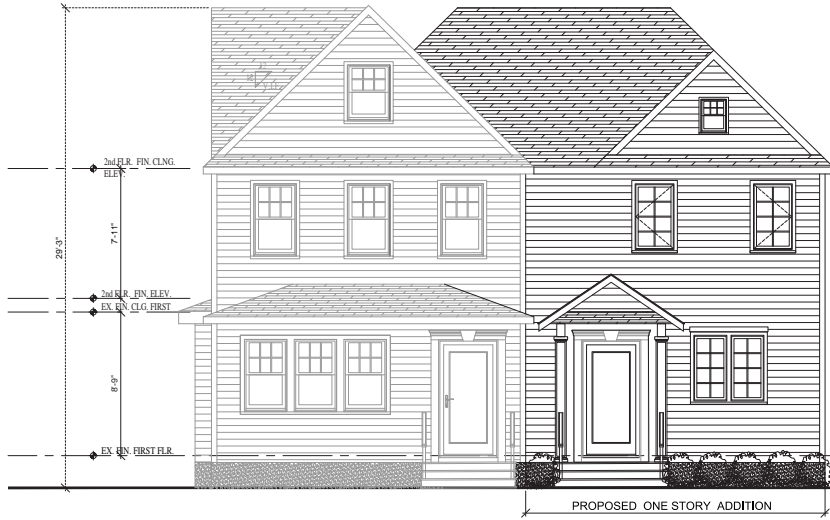
CURRENT SUBMISSION



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"



FRONT ELEVATION

SCALE: 1/4"=1'-0"



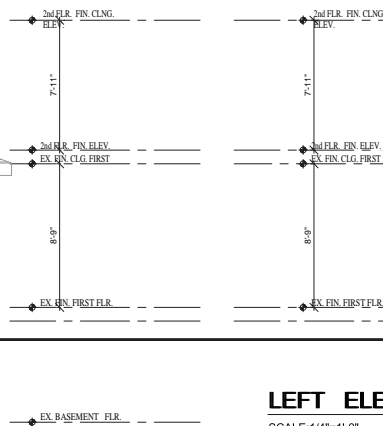
RIGHT ELEVATION (DRIVEWAY)

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

CURRENT SUBMISSION



VINYL WINDOWS- by JELD-WEN or equal
COLOR : WHITE TO MATCH EXISTING

TRIM, FACIA'S ,EXTERIOR MOLDINGS AND
COLUMNS VENEERED W/
by AZEK or equal
COLOR : WHITE TO MATCH EXISTING



ARCH'L ASPHALT SHINGLES- by GAF
COLOR : OYSTER GRAY TO MATCH EXISTING



VINYL RAILING by "VERANDA" or equal
COLOR WHITE TO MATCH EXISTING



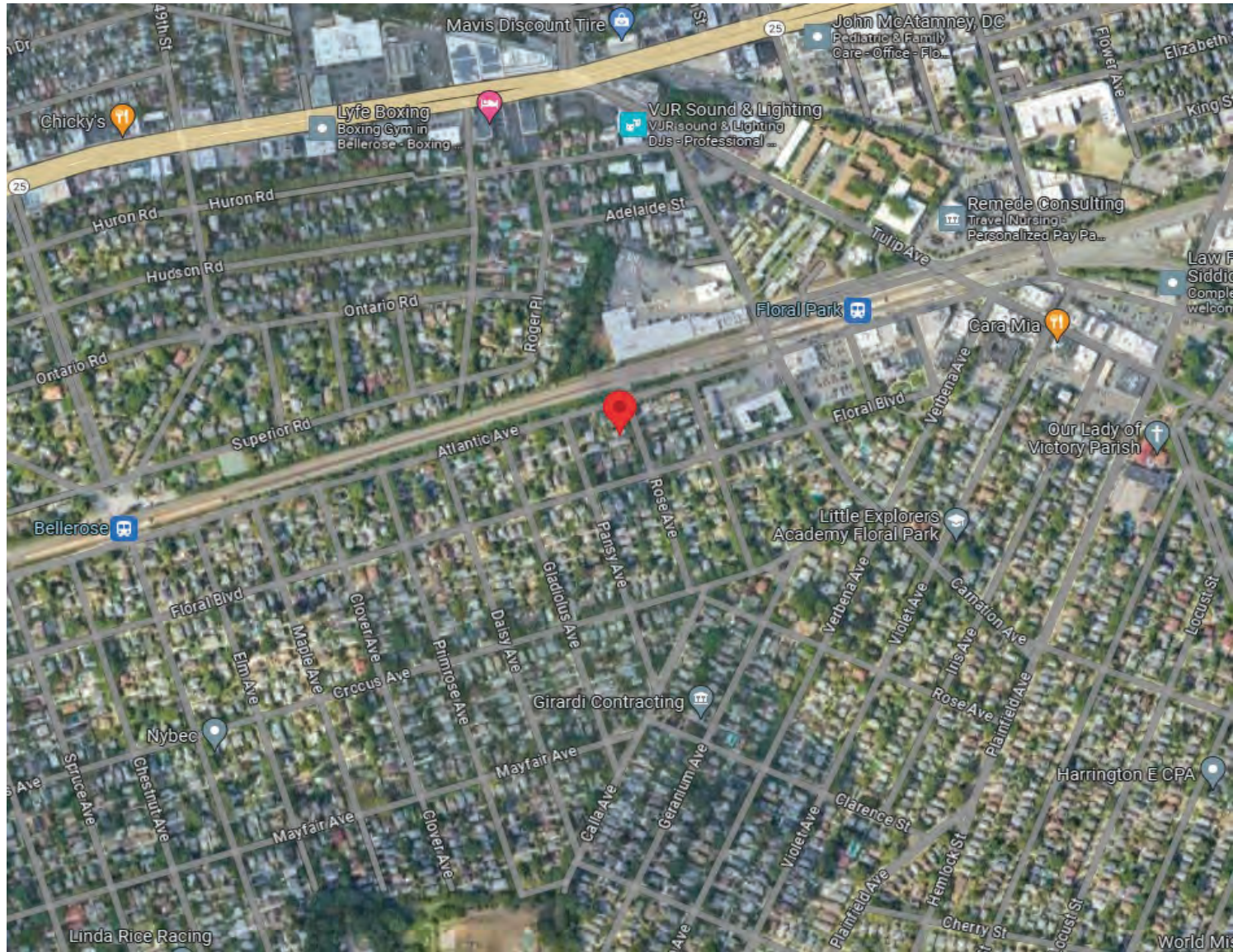
VINYL SIDING
COLOR BEIGE TO MATCH EXISTING

214 CROCUS AVENUE

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
3	8:10 p.m.	8	Rose Avenue	New Garage	John Gorman	Demetris Demetriou, RA



8 Rose Avenue (Aerial View)





DRIVEWAY VIEW - RIGHT SIDE NEIGHBOR



FRONT &
RIGHT VIEW

GORMAN RESIDENCE
8 ROSE AVE., FLORAL PARK, NY 11001

EXISTING GARAGE TO BE DEMOLISHED
AND REPLACED w/ NEW

DATE: 11-03-2023



FRONT & LEFT VIEW

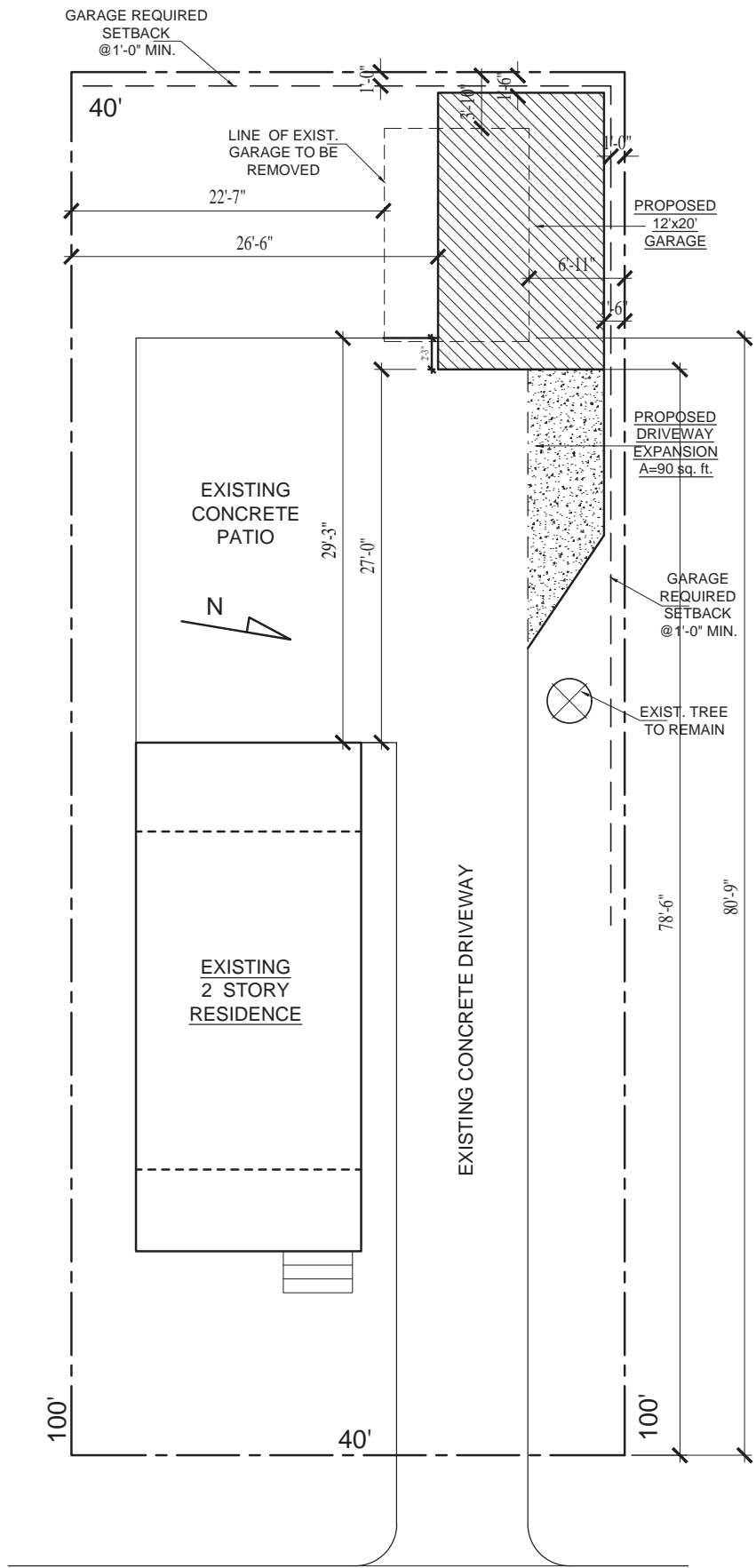


LEFT & REAR VIEW

GORMAN RESIDENCE
8 ROSE AVE., FLORAL PARK, NY 11001

EXISTING GARAGE TO BE DEMOLISHED
AND REPLACED w/ NEW

DATE: 11-03-2023

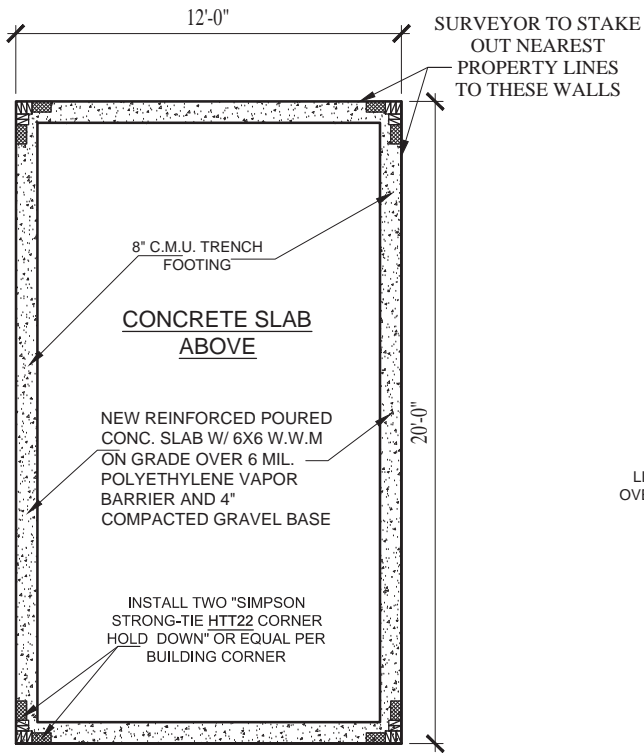


ROSE AVENUE

SITE PLAN

SCALE: $\frac{1}{8}'' = 1'-0''$

NOTE: SITE PLAN INFORMATION TAKEN FROM SURVEY DRAWN by LIC. SURVEYOR ROBERT FRIEDEL, DATED: 5-14-1960



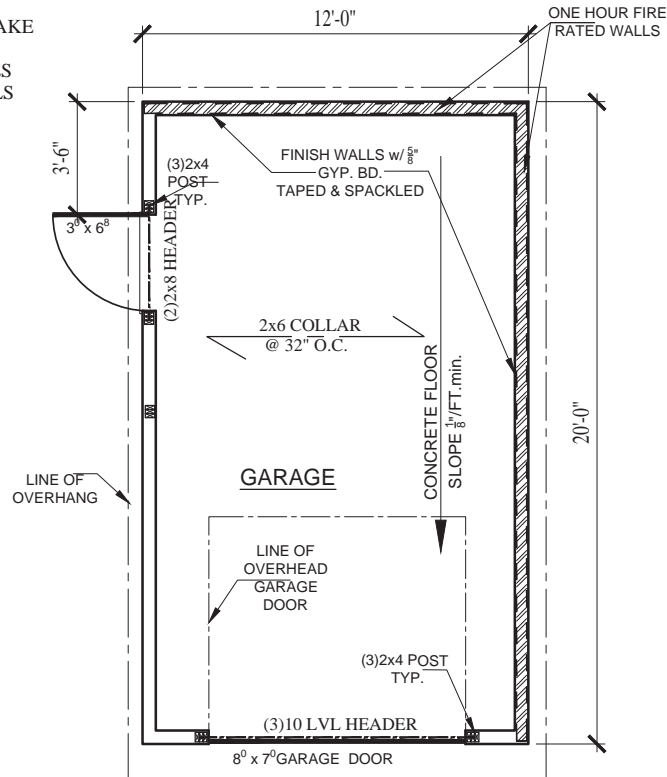
FOUNDATION PLAN

SCALE: 1/4"=1'-0"

WALL SCHEDULE

===== NEW FRAME WALL

----- NEW P.I.P. TRENCH FOOTING

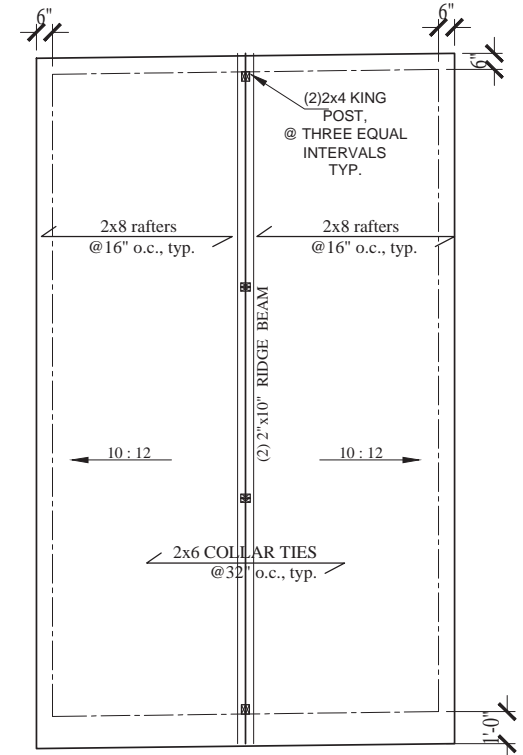


GARAGE FLOOR PLAN

SCALE: 1/4"=1'-0"

ALL FRAMING LUMBER TO BE:

- #1 GRADE "DOUGLAS FIR SPECIES
- PROVIDE HORIZONTAL BLOCKING FOR WALL HUNG SHELVES

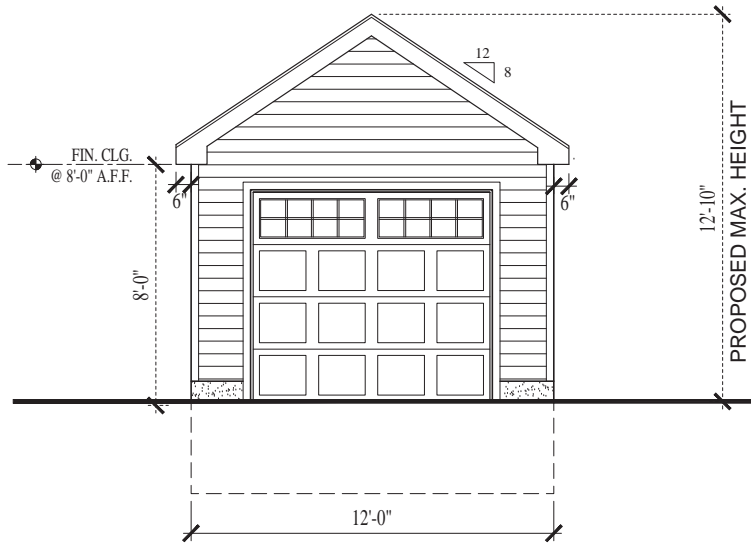


GARAGE FLOOR PLAN

SCALE: 1/4"=1'-0"

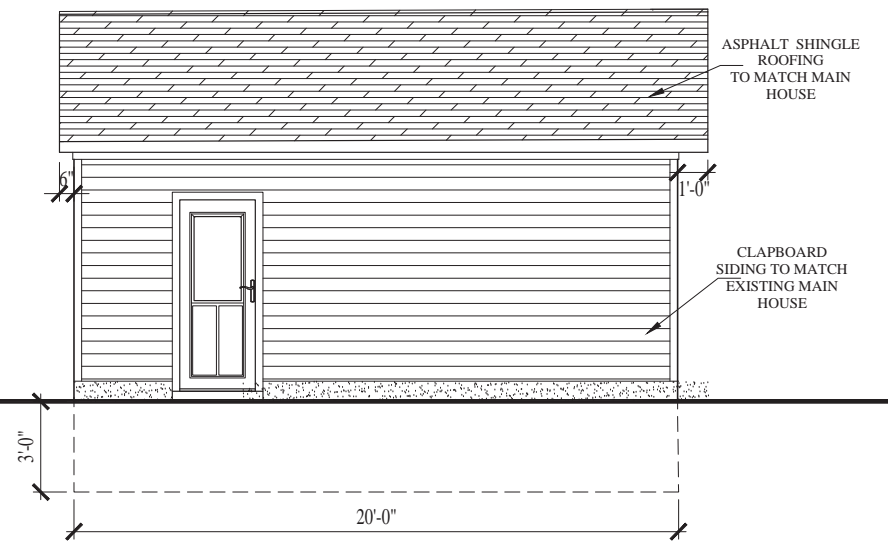
STRUCTURAL NOTE: ALL KING POSTS IN ATTIC TO BEAR ON DOUBLE JOISTS

FLASHING NOTE: PROVIDE ALUM. FLASHING AT ALL PENETRATION THROUGH ROOF AND WALLS AS REQUIRED



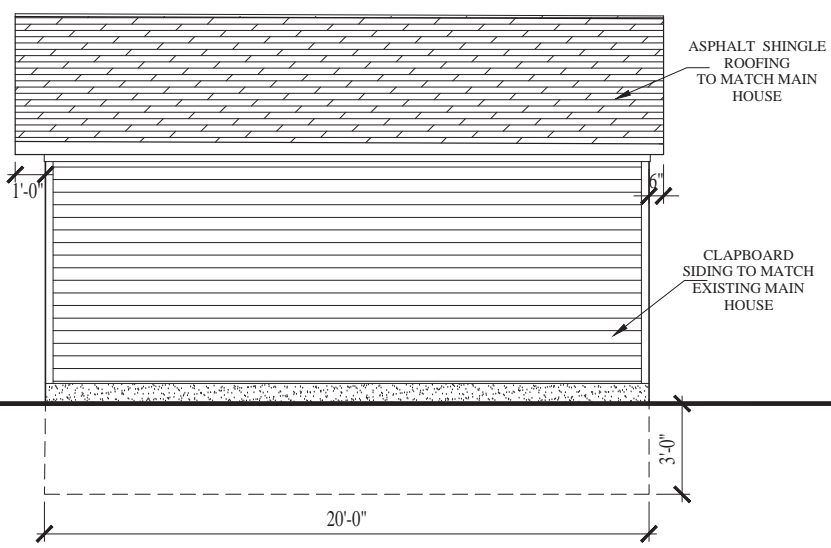
FRONT "E" ELEVATION

SCALE: 1/4"=1'-0"



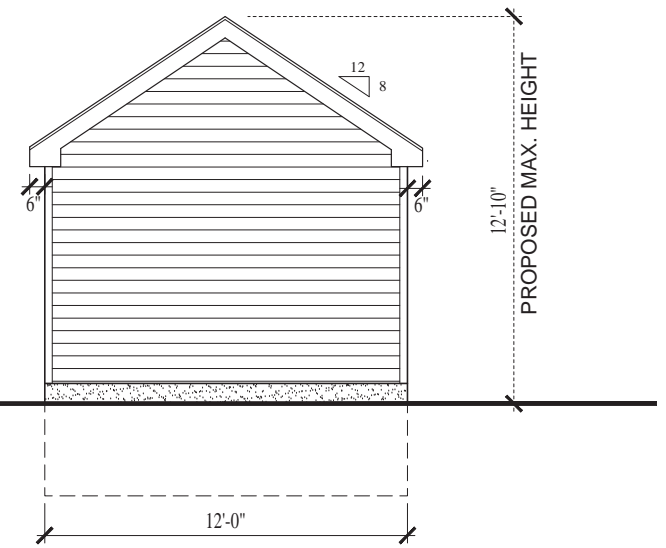
LEFT SIDE "S" ELEVATION

SCALE: 1/4"=1'-0"



RIGHT SIDE "N" ELEVATION

SCALE: 1/4"=1'-0"



REAR "W" ELEVATION

SCALE: 1/4"=1'-0"



GALLERY COLLECTION GARAGE DOOR

by "CLOPAY"

Color : WHITE



FASCIA & TRIM by "Azek"
color: WHITE to match exist'g.



VINYL SIDING by
"GEORGIA PACIFIC"

COLOR: HAMPTON RED



ROOFING : "TIMBELINE
20-YEAR

color: CHARCOAL

3-TAB SHINGLES

GORMAN RESIDENCE

8 ROSE AVE., FLORAL PARK, NY 11001

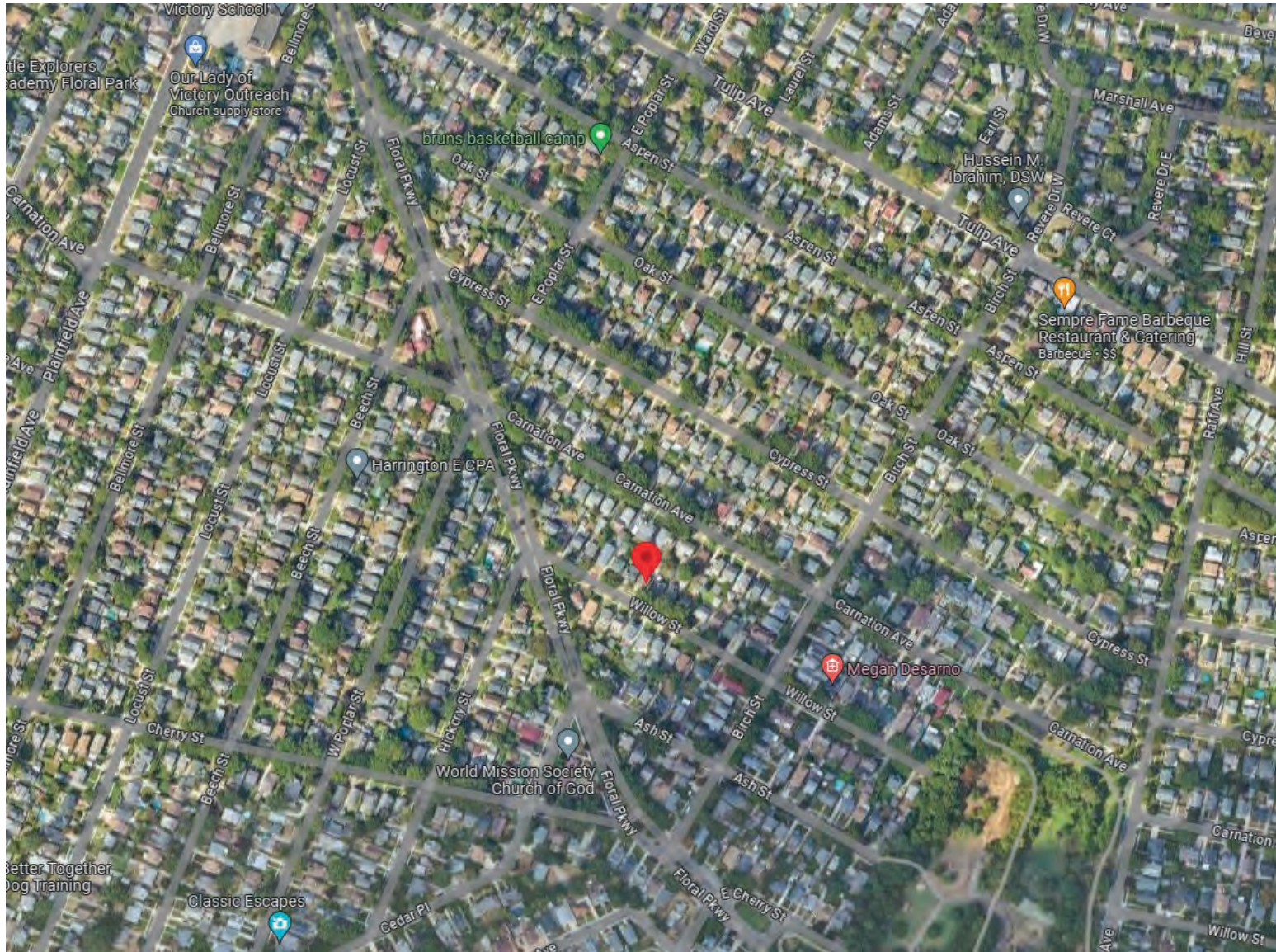
MATERIAL

DATE: 11-03-2023

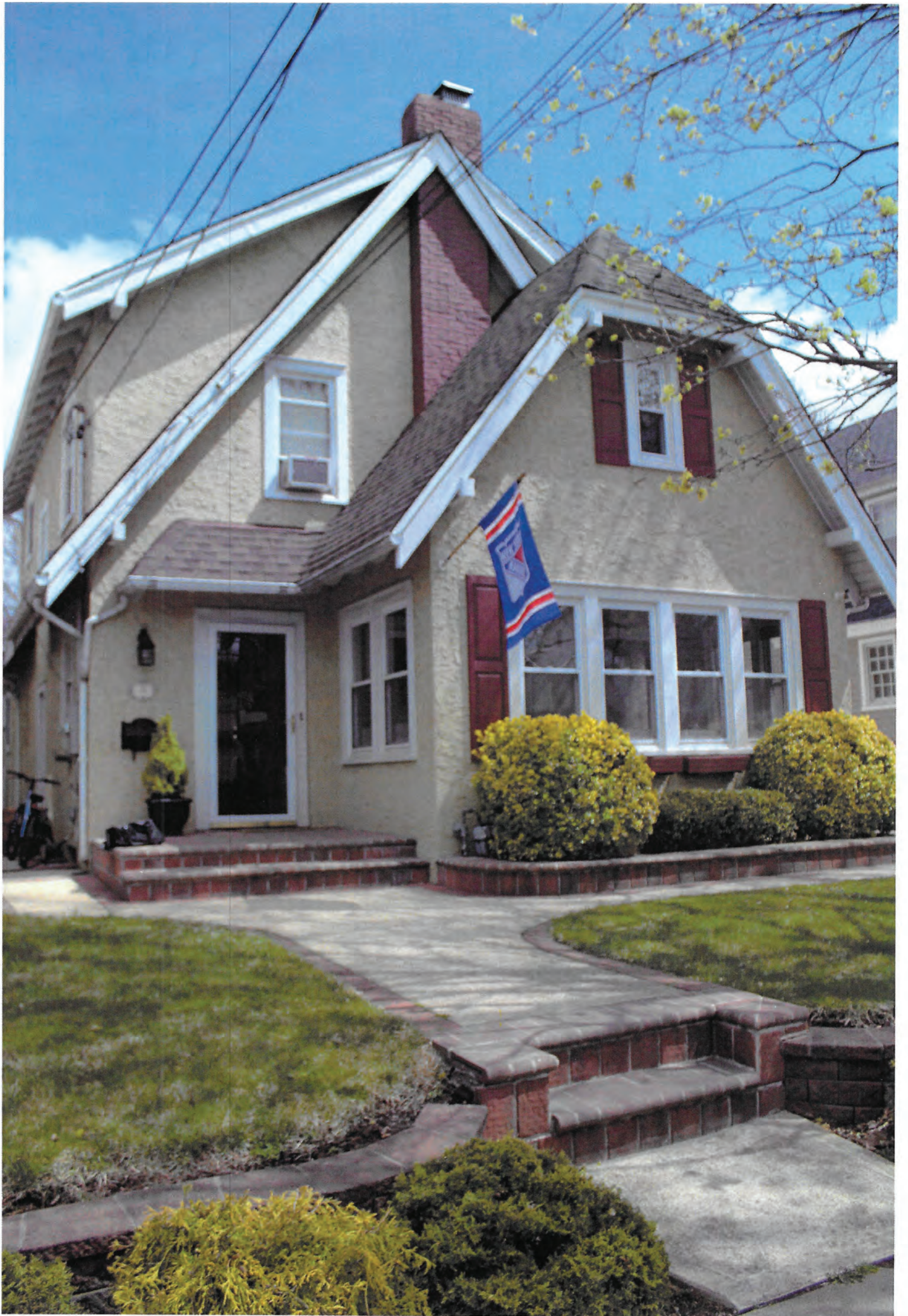
Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
4	8:15 p.m.	25	Willow Street	Front Entry/Mudroom	Patrick Murphy	Christopher Dowdell



25 Willow Street (Aerial View)

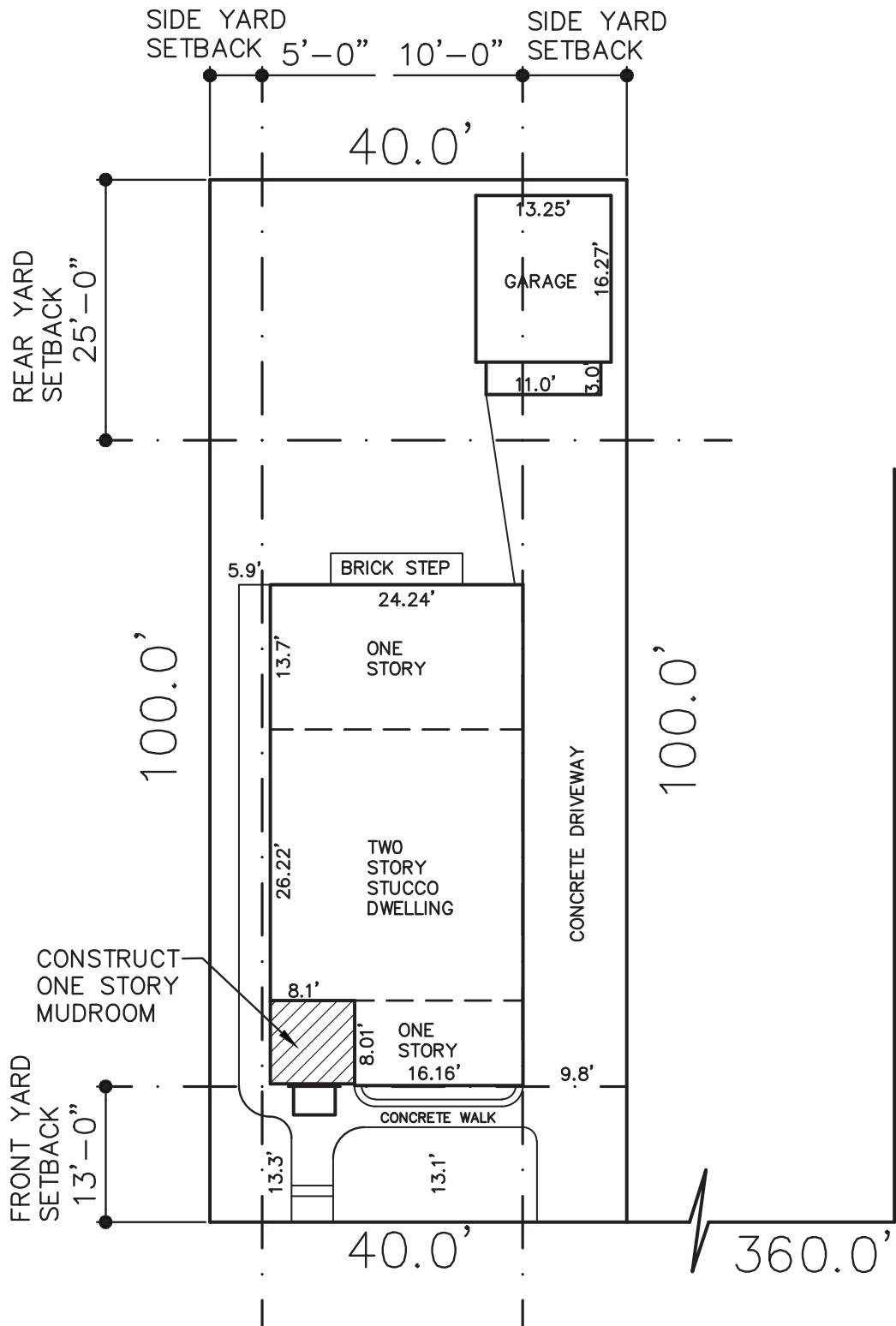












BIRCH STREET

WILLOW STREET

SITE PLAN

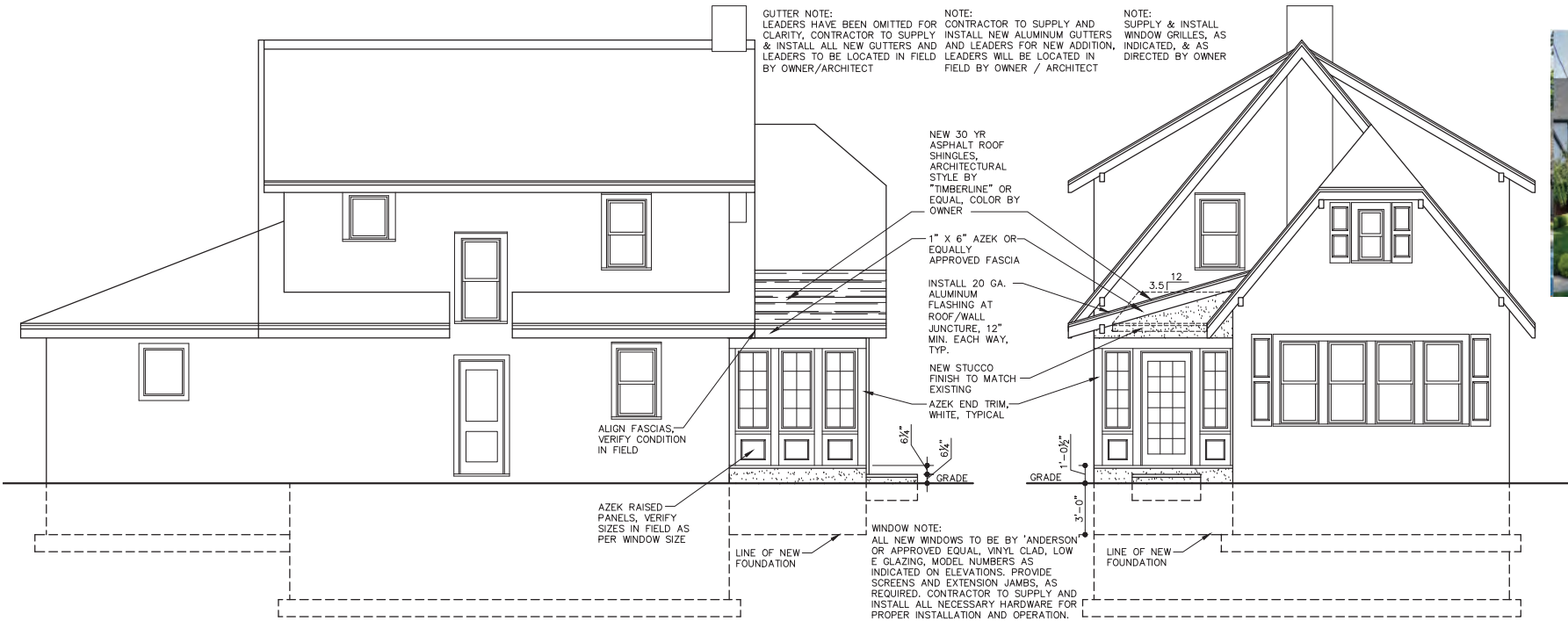
NORTH

SCALE: 1" = 20'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

SOUTH ELEVATION

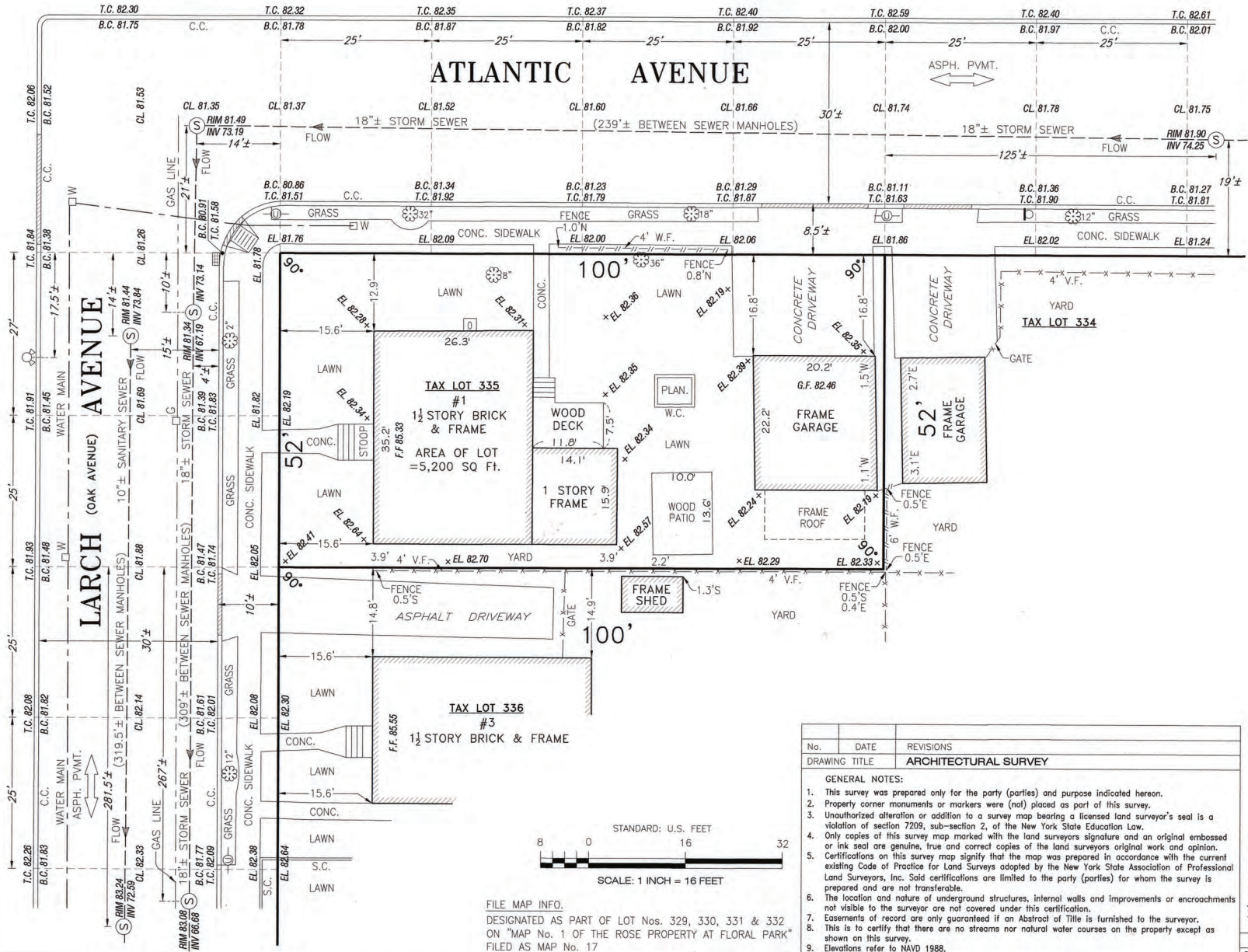
SCALE: 1/4" = 1'-0"

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
5	8:20 p.m.	1	Larch Avenue	Second Story Addition	Sahiba Sobti	Edward Hicks, RA



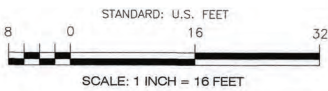
1 Larch Avenue (Aerial View)





LEGEND

T.C.	TOP OF CURB
B.C.	BOTTOM OF CURB
CL	CENTERLINE
EL.	SPOT ELEVATIONS
F.F.	FIRST FLOOR
G.F.	GARAGE FLOOR
S.C.	STONE CURB
C.C.	CONCRETE CURB
W.F.	WOOD FENCE
V.F.	VINYL FENCE
PLAN.	PLANTER
CONC.	CONCRETE
W.C.	WOOD CURB
S	SEWER MANHOLE
H	HYDRANT
W	WATER VALVE
G	GAS VALVE
CURB CUT	CURB CUT
UTILITY POLE	UTILITY POLE
TREE & SIZE	TREE & SIZE
PEDESTRIAN RAMP	PEDESTRIAN RAMP
STREET SIGN	STREET SIGN
CATCH BASIN	CATCH BASIN



FILE MAP INFO.
 DESIGNATED AS PART OF LOT Nos. 329, 330, 331 & 332
 ON "MAP No. 1 OF THE ROSE PROPERTY AT FLORAL PARK"
 FILED AS MAP No. 17

No.	DATE	REVISIONS
DRAWING TITLE		ARCHITECTURAL SURVEY
GENERAL NOTES:		
1.	This survey was prepared only for the party (parties) and purpose indicated hereon.	
2.	Property corner monuments or markers were (not) placed as part of this survey.	
3.	Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-section 2, of the New York State Education Law.	
4.	Only copies of this survey map marked with the land surveyors signature and an original embossed or ink seal are genuine, true and correct copies of the land surveyors original work and opinion.	
5.	Certifications on this survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. Said certifications are limited to the party (parties) for whom the survey is prepared and are not transferable.	
6.	The location and nature of underground structures, internal walls and improvements or encroachments not visible to the surveyor are not covered under this certification.	
7.	Easements of record are only guaranteed if an Abstract of Title is furnished to the surveyor.	
8.	This is to certify that there are no streams nor natural water courses on the property except as shown on this survey.	
9.	Elevations refer to NAVD 1988.	

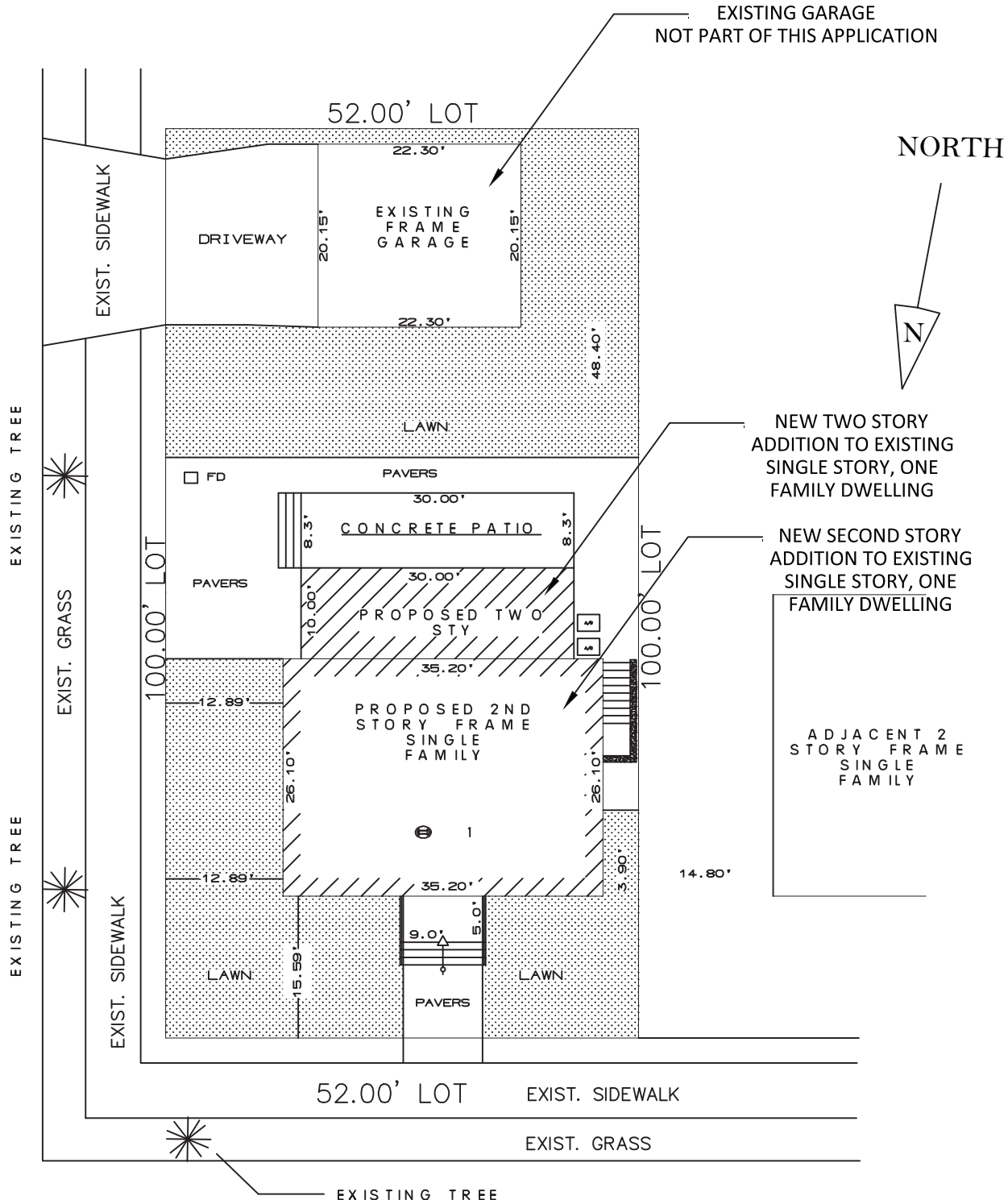
MAP OF SURVEY OF PROPERTY
 IN THE INCORPORATED VILLAGE OF FLORAL PARK
 TOWN OF HEMPSTEAD
 COUNTY OF NASSAU
 STATE OF NEW YORK
 TAX MAP: SECTION 32, BLOCK 139, LOT 335

Michael Khelawan
LAND SURVEYING, P.C.
 MICHAEL KHELAWAN, P.L.S.
 NEW YORK LICENSE No. 051153
 114-54 121st STREET, SOUTH OZONE PARK, NY 11420 ©
 T: (347) 924 6823; EMAIL: mklandsurveying@gmail.com

SURVEYED	DATE	BY	DRAWN	DATE	BY
	08-23-23	MK & DK		08-25-23	MK

ATLANTIC AVENUE

(80.00' WIDE)

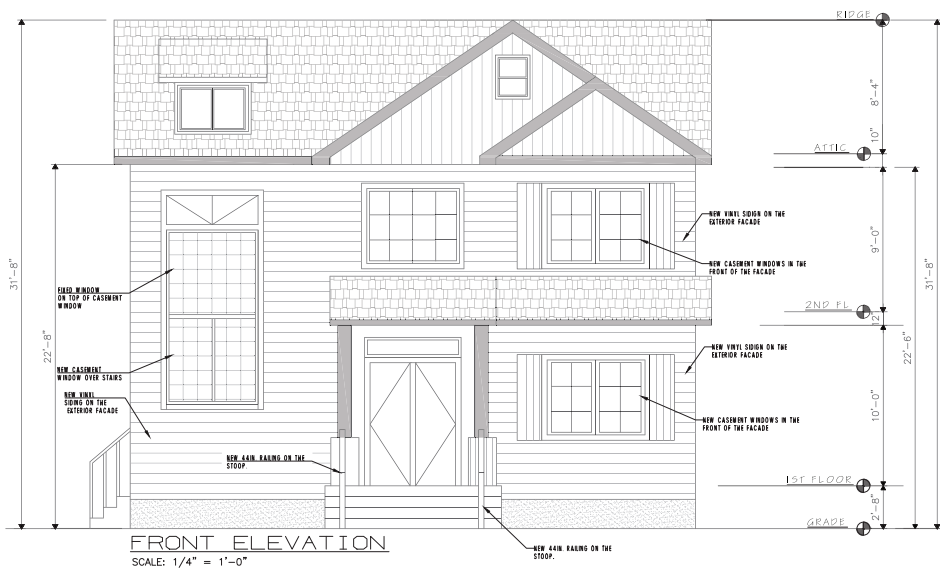


LARCH AVENUE

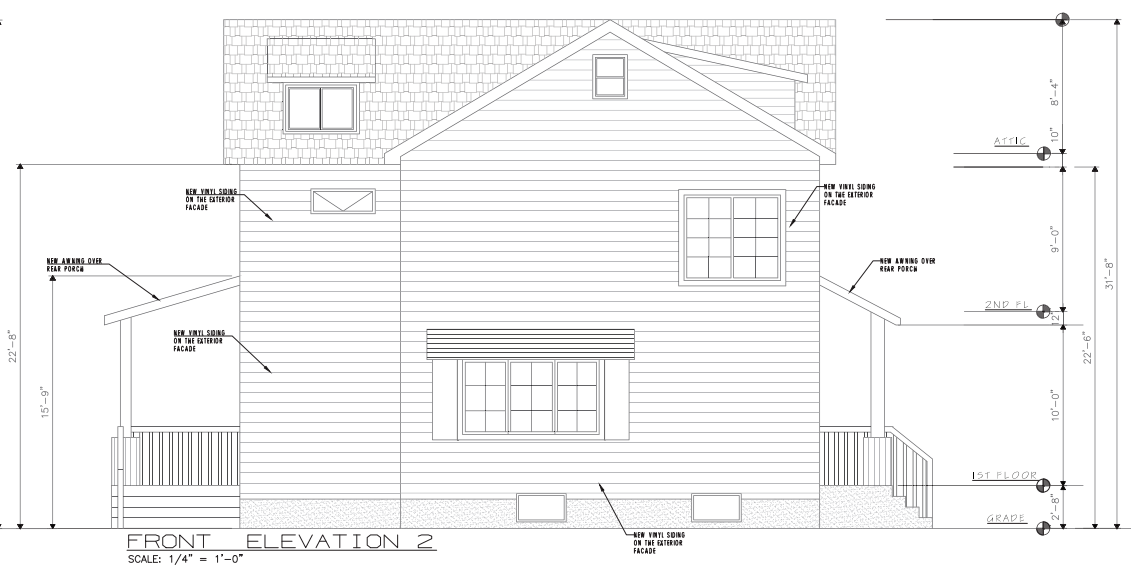
(60.00' WIDE)

SITE PLAN

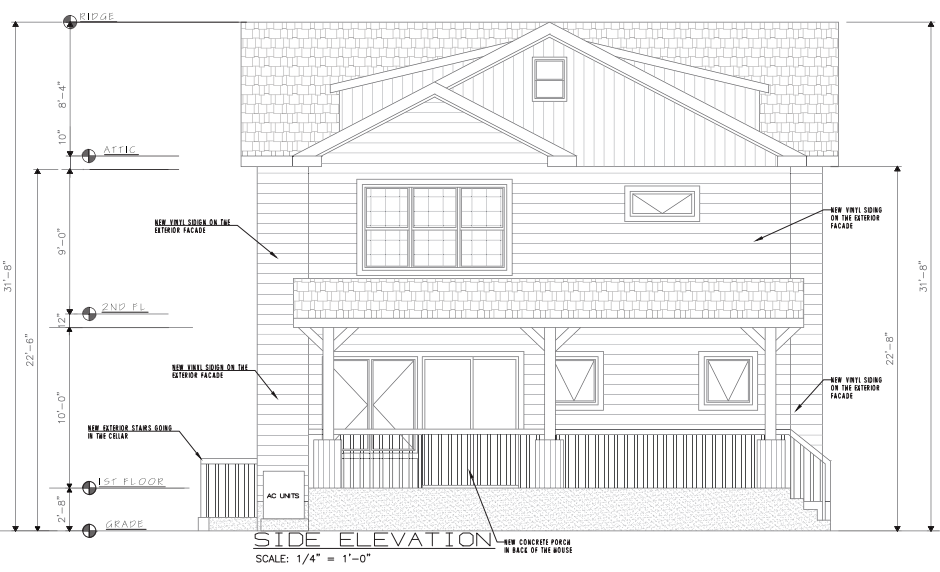
SCALE: 3/32" = 1'-0"



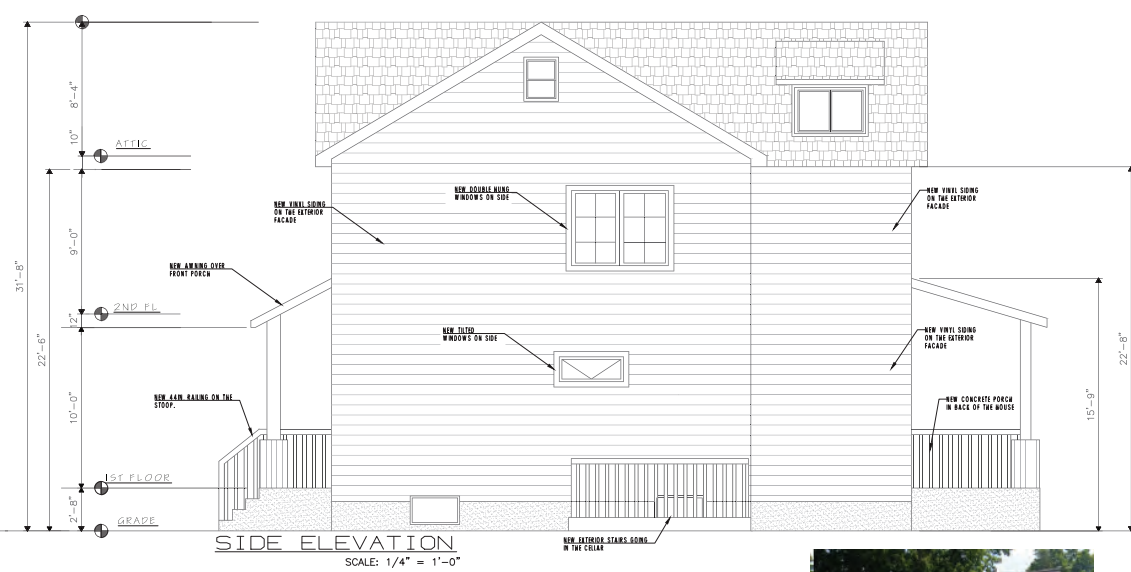
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 2
SCALE: 1/4" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"

WINDOW NOTES:

* OWNER TO APPROVE ALL NEW WINDOW SIZES AND STYLES PRIOR TO ORDER. OWNER NOT TO ALTER EGRESS WINDOWS AND OR DECREASES WINDOW SIZES ONLY INCREASE PERMITTED

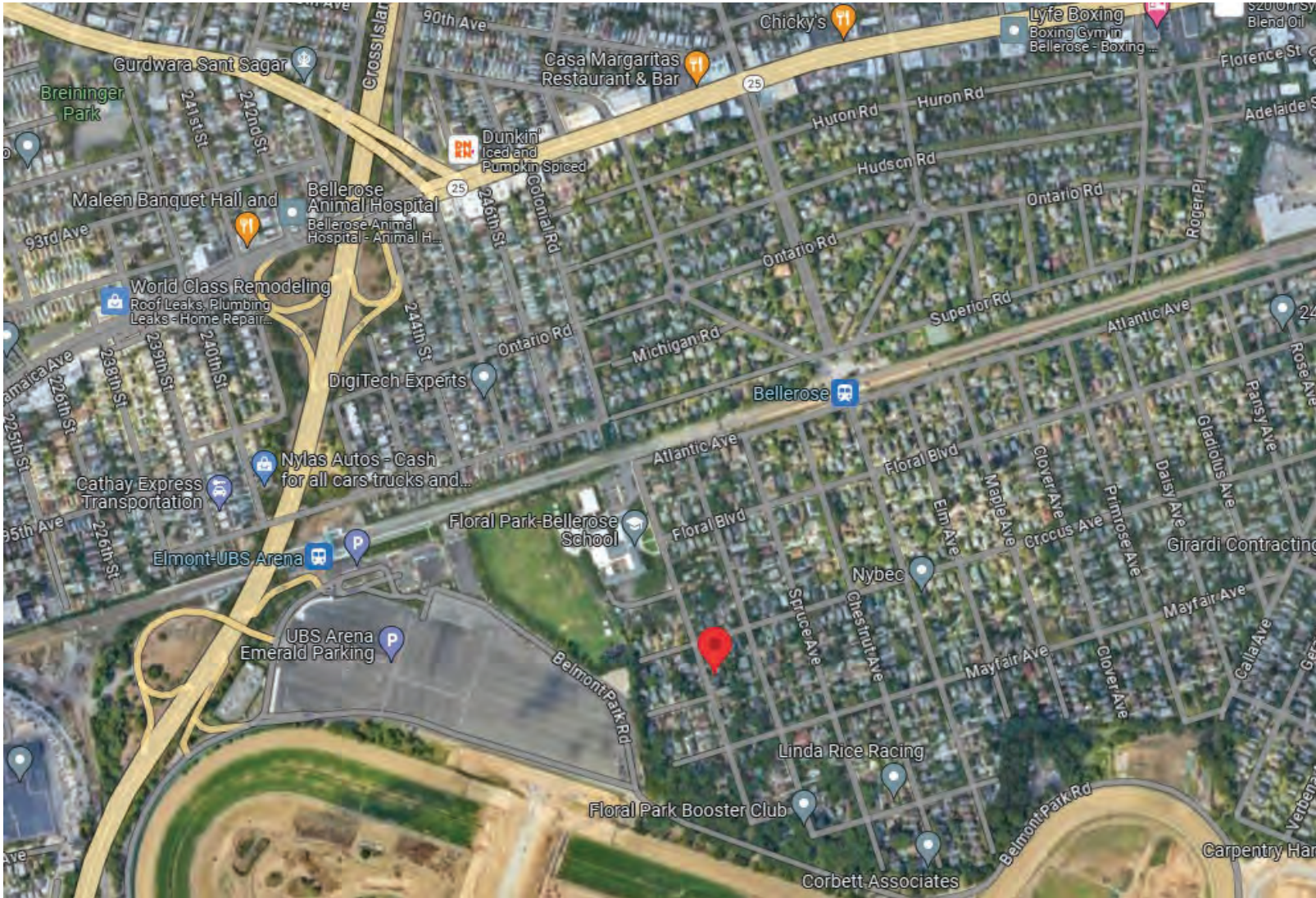
ALL WINDOWS SHALL HAVE INSULATING GLASS, OR SINGLE GLASS WITH STORM WINDOWS OR EQUAL. ANY SIZES INDICATED ON PLANS ARE NOMINAL ONLY. BUILDER/CONTRACTOR THE SHALL CONSULT WITH THE WINDOW MANUFACTURER TO DETERMINE EXACT SIZE, ROUGH OPENING, ETC. AT LEAST ONE WINDOW FROM EACH BEDROOM SHALL HAVE A NET CLEAR OPENING OF 5.7 S.F (GRADE FLOOR 5.0 S.F) W/ A NET HEIGHT OF 24", A NET CLEAR OPENING OF 20" AND A SILL HEIGHT OF 44" OR LESS ABOVE THE FLOOR FOR EGRESS PURPOSES. GLAZING IN DOORS AND FIXED GLAZED PANELS IMMEDIATELY ADJACENT TO DOORS OR WITH-IN 18" OF THE FLOOR SHALL BE TEMPERED GLAZING AS PER IBC, BOCA AND CABO AND STATE AND LOCAL CODES AND ORDINANCES



Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
6	8:25 p.m.	43	Larch Avenue	Resubmittal Exterior Alterations	James Agoglia	Gustavo Munoz, PC

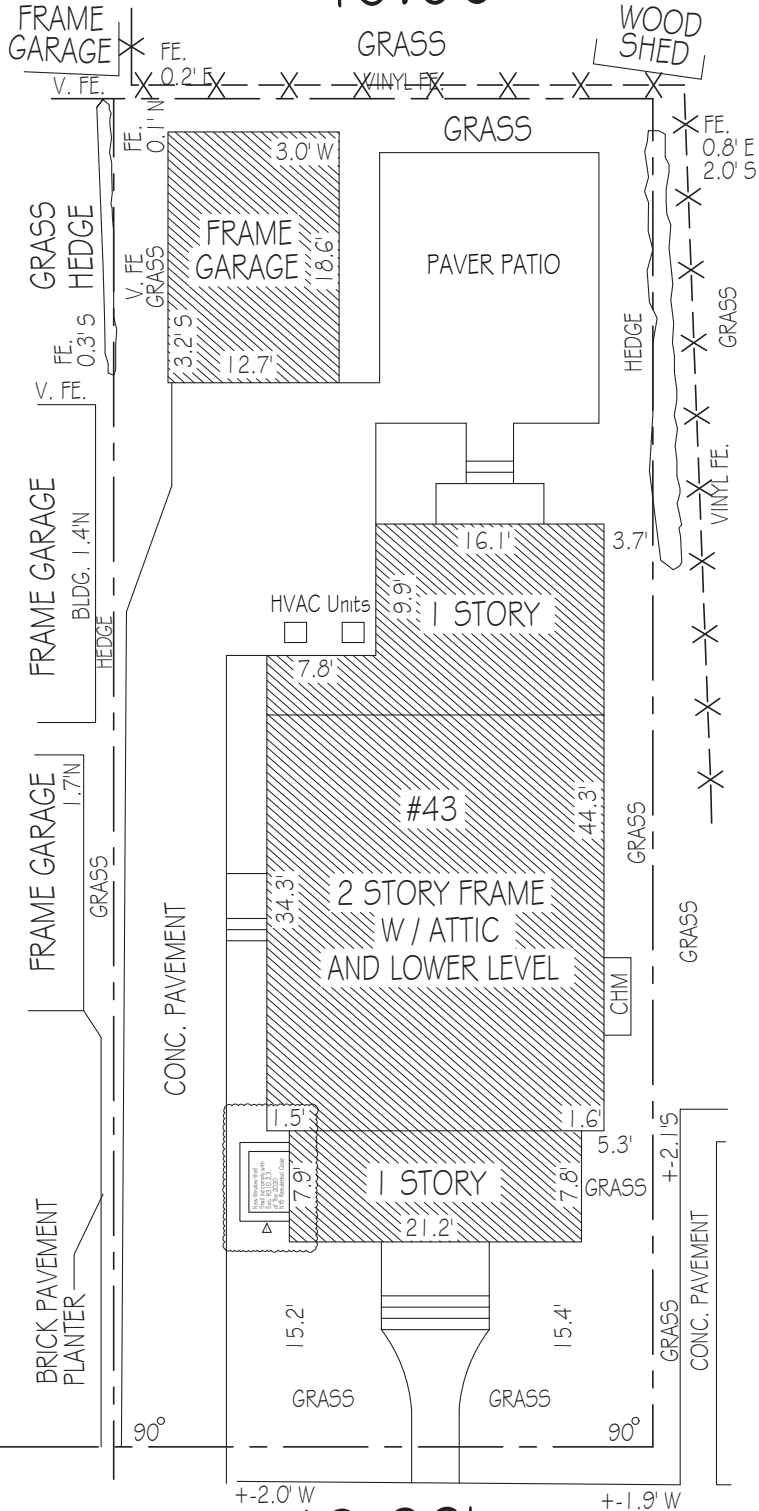


43 Larch Avenue (Aerial View)



PARALLEL WITH LARCH AVENUE

40.00'



GROUND SNOW LOAD (PSF)	SPEED (MPH)	WIND DESIGN TOPOGRAPHICAL EFFECTS
20	120	NO

CROCUS AVENUE

100.00'

100.00'

100.00'

40.00'

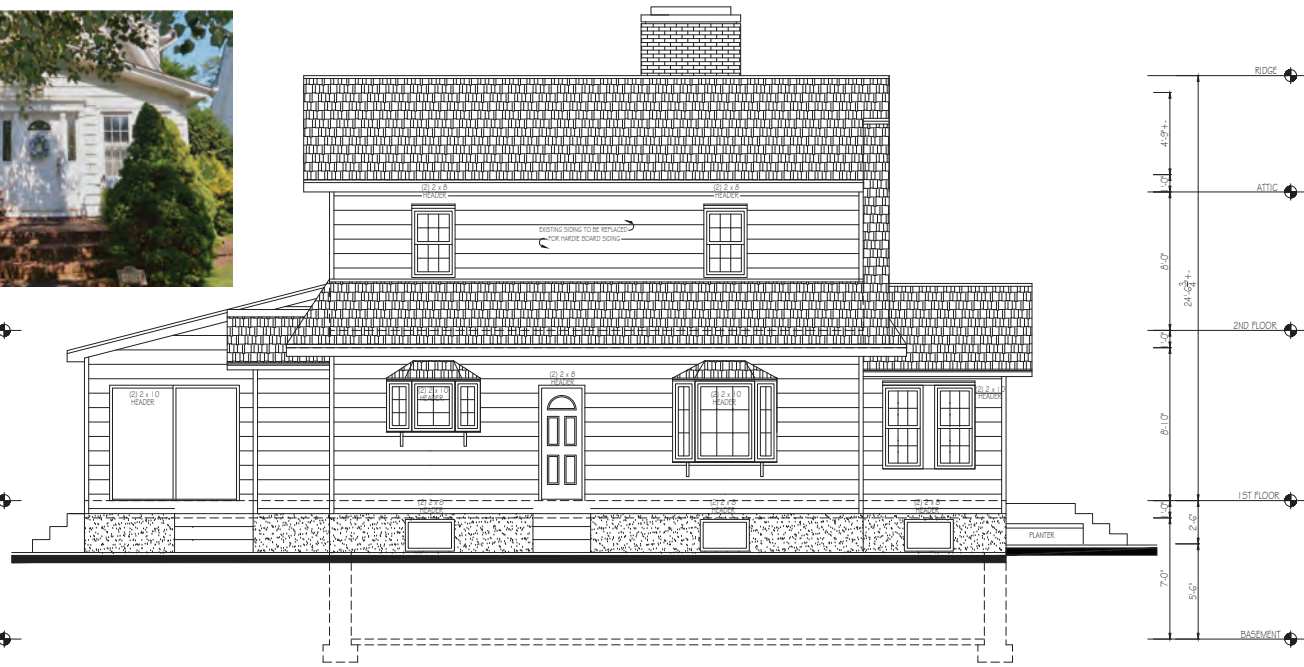
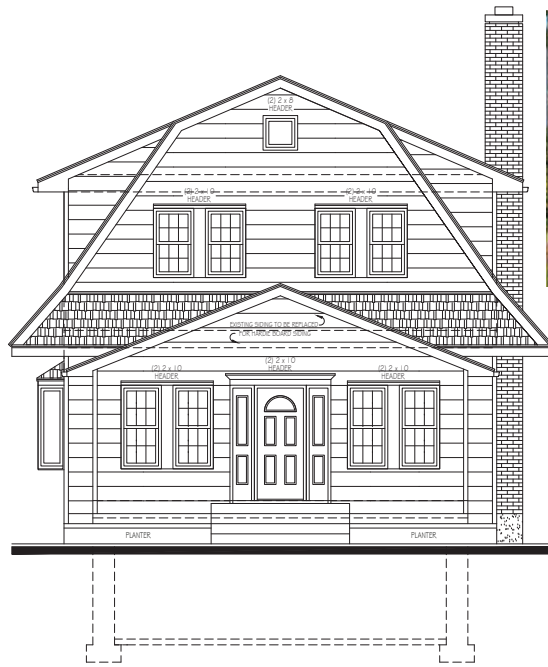
LARCH AVENUE

(OAK AVE.)

ASPHALT ROADWAY

CONC. SIDEWALK

CONC. CURB

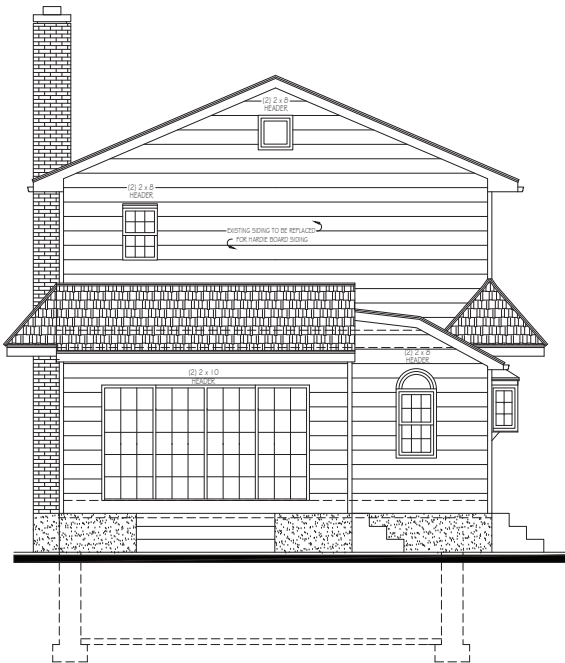


EXISTING FRONT ELEVATION - NO CHANGES

Existing Front Elevation

EXISTING SIDE ELEVATION

Existing Side Elevation



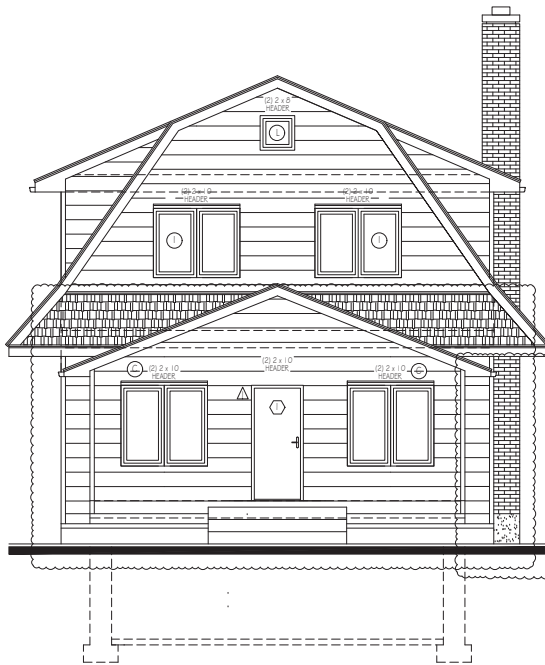
EXISTING BACK ELEVATION

Existing Back Elevation



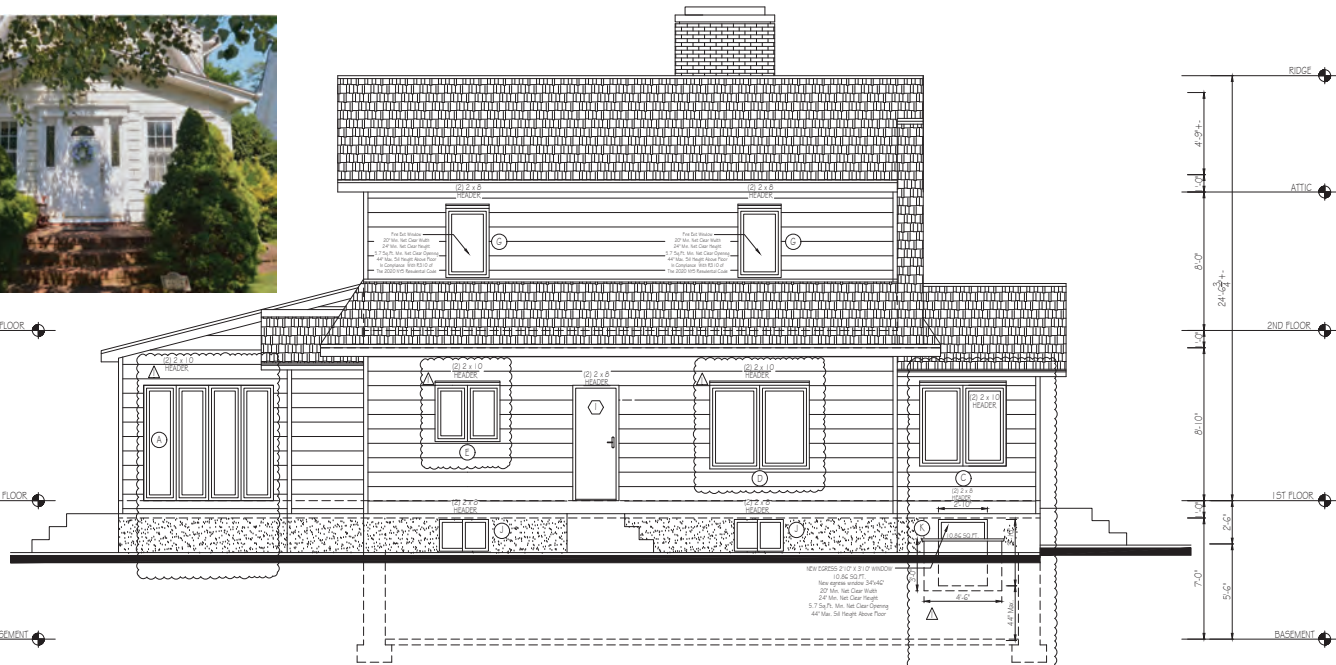
EXISTING SIDE ELEVATION

Existing Side Elevation



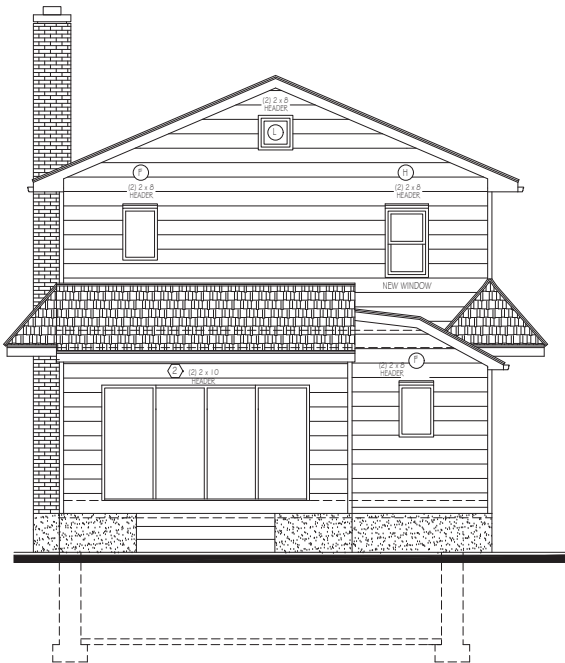
PROPOSED FRONT ELEVATION

Proposed Front Elevation



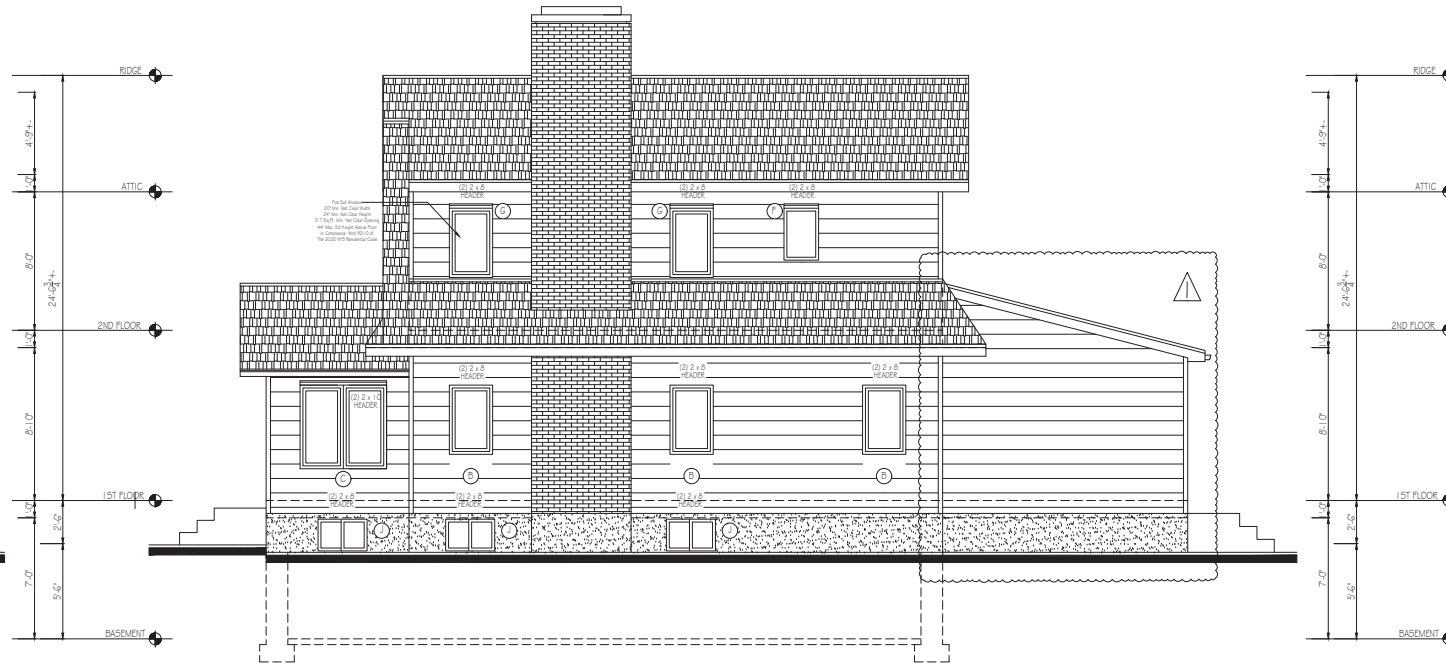
PROPOSED SIDE ELEVATION

Proposed Side Elevation



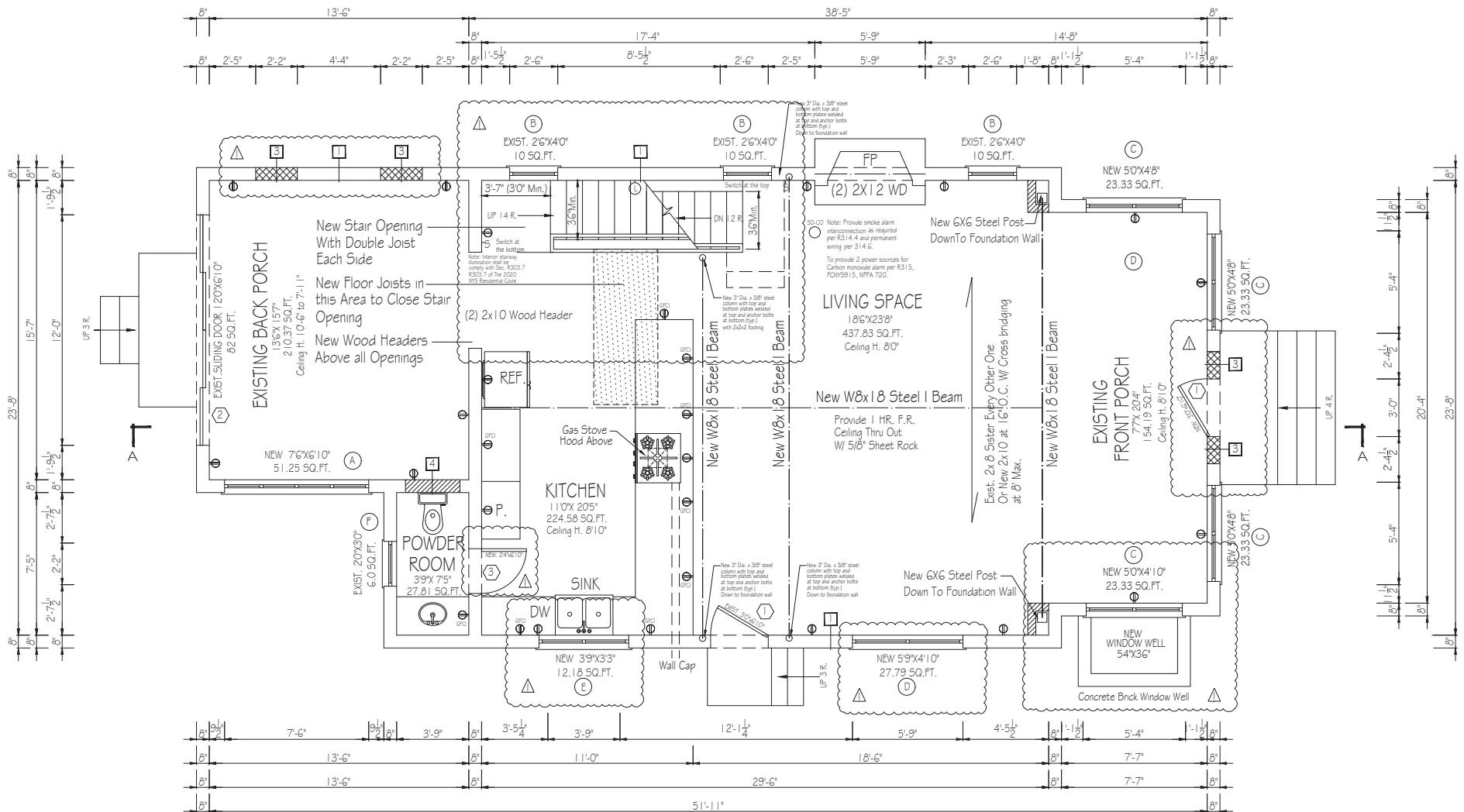
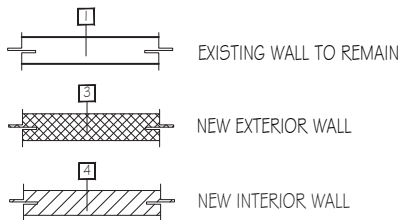
PROPOSED BACK ELEVATION

Proposed Back Elevation



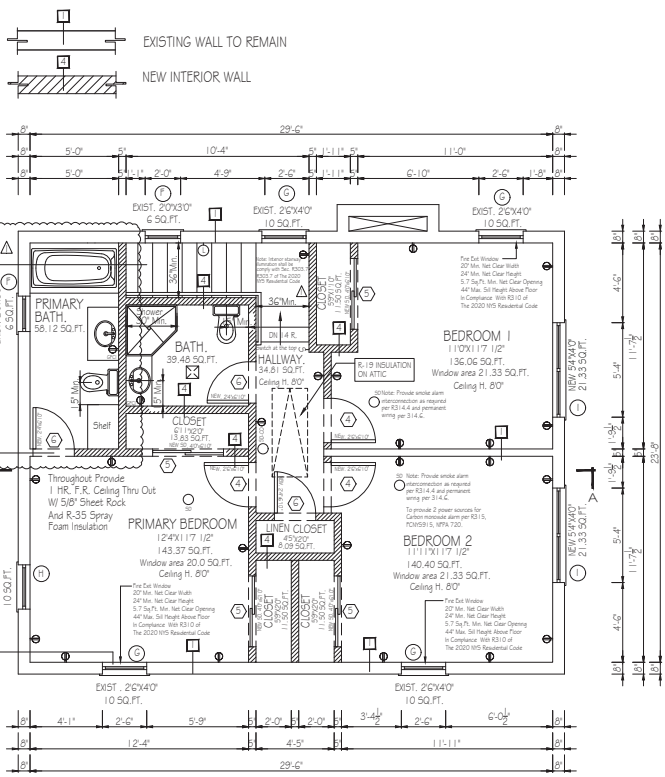
PROPOSED SIDE ELEVATION

Proposed Side Elevation



PROPOSED 1ST FLOOR 1,250.28 SQ.FT.

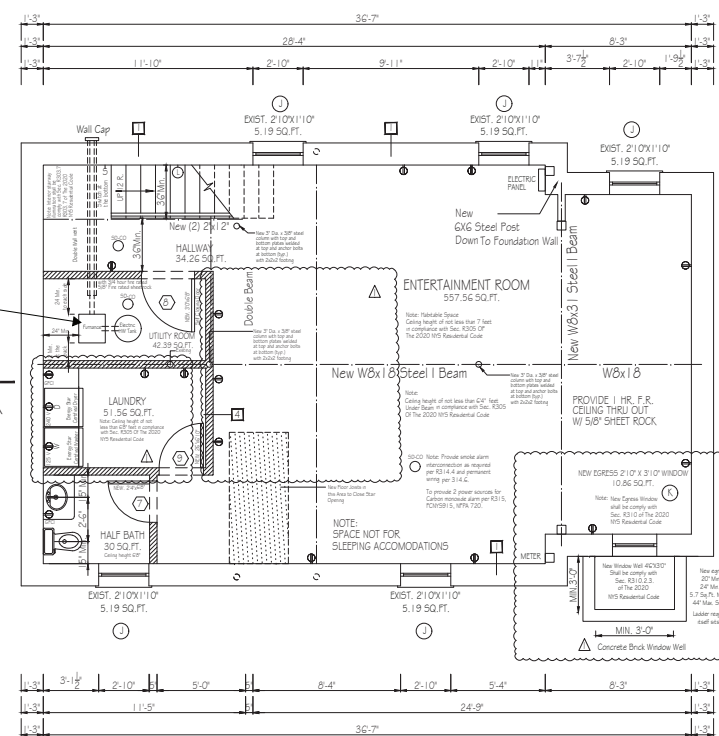
SCALE 1/4" = 1'-0"



PROPOSED 2ND FLOOR 770.83 SQ.FT.

SCALE 1/4" = 1'-0"

NOTES:



PROPOSED BASEMENT 949.58 SQ.FT.

SCALE 1/4" = 1'-0"

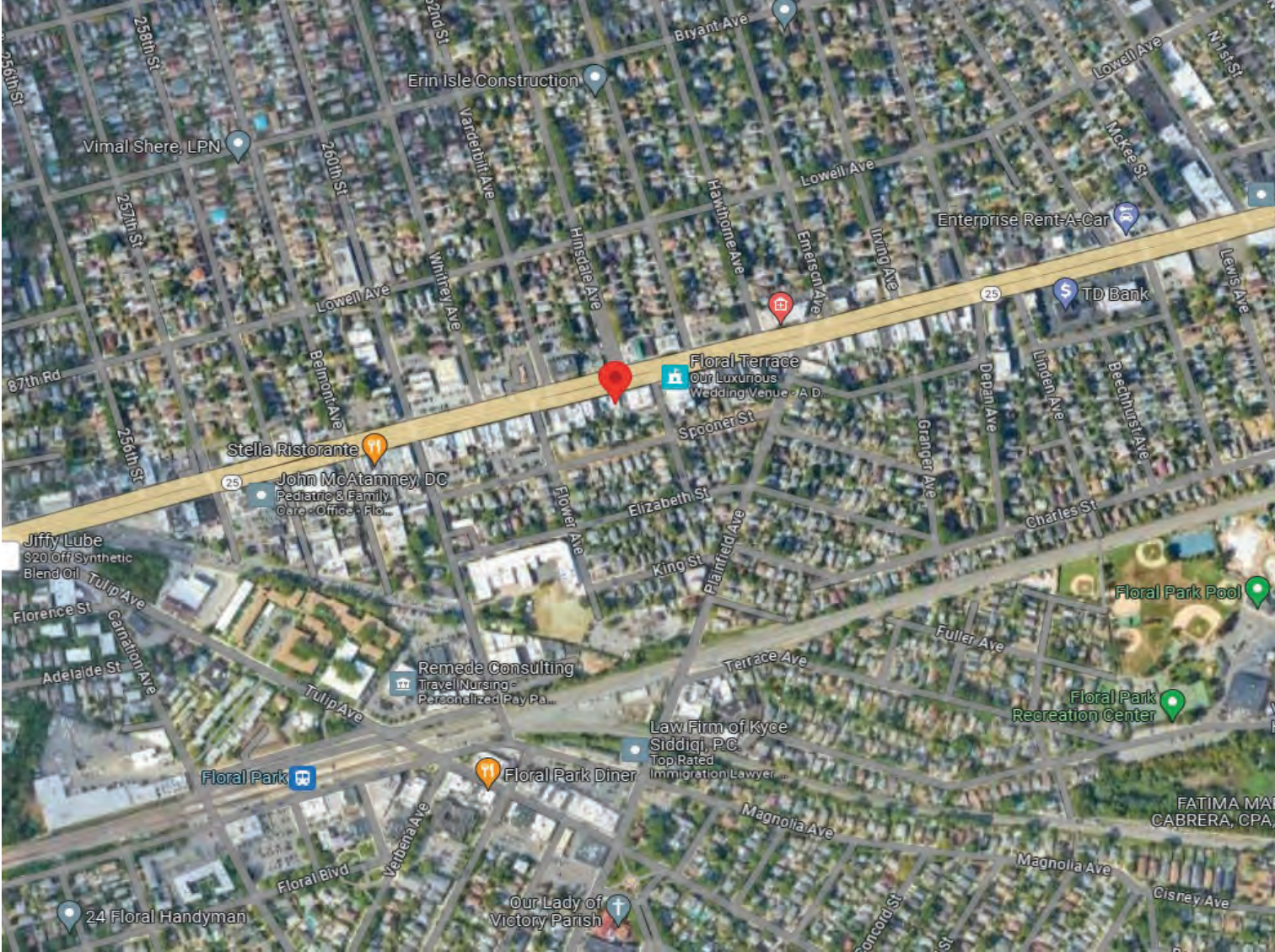
SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS

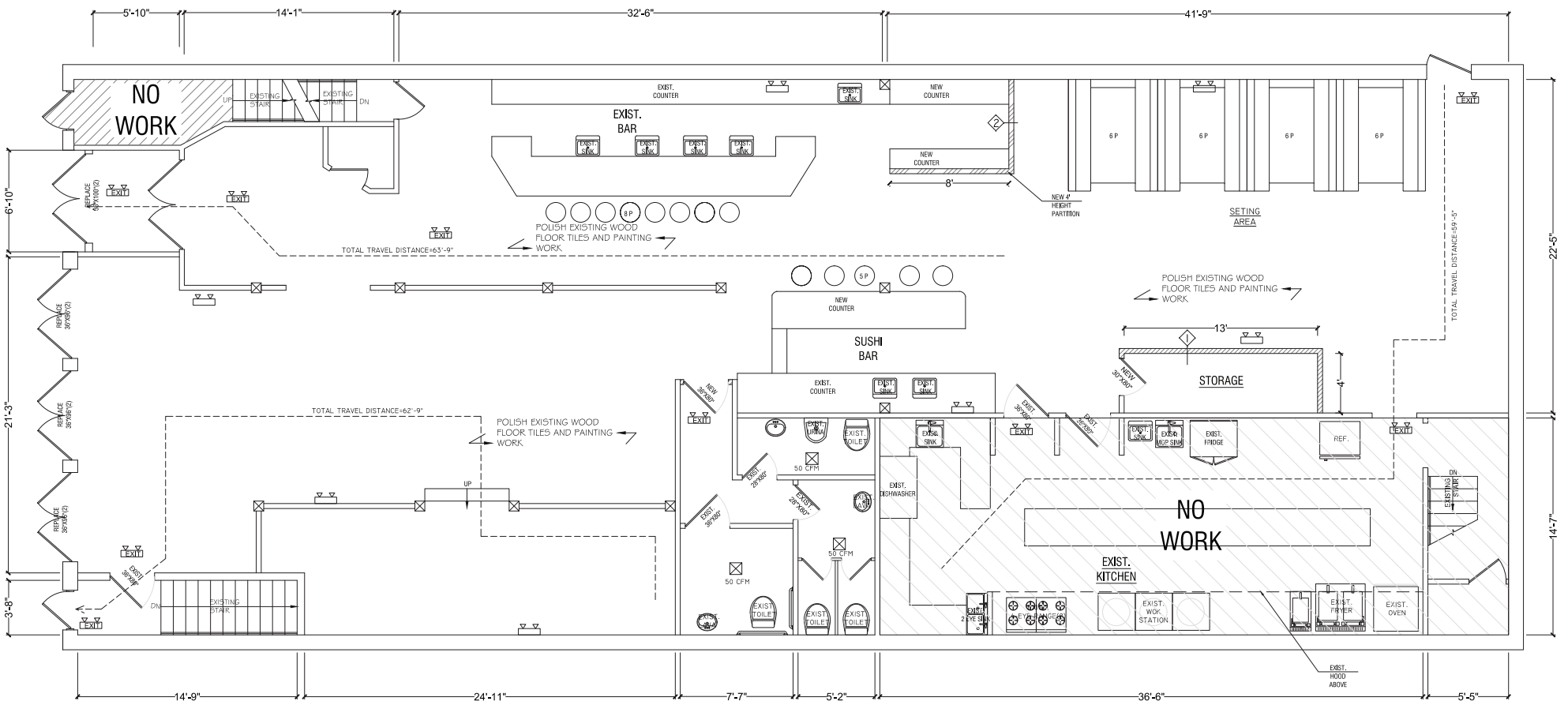
R.310.1 Emergency escape and rescue opening required. Basements, habitable attics and every sleeping room shall have not less than one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, an emergency escape and rescue

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
7	8:30 p.m.	230	Jericho Turnpike	Storefront	Sitan Chen	Robert Truskosky, PE

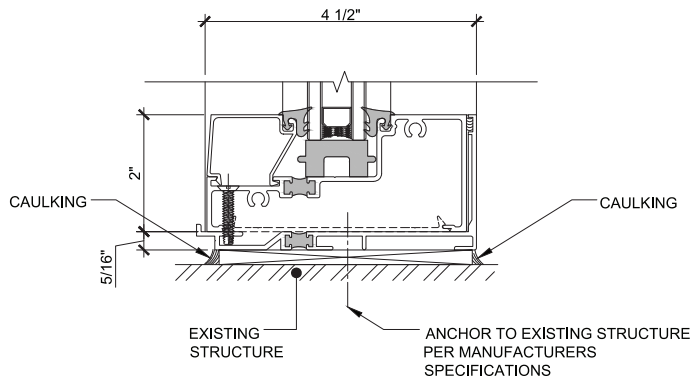


230 Jericho Turnpike (Aerial View)

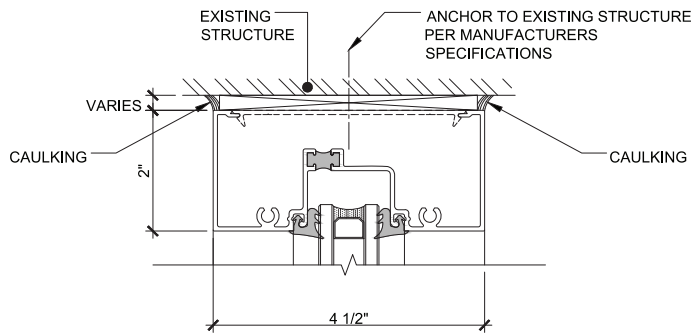




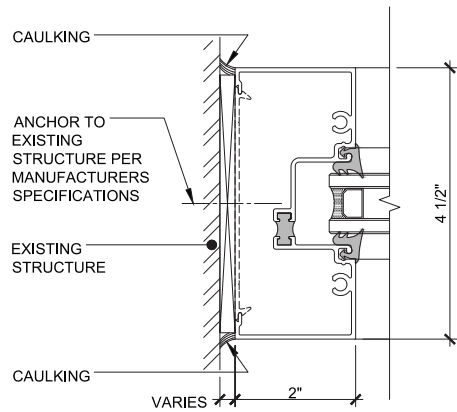
PROPOSED 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"



TYPICAL SILL DETAIL
SCALE: N.T.S.

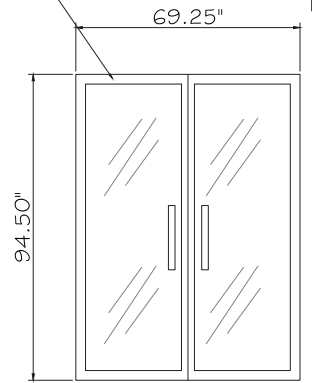


TYPICAL HEADER DETAIL
SCALE: N.T.S.



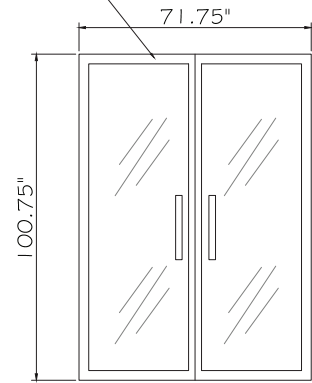
TYPICAL JAMB DETAIL
SCALE: N.T.S.

DARK BROWN
COLOR
ALUMINUM
FRAME



OPENABLE STOREFRONT DOOR

DARK BROWN
COLOR
ALUMINUM
FRAME



GLASS ENTRANCE DOOR



EXIST. BRICK WALL TO REMAIN

NEW SIGN FILE BY SIGN CONTRACTOR

EXIST. FRAME TO REMAIN

EXIST. DOOR TO REMAIN

REPLACE DARK BROWN COLOR ALUMINUM FRAME

REPLACE GLASS DOOR

REPLACE DARK BROWN COLOR ALUMINUM FRAME

REPLACE GLASS DOOR

EXIST. FRAME TO REMAIN

EXIST. FRAME TO REMAIN

EXIST. DOOR TO REMAIN

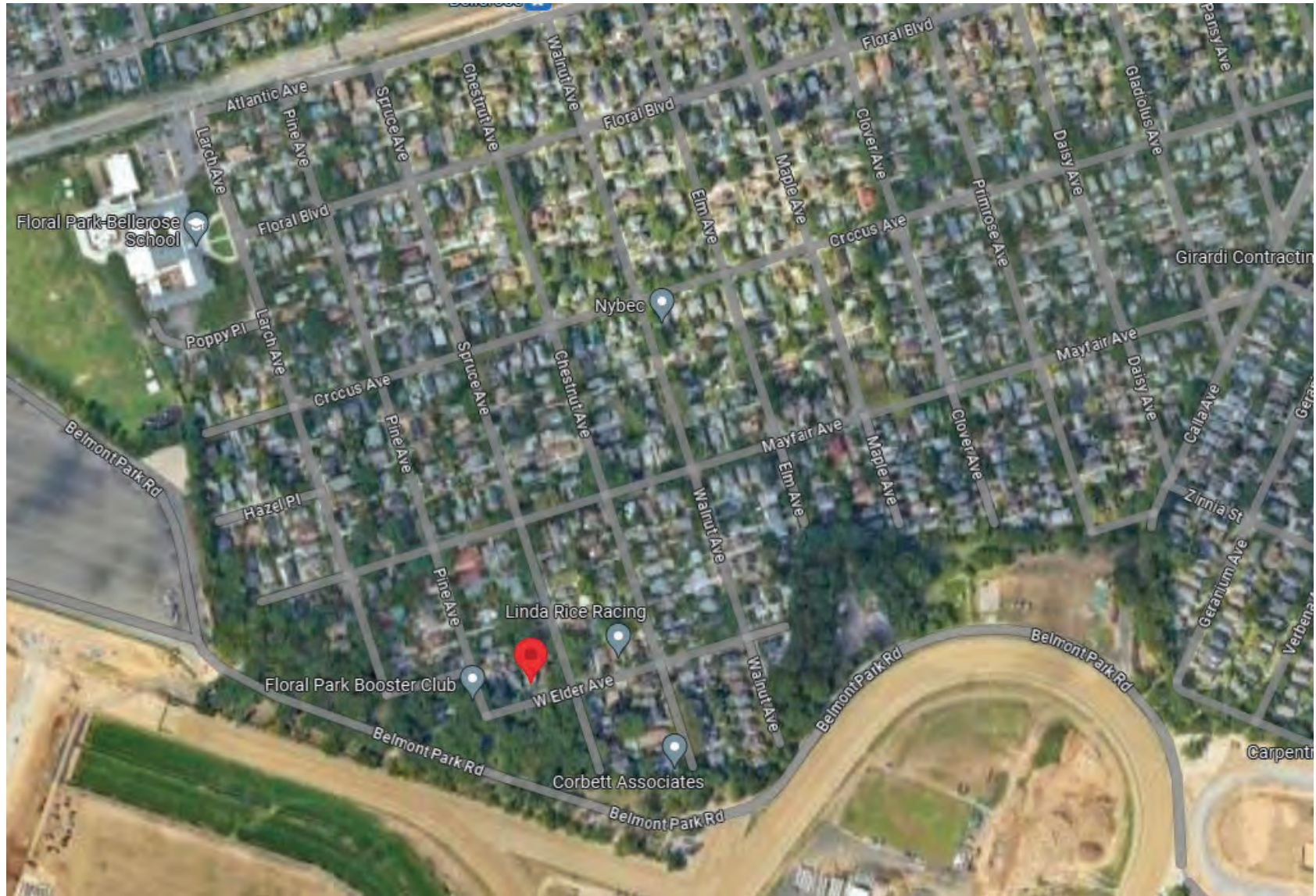
TRULITE CT451 (OR APPROVED EQUAL) STOREFRONT

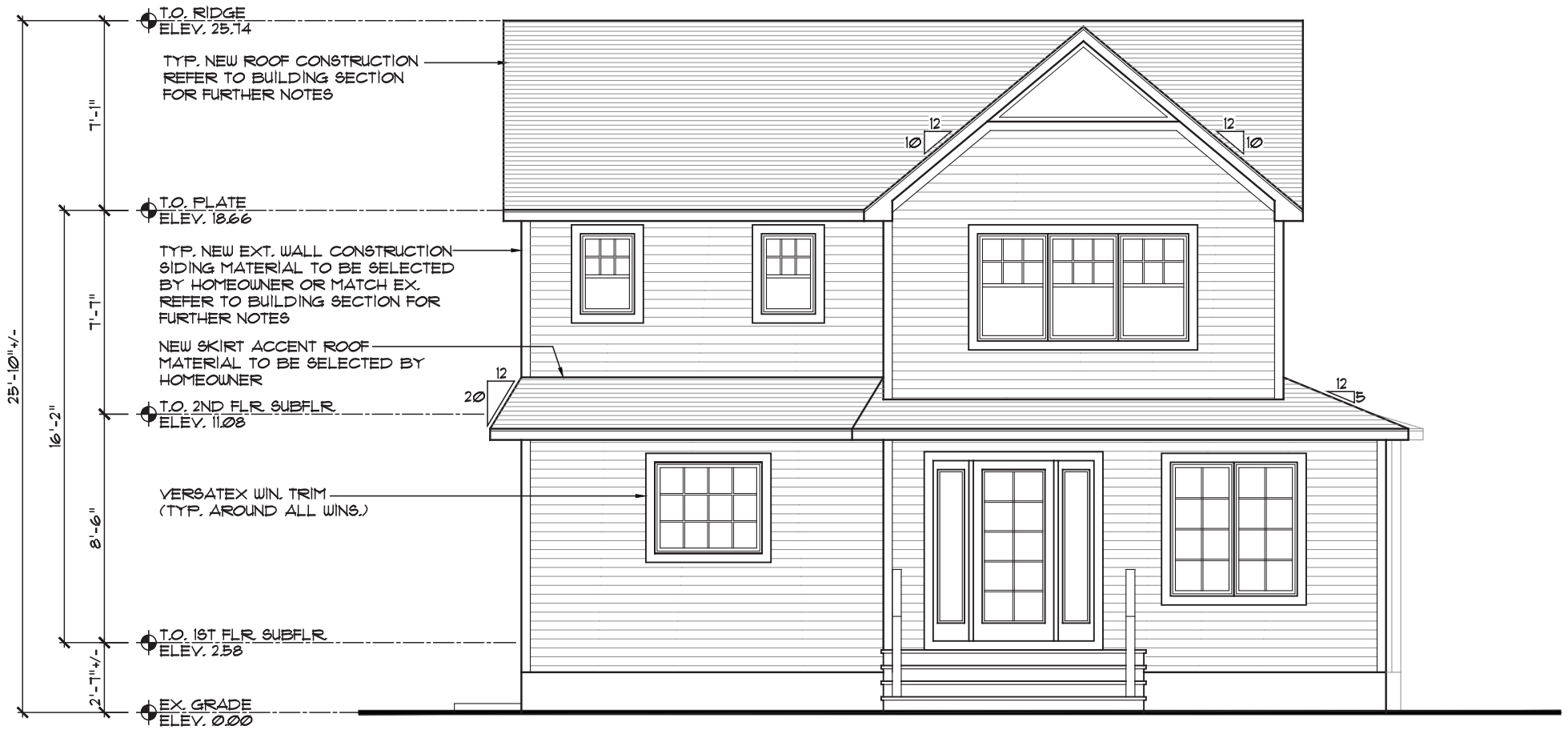
- 2" X 4 1/2" THERMALLY BROKEN ALUMINUM STOREFRONT FRAMING.
- 1" INSULATED GLASS WITH A HIGH PERFORMANCE LOW E COATING.
- 3 - FRONT GLASS DOOR REPLACEMENT 36" X 96"
- 2 - 36"x100" ENTRANCE DOORS, NARROW STILE, BUTT HINGES, CLOSER, THRESHOLD, INSULATED GLASS, 10" BOTTOM RAIL.

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
8	8:35 p.m.	109	West Elder Avenue	Additions and Alterations	Michael Hagan	Jared Mandel Architects

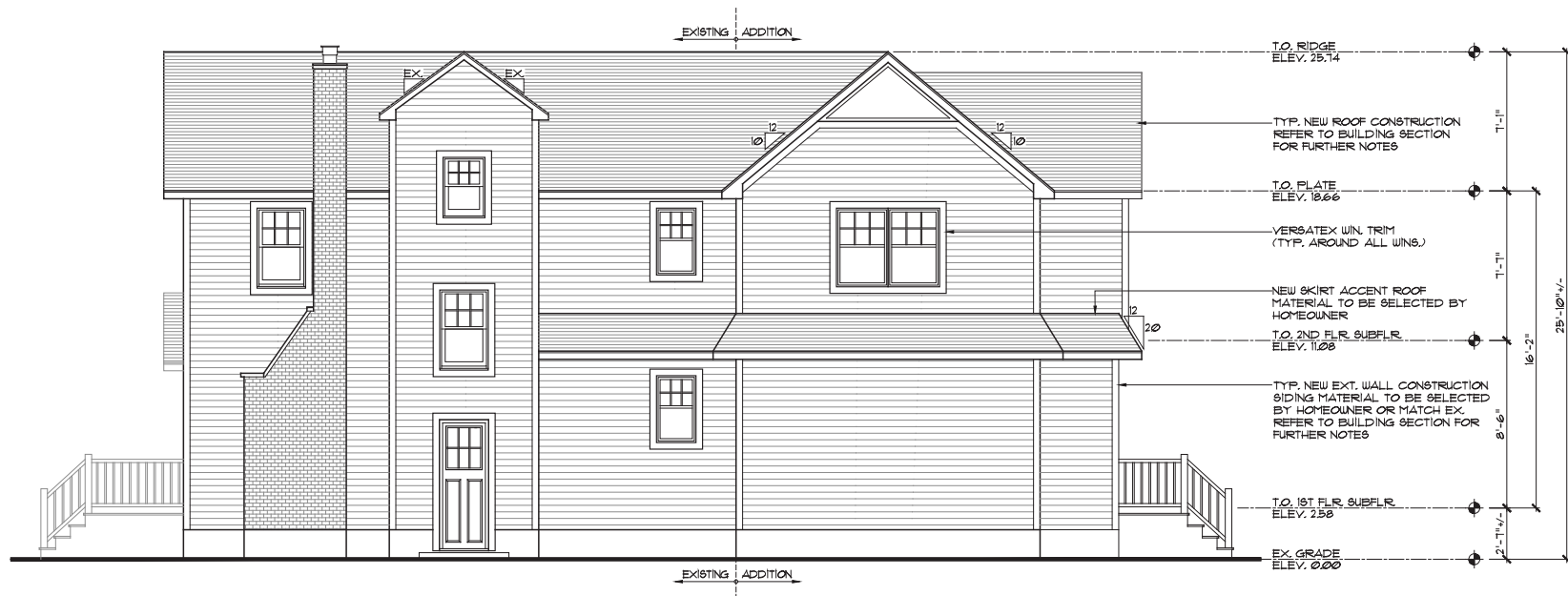


109 West Elder Avenue (Aerial View)

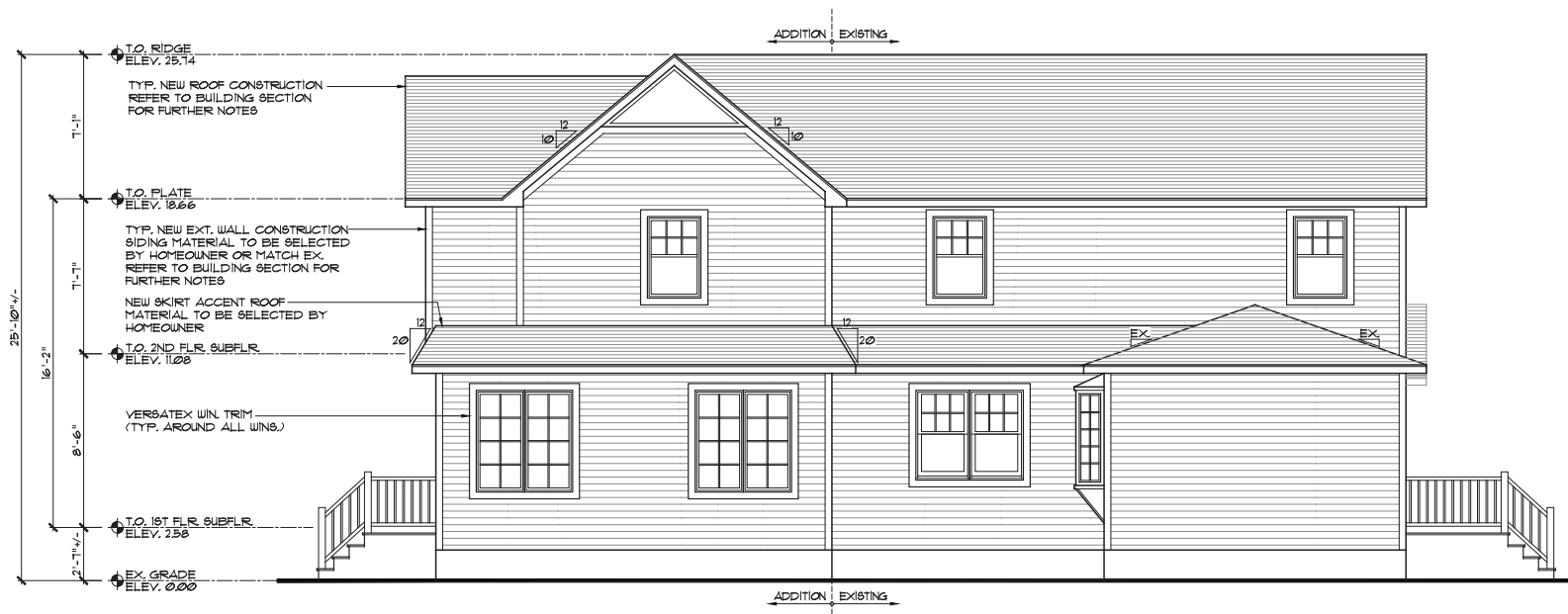




2 PROPOSED REAR ELEVATION
 DN-3 SCALE : 1/4" = 1'-0"



1 PROPOSED RIGHT ELEVATION
 DN-4 SCALE : 1/4" = 1'-0"



2 PROPOSED LEFT ELEVATION
 DN-4 SCALE : 1/4" = 1'-0"