



ARCHITECTURAL & PRELIMINARY SITE PLAN REVIEW BOARD

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RENEE MARCUS, AIA – SUPERINTENDENT OF BUILDINGS
LUCILLE LANGONE – SECRETARY

APRIL 17, 2024

8:00 pm

Note Location: Recreation Center/Pool Building

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
1	8:00 p.m.	99	Covert Avenue	Re-submission – Addition & Alterations	Floral Park Depository 1929 Realty Partners LLC	Kenneth R. Garvin, AIA
2	8:30 p.m.	159	Ash Street	Re-submission – 2 nd Story Addition & Alterations	Scott and Lauren Bieniek	Kenneth R. Garvin, AIA
3	8:35 p.m.	150	Charles Street	Solar	Trinity Solar	Roy Shawon
4	8:40 p.m.	246	Jericho Turnpike	Sign	V & W 236-246, LLC	Digi Sign Corp.
5	8:45 p.m.	5	Larch Avenue	Garage	John O'Donnell	Bobby K Architects
6	8:50 p.m.	122	Stewart Street	2 nd Story Addition	Vanessa Giovanni	Steven J. Treubert, PE
7	8:55 p.m.	46	Birch Street	2 nd Story Rear Addition	Anthony Sperruggia	Thomas Winnes, RA
8	9:00 p.m.	25	Irving Avenue	Front Facade	Shailendra Sah	John Schimenti

Questions about the projects can be emailed to ARB@FPVillage.org prior to the meeting to allow for the Village and Applicant to be prepared with answers.

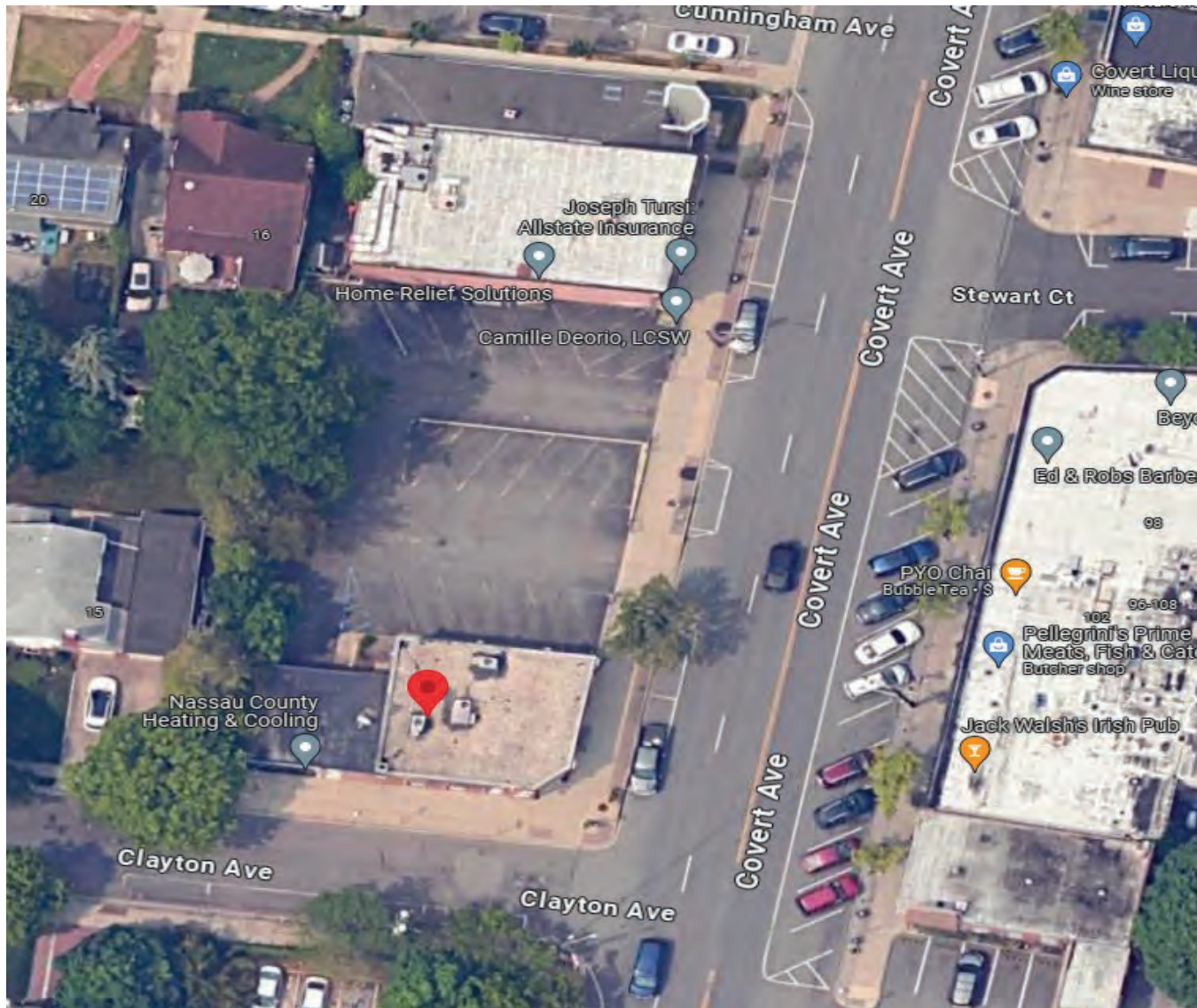
Supporting documents will be posted to the Architectural Review Board web page at least 24 hours prior to the meeting.

Click [here](#) for the ARB webpage.

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
1	8:00 p.m.	99	Covert Avenue	Re-submission – Addition & Alterations	Floral Park Depository 1929 Realty Partners LLC	Kenneth R. Garvin, AIA



99 Covert Avenue (Aerial View)



99 Covert Avenue
Floral Park, NY 11001



Existing South East corner



PROPOSED South East corner



Existing North Elevation



Existing East Elevation



Existing West Elevation



VIEW FROM SIDEWALK LOOKING SOUTH



VIEW FROM NORTH EAST



VIEW FROM SOUTH



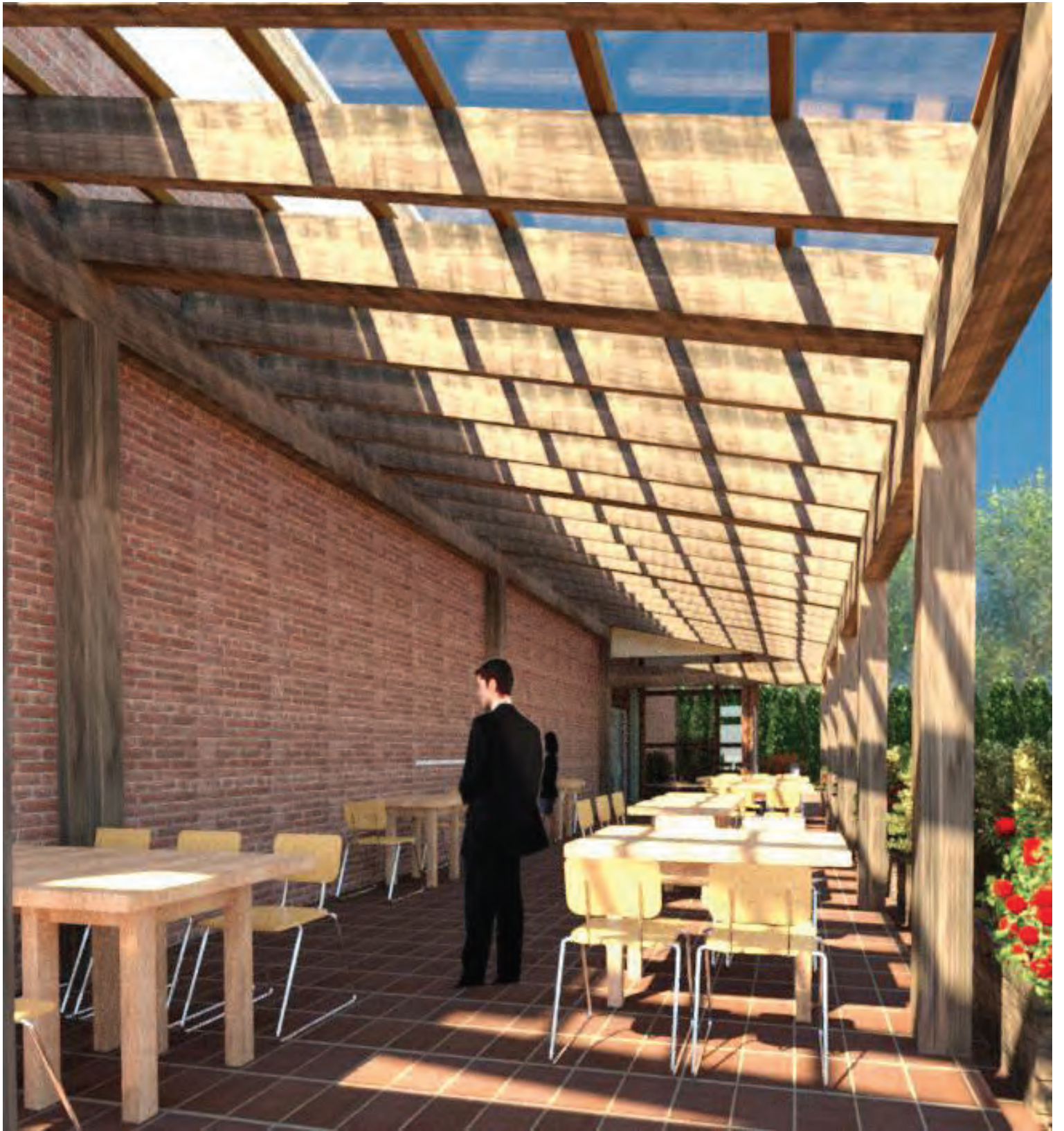
Proposed rendering

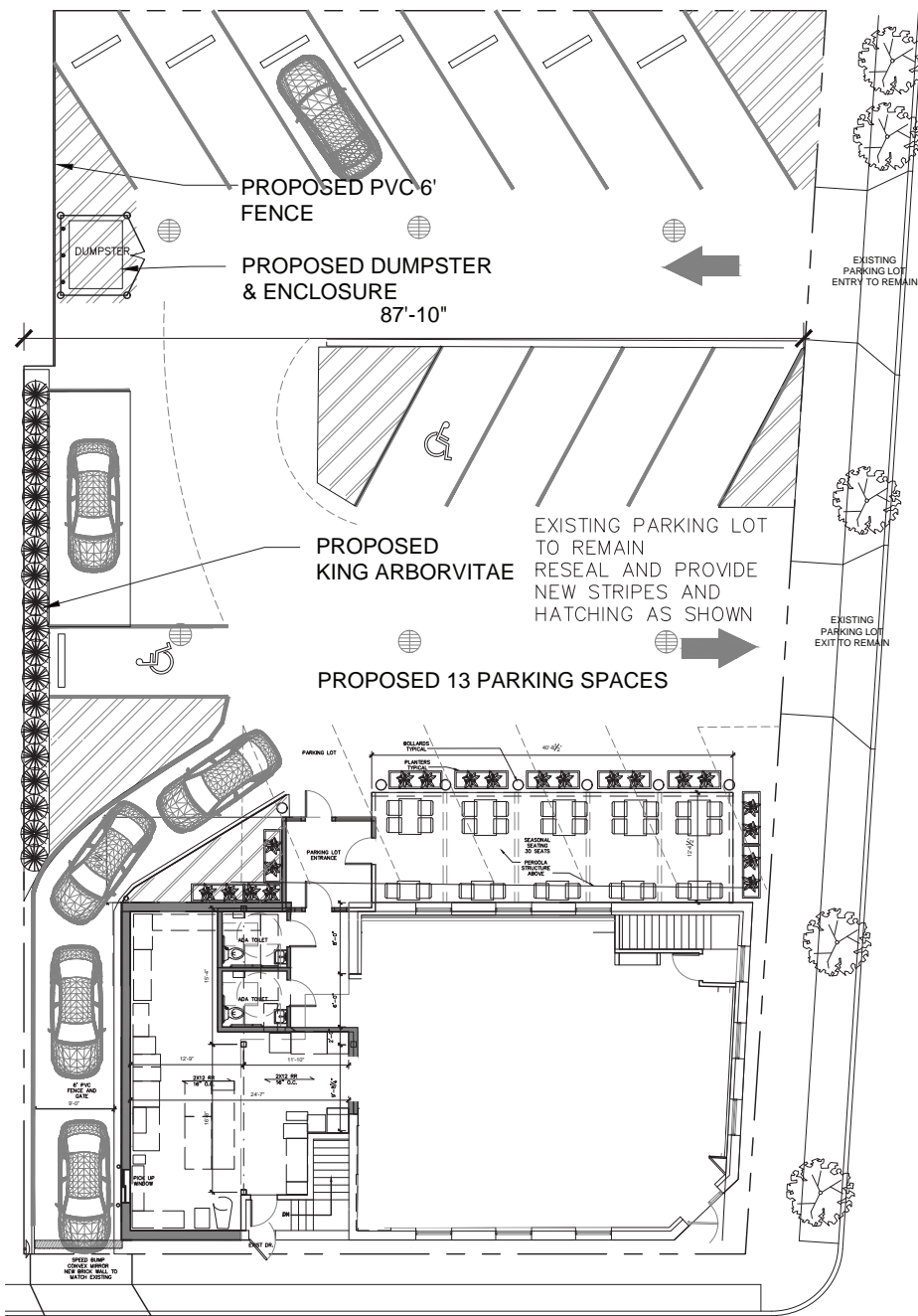


Proposed rendering looking West



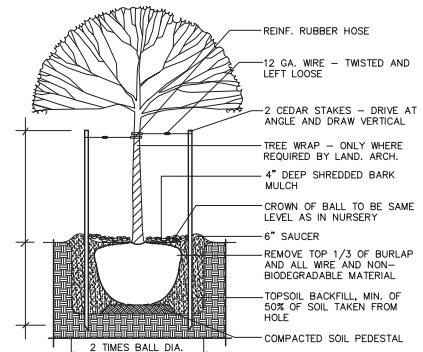
Proposed rendering



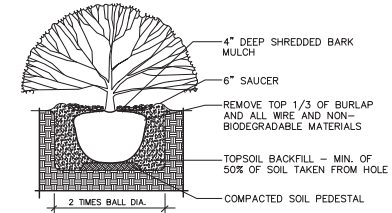


REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL SITE INFORMATION.

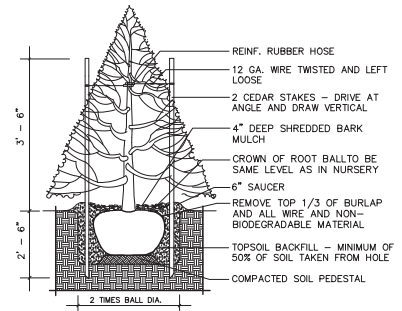
1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



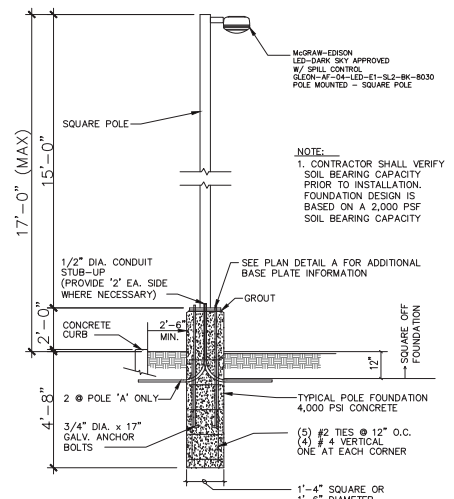
PLANTING DETAIL



SHRUB PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL

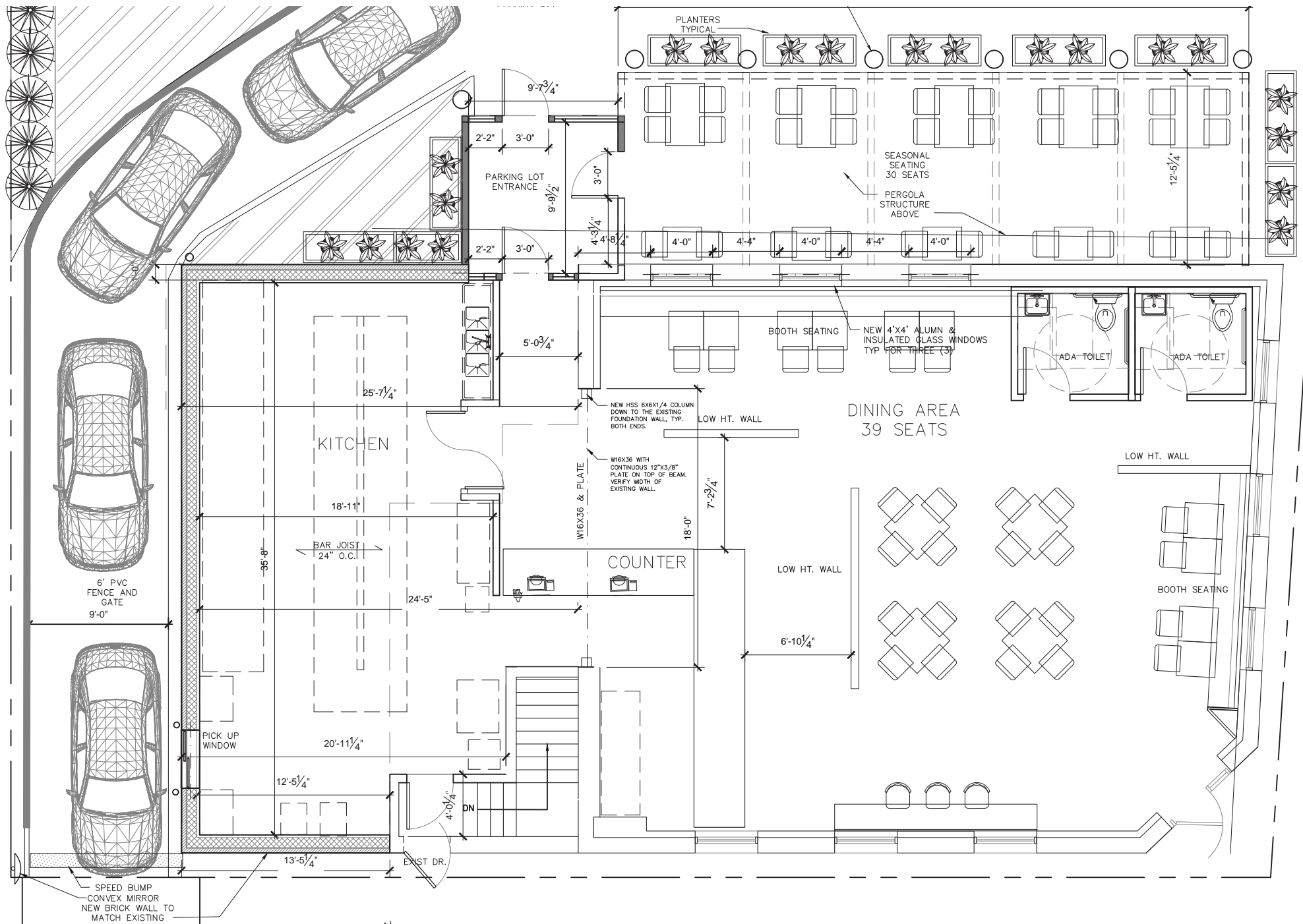


4 SITE LIGHTING DETAIL
SCALE: 1/2" = 1'-0"

PLANTING NOTES

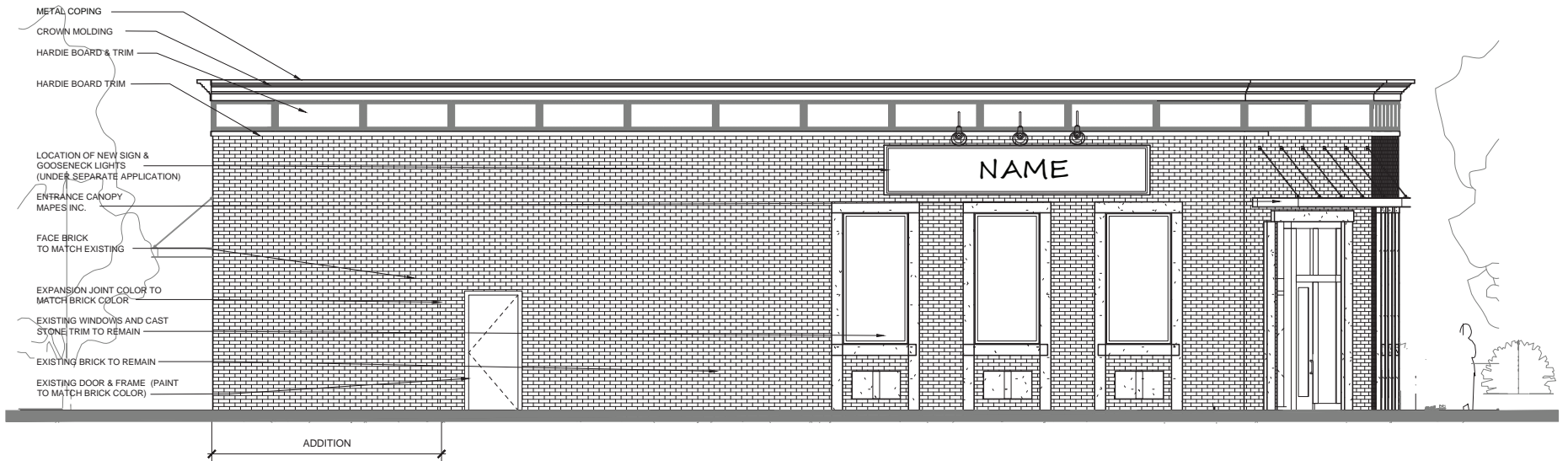
1. ALL PLANT MATERIALS TO BE OF HIGHEST QUALITY NURSERY GROWN STOCK.
2. REFER TO DRAWINGS PRIOR TO ANY EXCAVATION FOR LOCATION OF MECHANICAL AND UTILITY LINES AND STRUCTURES. IF ANY CONFLICT EXISTS, CONTRACTOR SHALL NOTIFY ARCHITECT FOR SUGGESTED CHANGES.
3. ALL PLANT PITS TO BE BACK FILLED WITH TOPSOIL BLENDED WITH 0-20-0 FERTILIZER AT THE RATE OF 5 POUNDS PER YARD.
4. ALL TREE PITS AND SHRUB BEDS TO BE MULCHED WITH 4" DEEP FRESH MILLED SHREDDED BARK MULCH.
5. ALL TREES TO BE PLANTED AND STAKED AS PER DETAIL.
6. ALL PLANT MATERIALS TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER PLANTING.
7. IF ANY DISCREPANCY EXISTS BETWEEN THE PLAN AND PLANT LIST, THE PLAN SHALL GOVERN.
8. ALL PLANT MATERIALS ARE TO BE MAINTAINED WITH FERTILIZER AND OTHER REQUIRED MATERIALS TO MAINTAIN A NEAT AND HEALTHY APPEARANCE.
9. ALL PLANT MATERIALS ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. DRIP IRRIGATION IS TO BE INSTALLED WHERE POSSIBLE. ALL IRRIGATION COMPONENTS AND INSTALLATION SHALL COMPLY WITH ALL LOCAL, STATE & FEDERAL CODES.
10. ALL PLANTS WHICH DIE OR BECOME DISEASED SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR.
11. ALL NEW SEED AREAS ARE TO RECEIVE 4" MIN. OF TOPSOIL.
12. ALL SEED AREAS ARE TO BE SEEDED WITH 5 POUNDS OF FESCUE VARIETY GRASS SEED PER 1000 SQ.FT.

LEGEND		
SYM.	NAME	COMMENTS
	EXISTING TREE TO REMAIN	
	PROPOSED STREET TREE COORDINATE W/ VILLAGE DPW	
	DWARF ENGLISH BOXWOOD	3 GAL. CONTAINER
	ARBOVITAE	6'-8" HEIGHT
	6'-0" HIGH FENCE	

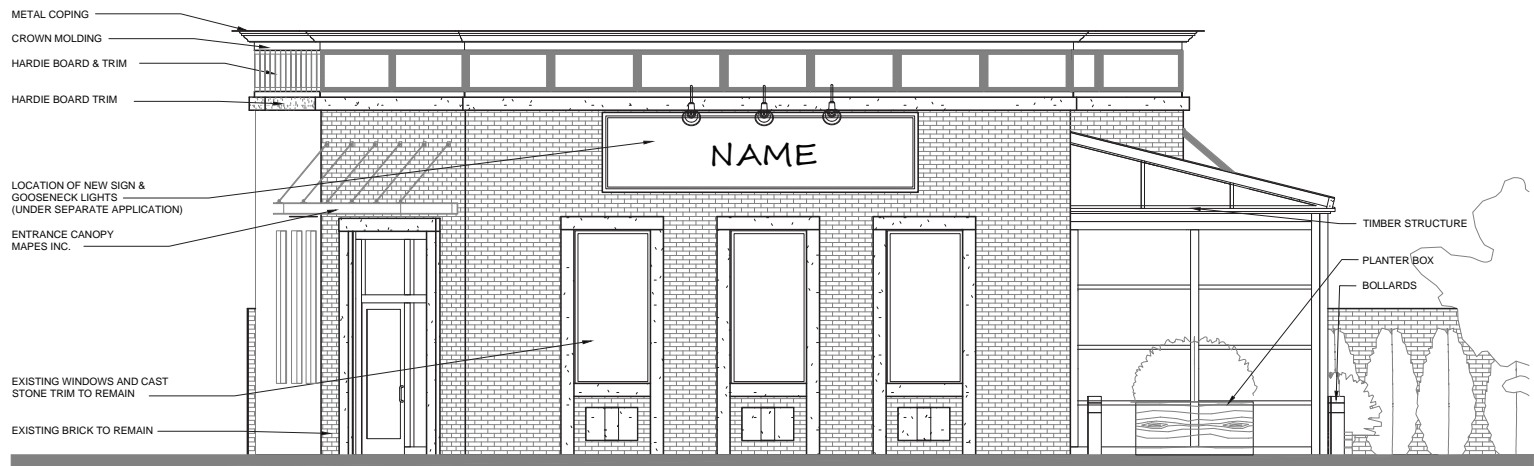


1 GROUND FLOOR CONSTRUCTION PLAN

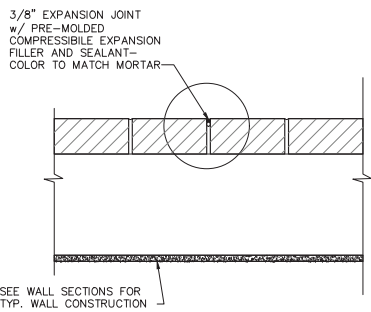
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

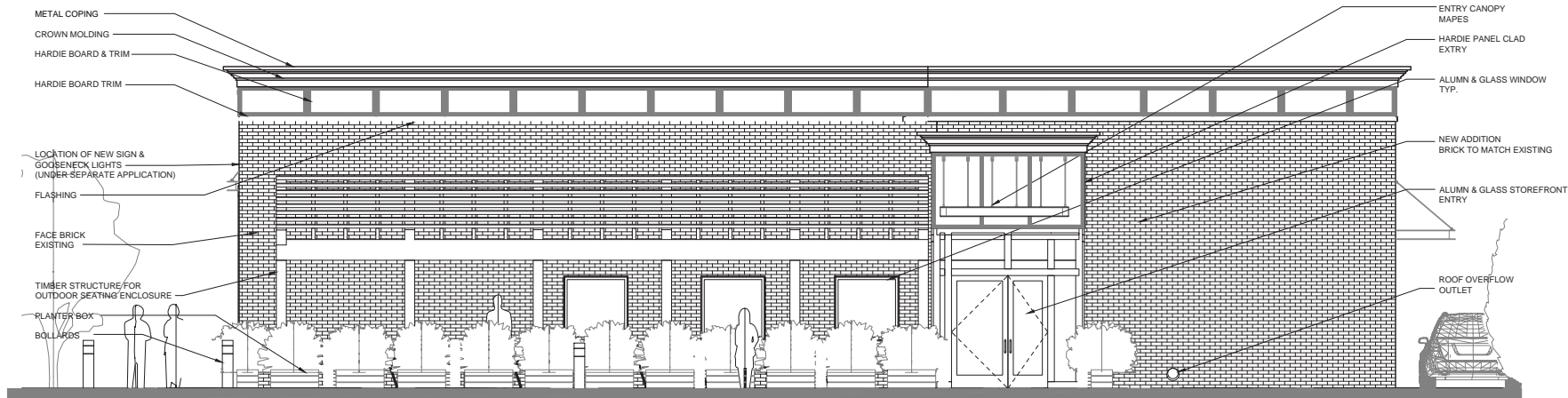


2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

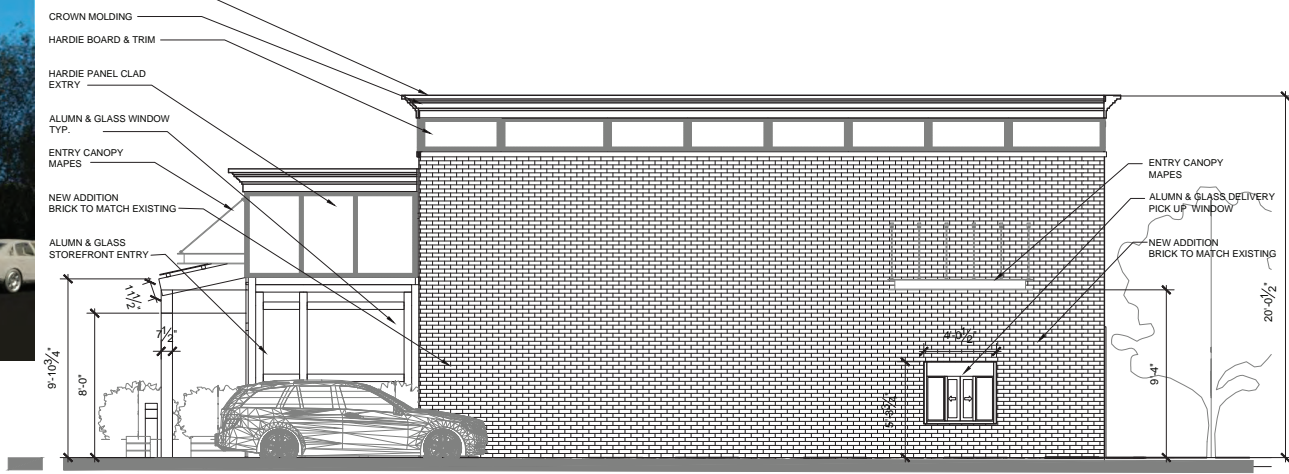


3 EXPANSION JOINT DETAIL
SCALE: 1 1/2" = 1'-0"

EXTERIOR FINISH SCHEDULE		
MATERIAL	MANUFACTURER	COLOR / SPEC
BRICK VENEER	WATSONTOWN BRICK COMPANY	ROSEMONT TYPE 1 PENNSYLVANIA MOLDED SERIES (TO MATCH EXISTING)
CAST STONE	CORINTHIAN CAST STONE	LIMESTONE WARM TAN (LS38) (TO MATCH EXISTING)
STOREFRONT	KAWNEER	TO MATCH EXISTING
BRICK PAVERS (OUTDOOR SEATING AREA)	WATSONTOWN BRICK COMPANY	BERKS MOLDED PAVER BRICKS
TIMBER STRUCTURE		TIMBER STRUCTURE



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



EXTERIOR FINISH SCHEDULE		
MATERIAL	MANUFACTURER	COLOR / SPEC
BRICK VENEER	WATSONTOWN BRICK COMPANY	ROSEMONT TYPE 1 PENNSYLVANIA MOLDED SERIES (TO MATCH EXISTING)
CAST STONE	CORINTHIAN CAST STONE	LIMESTONE WARM TAN (LS38) (TO MATCH EXISTING)
STOREFRONT	KAWNEER	TO MATCH EXISTING
BRICK PAVERS (OUTDOOR SEATING AREA)	WATSONTOWN BRICK COMPANY	BERKS MOLDED PAVER BRICKS
TIMBER STRUCTURE		TIMBER STRUCTURE



VERSATILE AND ADAPTABLE TO MEET YOUR NEEDS.

The Lumishade canopy is an economical, highly versatile canopy system designed for a wide variety of applications. The roll-formed decking offers a high-load capacity and is delivered in pre-assembled sections to allow for ease of installation. This functional canopy protects from the elements without sacrificing design options and flexibility. The Lumishade canopy will stand the test of time, while keeping you on budget.

For more details, please visit mapes.com

LUMISHADE

TECHNICAL DATA

- All Aluminum (T6 - 6063)
- Fascia .125"
- Decking .040" Roll-formed
- Deflection rating L/180
- Maximum Projection
 - 10' w/ hanger rod supports
 - 5' w/ cantilever supports

Note: Engineered stamped calcs available in all 50 states



CANOPY DETAILS

	Finishes	Warranty		Application
Mapes Standard Finishes	Clear Anodized, White Baked Enamel, & Bronze Baked Enamel	1 year	Meets AAMA 2603 specifications	Factory applied
2-Coat Kynar*	25 stock colors w/ unlimited custom matching options	10 years	70% Fluoropolymer meets AAMA 2605 specifications	Professionally applied & cured by certified finisher

*Additional lead times and costs associated w/ premium paints & custom color matching

FEATURES

- .040 Roll-formed decking
- Economical
- High-load capacity
- Modular design
- Rust & maintenance free
- Custom details & colors
- Pre-assembled sections

APPLICATIONS

- Door & window covers
- Loading docks
- Parking garages
- Storefronts
- Passive solar
- Shopping centers

DECK OPTIONS

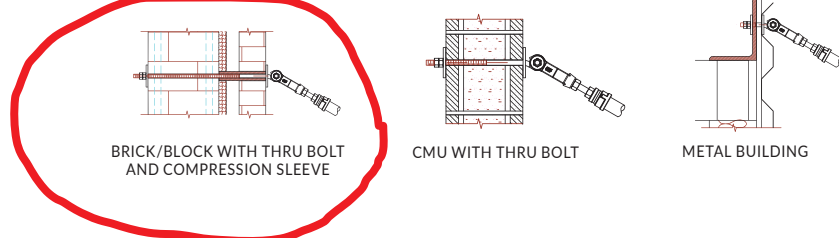


.040 ROLL-FORMED ALUMINUM

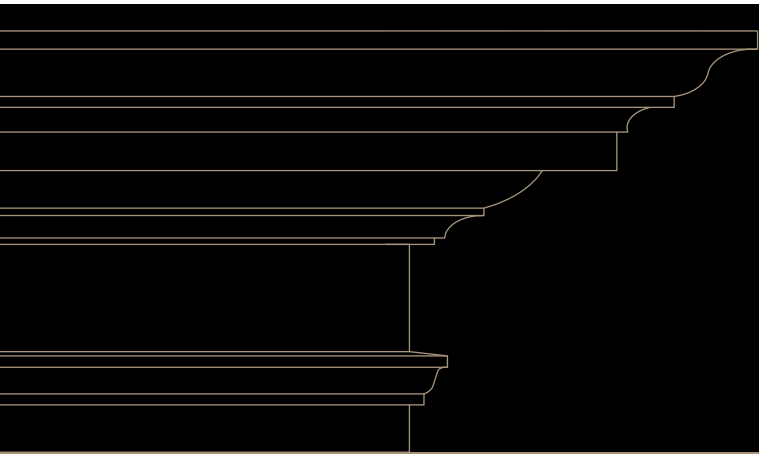
FASCIA OPTIONS



WALL MOUNT DETAILS



MAPES ARCHITECTURAL CANOPIES



CANAMOULD™

EXTERIOR MOULDINGS



F I N E A R C H I T E C T U R A L D E T A I L S



Cornices



COR-009



3" D X 3 1/2" H

WS-008



3 3/4" D X 4 1/4" H

NWC-001



5 3/4" D X 5" H

WS-002



3 7/8" D X 5 5/8" H

WS-013B



3 3/4" D X 6" H

COR-018



3 1/8" D X 6 1/4" H

COR-016



4 1/2" D X 6 1/2" H



WS-009



5 1/2" D X 6 7/8" H

NWC-002



NWC-002: 5 1/2" D X 7" H
CAN-095: 5 1/2" D X 9" H

WS-003



3 1/4" D X 7 1/4" H

COR-004



5" D X 7 3/4" H

CAN-134



2" D X 8" H

CAN-128



4" D X 8" H

COR-003



5 1/2" D X 8" H

WT-006



3 3/4" D X 8 1/8" H

MAX-005



3 1/2" D X 8 3/8" H

COR-015



4" D X 8 1/2" H

COR-005



4" D X 8 5/8" H

COR-002



6 1/2" D X 8 3/4" H

NRL-002



6" D X 9 3/8" H

COR-020



5 3/8" D X 10" H

COR-019



5 1/2" D X 10" H

MAX-242



5 5/8" D X 10" H

BAN-011



4 1/8" D X 10 1/4" H

MAX-214



9 1/4" D X 11" H

COR-013



5" D X 11 1/4" H

DLC-004



4 1/2" D X 12" H

COR-017



5 1/4" D X 12" H

COR-014



6" D X 12" H

BAN-014



2 1/8" D X 12 1/4" H

COR-006C



12 1/4" D X 12 1/4" H

BAN-010



3 3/8" D X 12 7/8" H

TIZ-008A



6" D X 13 1/4" H

BAN-015G



4" D X 15" H

COR-006A & B



COR-006A: 9" D X 8 3/8" H
COR-006B: 1 1/2" D X 8 1/8" H

BAN-012



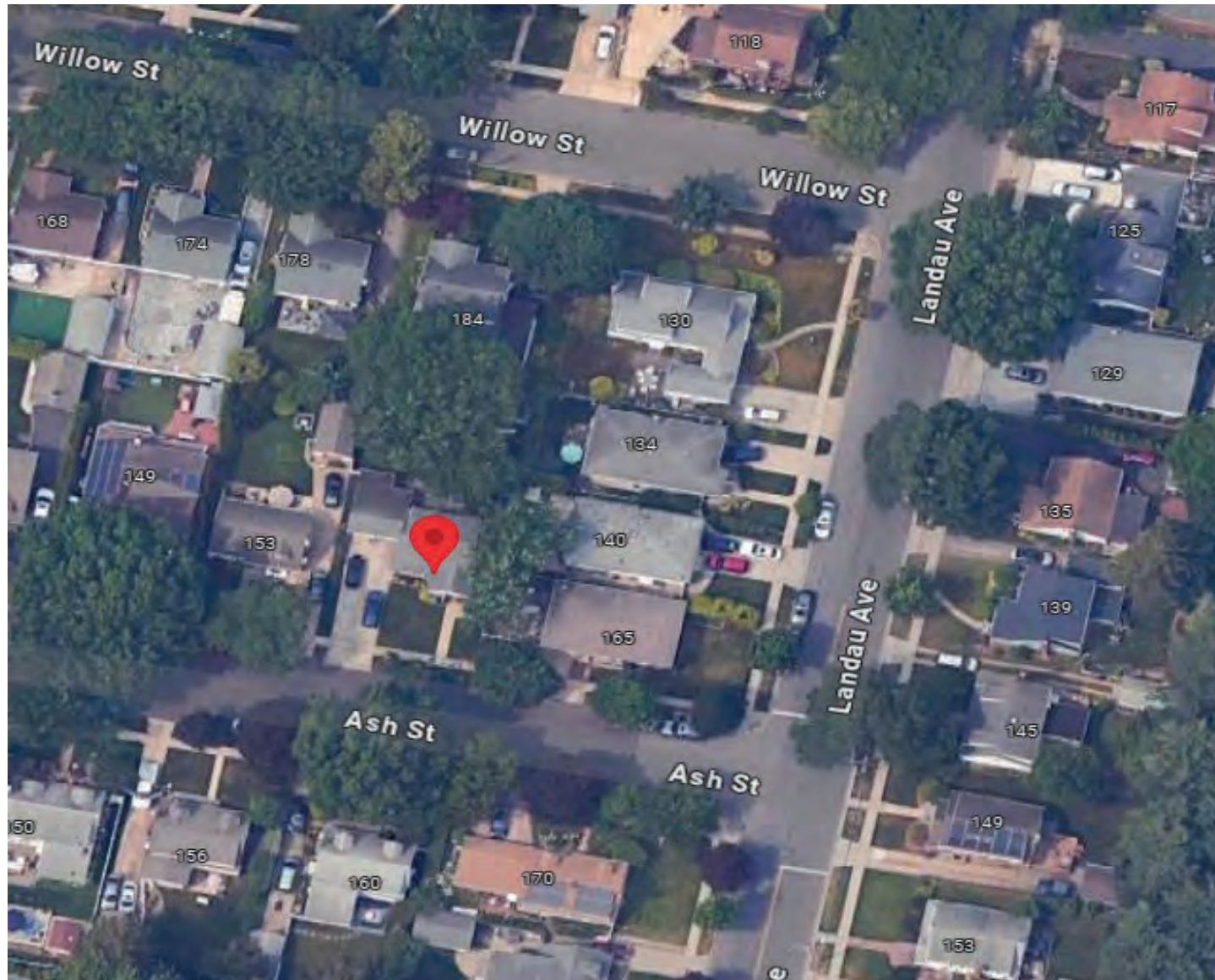
7 1/4" D X 24 1/4" H

TOP
BOTTOM

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
2	8:30 p.m.	159	Ash Street	Re-submission – 2 nd Story Addition & Alterations	Scott and Lauren Bieniek	Kenneth R. Garvin, AIA



159 Ash Street (Aerial View)



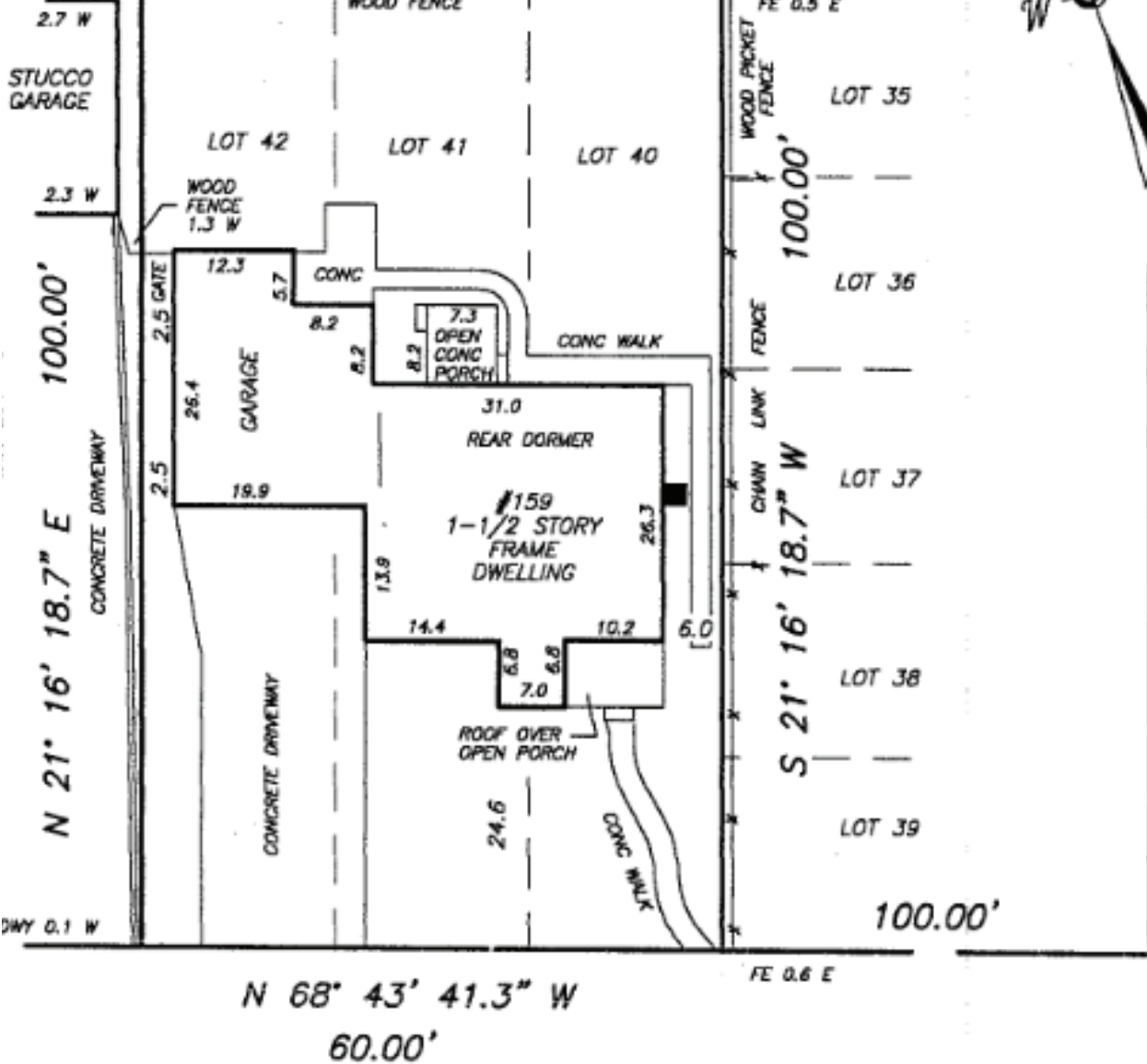
TAX LOT 65

S 68° 43' 41.3" E
60.00'

TAX LOT 74

FE 0.2 S

LOT 34



LANDAU AVENUE

ASH STREET



EXISTING (SOUTH) ELEVATION



EXISTING (SOUTH) ELEVATION



Neighbor to the left (West)



Neighbor to the right (East)



Neighbor to the right (East)



Neighbor across the street



Neighbor down the block (West)



Neighbor down the block (West)



PROPOSED FRONT (SOUTH) ELEVATION



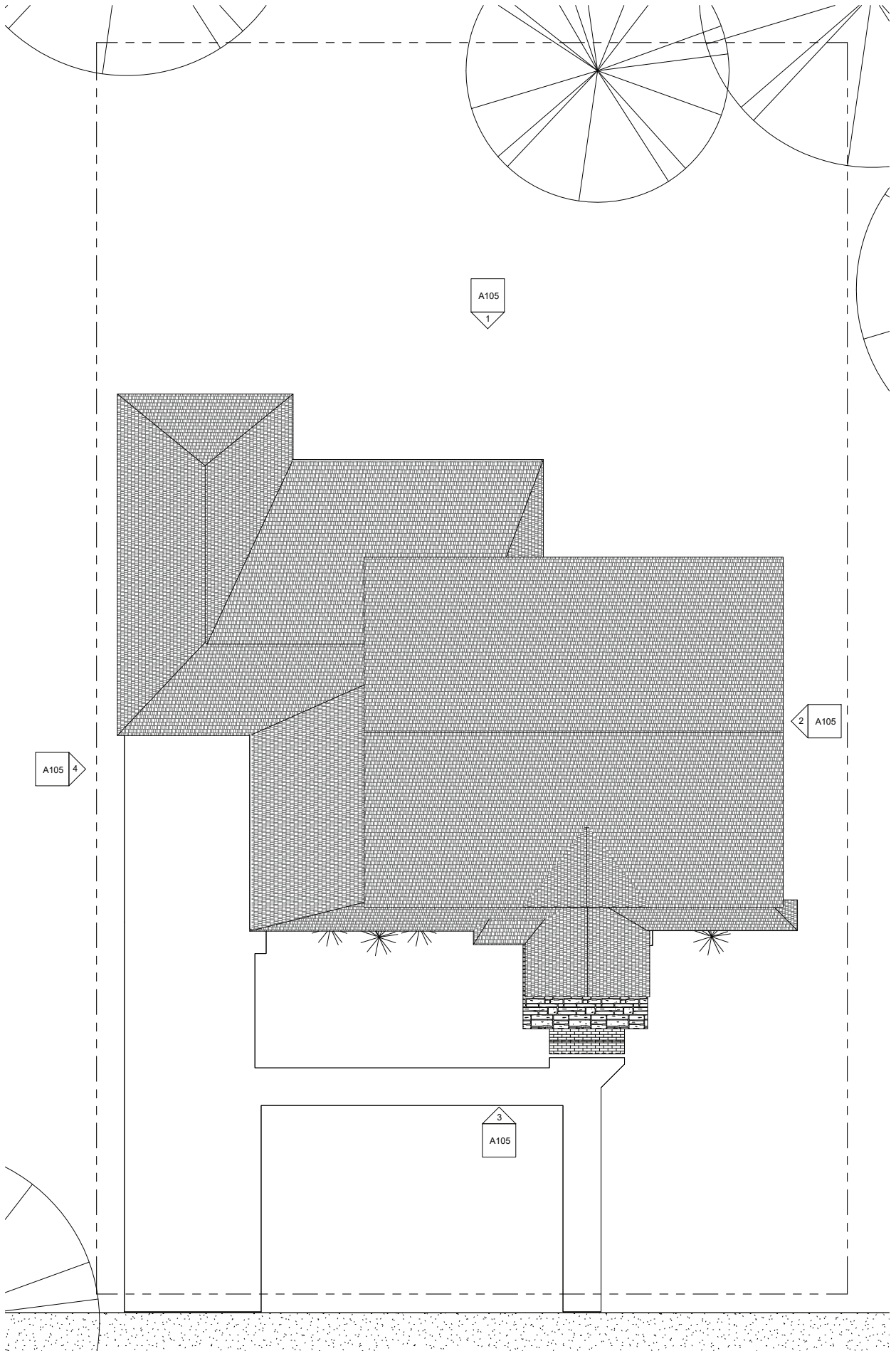
PROPOSED FRONT (SOUTHWEST) CORNER



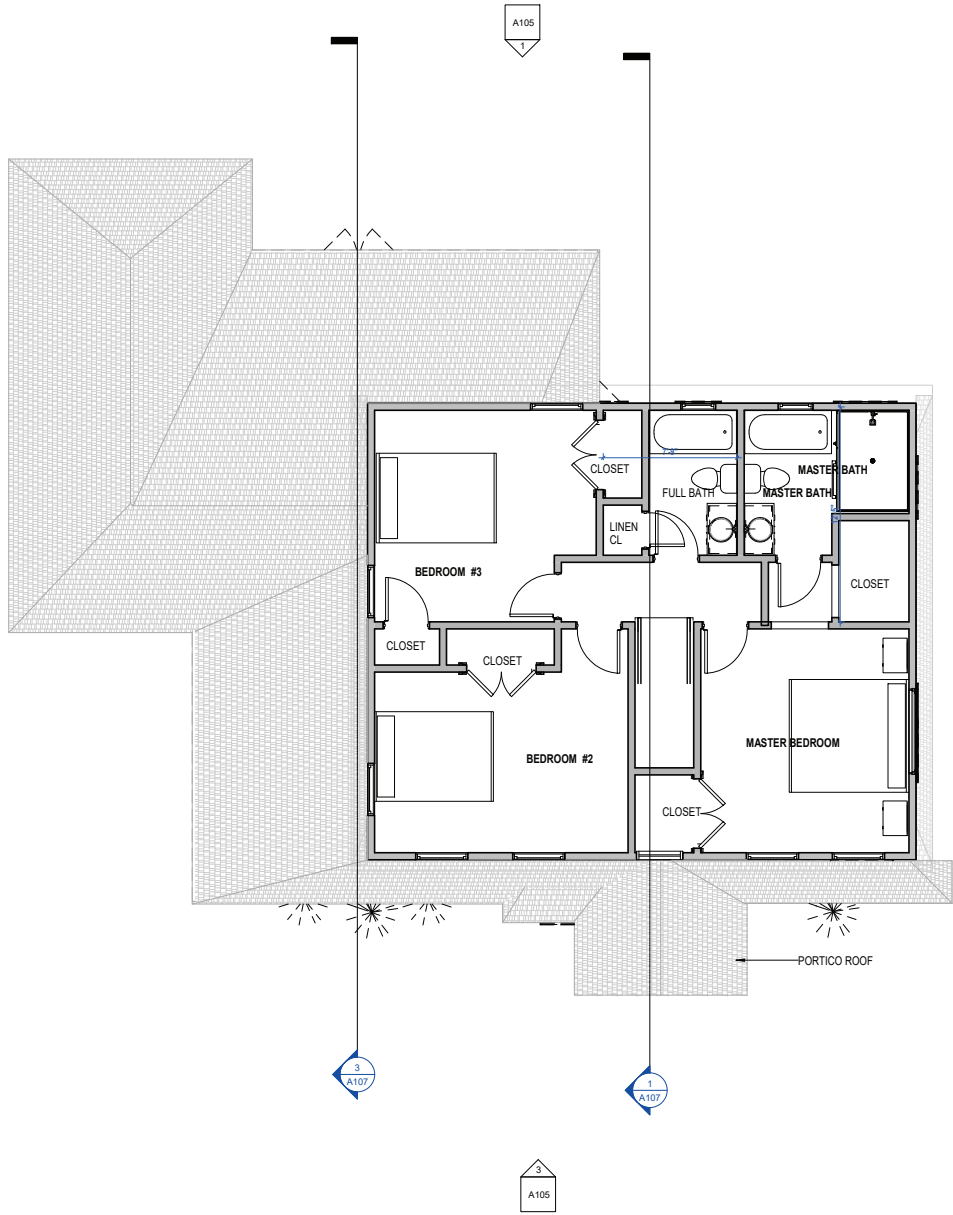
PROPOSED FRONT (SOUTHEAST) CORNER



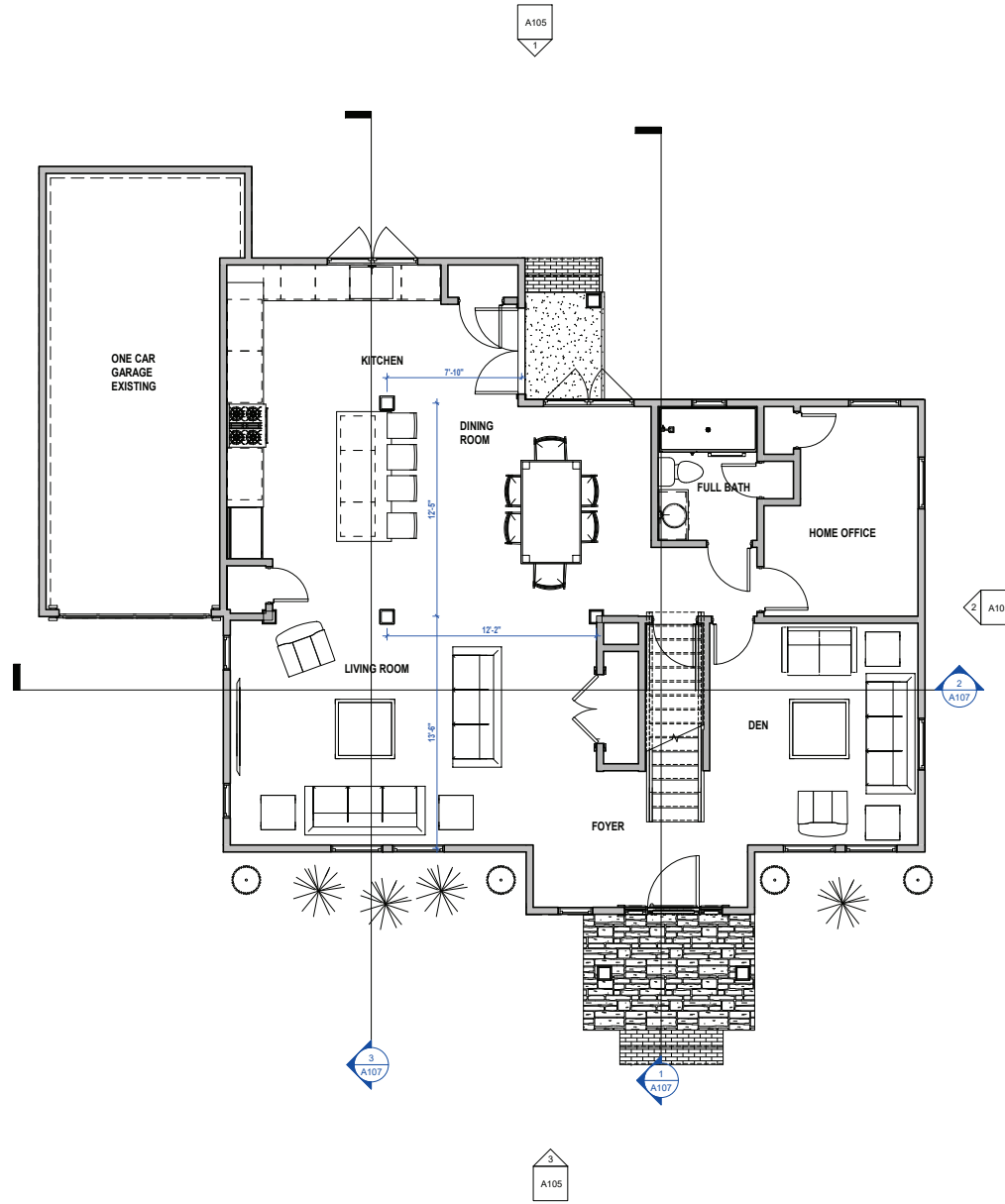
PROPOSED REAR (NORTHEAST) CORNER



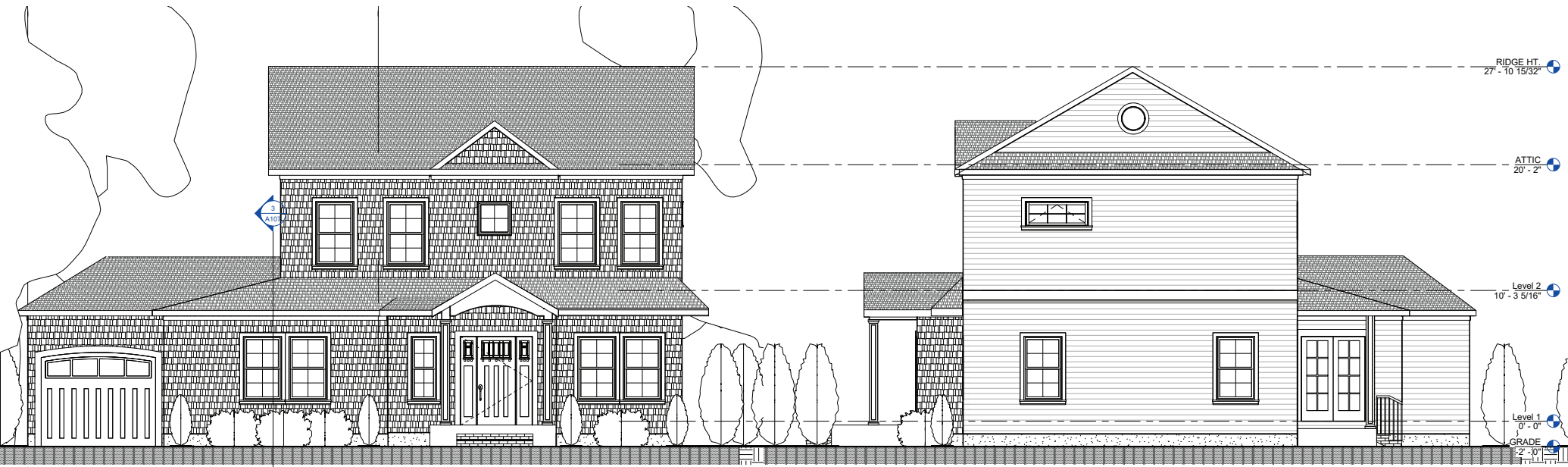
① SITE PLAN
3/16" = 1'-0"



② SECOND FLOOR PLAN
 1/4" = 1'-0"



① FIRST FLOOR PLAN
 1/4" = 1'-0"



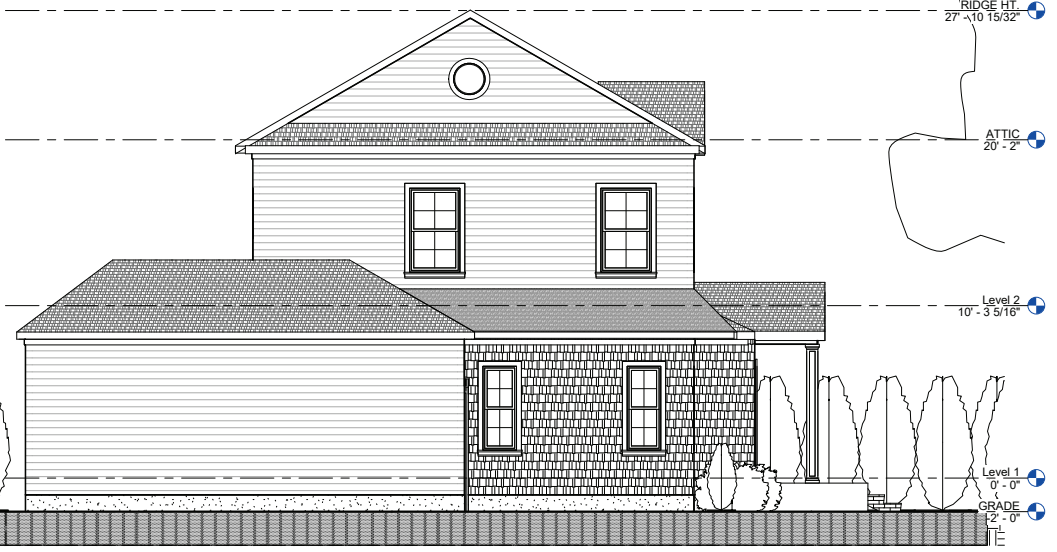
③ FRONT (SOUTH) ELEVATION
1/4" = 1'-0"

② SIDE (EAST) ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE		
MATERIAL	MANUFACTURER	COLOR / SPEC.
ROOF		
ASPHALT SHINGLES	GAF TIMBERLINE HD	CHARCOAL
SIDING	CERTAINTED COLONIAL WHITE	CEDAR IMPRESSIONS 7" STRAIGHT CUT (FRONT) MARKSTREET DOUBLE 5" SIDE AND REAR
CORNER MOULDINGS		COLOR = WHITE
COLUNNS	HB&C	SQUARE BUSH 2" TENACITY 8" TIGER GAP & BASE
RAILING	CUSTOM	STEEL - METALIZED - POWDERCOAT COLOR: DARK BRONZE
ALL TRIM	ADD	3 1/2" WRAPPED WINDOW TRIM (WHITE)



① REAR (NORTH) ELEVATION
1/4" = 1'-0"



④ SIDE (WEST) ELEVATION
1/4" = 1'-0"

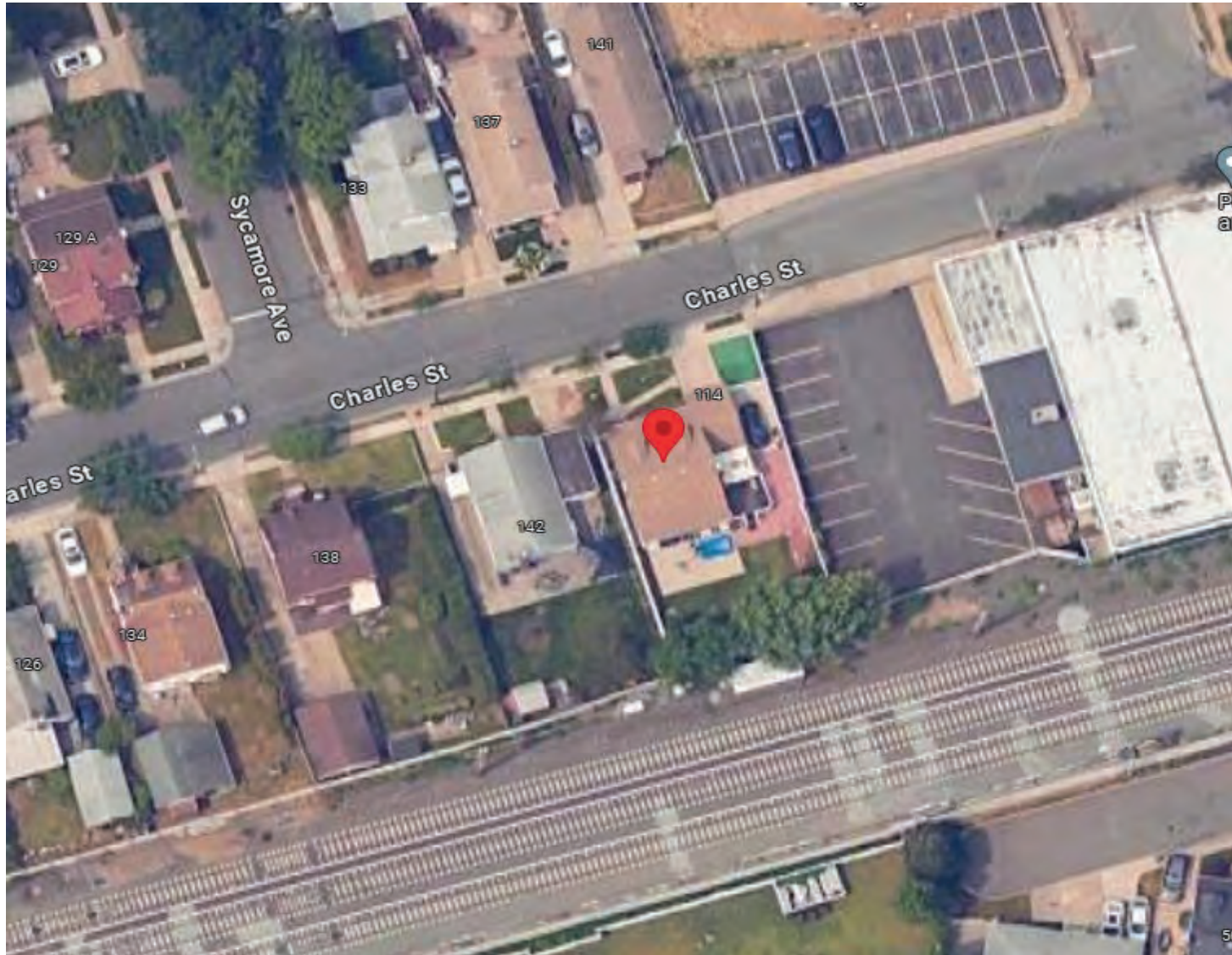
EXTERIOR FINISH SCHEDULE

MATERIAL	MANUFACTURER	COLOR / SPEC
ROOF ASPHALT SHINGLES	GAF TIMBERLINE HD	CHARCOAL
SIDING	CERTAINTED COLONIAL WHITE	CEDAR IMPRESSIONS 7" STRAIGHT CUT (FRONT MAINSTREET DOUBLE 5" SIDE AND REAR
CORNER MOULDINGS		COLOR = WHITE
COLUMNS	HB&G	SQUARE 8X8X 8' 'PERMACAST' & TUSCAN CAP & BASE
RAILING	CUSTOM	STEEL - METALIZED -POWDERCOAT COLOR: DARK BRONZE
ALL TRIM	AZEK	3 1/2" WRAPPED WINDOW TRIM (WHITE)

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
3	8:35 p.m.	150	Charles Street	Solar	Trinity Solar	Roy Shawon



150 Charles Street (Aerial View)



INSTALLATION OF NEW ROOF MOUNTED PV SOLAR SYSTEM

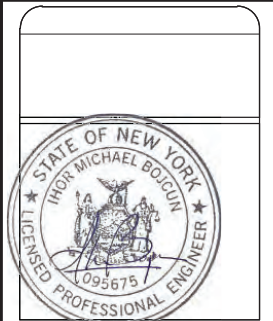
150 CHARLES STREET
FLORAL PARK, NY 11001

CHARLES STREET



VICINITY MAP
SCALE: NTS

SITE



Issued / Revisions

NO.	DESCRIPTION	DATE
P1	ISSUED TO TOWNSHIP FOR PERMIT	2/6/2024

Project Title:

ROY, MOWMITA-
TRINITY ACCT #: 2023-12-985649

Project Address:

150 CHARLES STREET
FLORAL PARK, NY 11001
40.7279359, -73.693973

Drawing Title:

PROPOSED PV SOLAR SYSTEM

Drawing Information

DRAWING DATE: 2/6/2024
DRAWN BY: RK
REVISED BY:

System Information:

DC SYSTEM SIZE: 7.695KW
AC SYSTEM SIZE: 6KW
MODULE COUNT: 19
MODULES USED: HANWHA 405
MODULE SPEC #: Q,PEAK DUO BLK ML-G10+ 405
UTILITY COMPANY: PSEG-LI
UTILITY ACCT #: 5157624308
UTILITY METER #: 98415625
DEAL TYPE: SUNNOVA

Rev. No.	Sheet
P1	PV - 1



2211 Allenwood Road 877-786-7283
Wall, New Jersey 07719 www.Trinity-Solar.com

GENERAL NOTES

- THE INSTALLATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL EQUIPMENT AND FOLLOWING ALL DIRECTIONS AND INSTRUCTIONS CONTAINED IN THE DRAWING PACKAGE AND INFORMATION RECEIVED FROM TRINITY.
- THE INSTALLATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL EQUIPMENT AND FOLLOWING ALL DIRECTIONS AND INSTRUCTION CONTAINED IN THE COMPLETE MANUAL.
- THE INSTALLATION CONTRACTOR IS RESPONSIBLE FOR READING AND UNDERSTANDING ALL DRAWINGS, COMPONENT AND INVERTER MANUALS PRIOR TO INSTALLATION. THE INSTALLATION CONTRACTOR IS ALSO REQUIRED TO HAVE ALL COMPONENT SWITCHES IN THE OFF POSITION AND FUSES REMOVED PRIOR TO THE INSTALLATION OF ALL FUSE BEARING SYSTEM COMPONENTS.
- ONCE THE PHOTOVOLTAIC MODULES ARE MOUNTED, THE INSTALLATION CONTRACTOR SHOULD HAVE A MINIMUM OF ONE ELECTRICIAN WHO HAS ATTENDED A SOLAR PHOTOVOLTAIC INSTALLATION COURSE ON SITE.
- FOR SAFETY, IT IS RECOMMENDED THAT THE INSTALLATION CREW ALWAYS HAVE A MINIMUM OF TWO PERSONS WORKING TOGETHER AND THAT EACH OF THE INSTALLATION CREW MEMBERS BE TRAINED IN FIRST AID AND CPR.
- THIS SOLAR PHOTOVOLTAIC SYSTEM IS TO BE INSTALLED FOLLOWING THE CONVENTIONS OF THE NATIONAL ELECTRICAL CODE, ANY LOCAL CODE WHICH MAY SUPERSEDE THE NEC SHALL GOVERN.
- ALL SYSTEM COMPONENTS TO BE INSTALLED WITH THIS SYSTEM ARE TO BE "UL" LISTED, ALL EQUIPMENT WILL BE NEMA 3R OUTDOOR RATED UNLESS INDORS.

GENERAL NOTES

IF ISSUED DRAWING IS MARKED WITH A REVISION CHARACTER OTHER THAN "A", PLEASE BE ADVISED THAT FINAL EQUIPMENT AND/OR SYSTEM CHARACTERISTICS ARE SUBJECT TO CHANGE DUE TO AVAILABILITY OF EQUIPMENT.

***NOTE: TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE 2020 NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND ALL SUPPLEMENTS.

GENERAL NOTES CONTINUED

- THE DC VOLTAGE FROM THE PANELS IS ALWAYS PRESENT AT THE DC DISCONNECT ENCLOSURE AND THE DC TERMINALS OF THE INVERTER DURING DAYLIGHT HOURS. ALL PERSONS WORKING ON OR INVOLVED WITH THE PHOTOVOLTAIC SYSTEM ARE WARNED THAT THE SOLAR MODULES ARE ENERGIZED WHENEVER THEY ARE EXPOSED TO LIGHT.
- ALL PORTIONS OF THIS SOLAR PHOTOVOLTAIC SYSTEM SHALL BE MARKED CLEARLY IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE ARTICLE 690 & 705.
- PRIOR TO THE INSTALLATION OF THIS PHOTOVOLTAIC SYSTEM, THE INSTALLATION CONTRACTOR SHALL ATTEND A PRE-INSTALLATION MEETING FOR THE REVIEW OF THE INSTALLATION PROCEDURES, SCHEDULES, SAFETY AND COORDINATION.
- PRIOR TO THE SYSTEM START UP THE INSTALLATION CONTRACTOR SHALL ASSIST IN PERFORMING ALL INITIAL HARDWARE CHECKS AND DC WIRING CONDUCTIVITY CHECKS.
- FOR THE PROPER MAINTENANCE AND ISOLATION OF THE INVERTERS REFER TO THE ISOLATION PROCEDURES IN THE OPERATION MANUAL.
- THE LOCATION OF PROPOSED ELECTRIC AND TELEPHONE UTILITIES ARE SUBJECT TO FINAL APPROVAL OF THE APPROPRIATE UTILITY COMPANIES AND OWNERS.
- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREIN SHALL BE IN ACCORDANCE WITH:
 - CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.

GENERAL NOTES CONTINUED

- B) CURRENT PREVAILING UTILITY COMPANY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS THIS SET OF PLANS HAVE BEEN PREPARED FOR THE PURPOSE OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. ONCE APPROVED, THE INSTALLATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL SYSTEM COMPONENTS AS DESCRIBED IN THE DRAWING PACKAGE.
- ALL INFORMATION SHOWN MUST BE CERTIFIED PRIOR TO USE FOR CONSTRUCTION ACTIVITIES.

ABBREVIATIONS

AMP AMPERE
AC ALTERNATING CURRENT
AL ALUMINUM
AF AMP. FRAME
AFF ABOVE FINISHED FLOOR
AFB ABOVE FINISHED GRADE
AWG AMERICAN WIRE GAUGE
C CONDUIT (GENERIC TERM OF RACEWAY, PROVIDE AS SPECIFIED)
CB COMBIBER BOX
CKT CIRCUIT
CT CURRENT TRANSFORMER
CU COPPER
DC DIRECT CURRENT
DISC DISCONNECT SWITCH
DWG DRAWING
EC ELECTRICAL SYSTEM INSTALLER
EMT ELECTRICAL METALLIC TUBING
FS FUSIBLE SWITCH
FU FUSE
GND GROUND
GFI GROUND FAULT INTERRUPTER
HZ FREQUENCY (CYCLES PER SECOND)

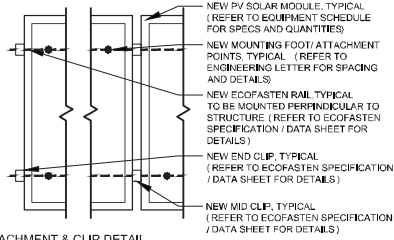
ABBREVIATIONS CONTINUED

JB JUNCTION BOX
KMIL THOUSAND CIRCULAR MILS
KVA KILOVOLT AMPERE
KW KILO-WATT
KWH KILO-WATT HOUR
L LINE
MCB MAIN CIRCUIT BREAKER
MDP MAIN DISTRIBUTION PANEL
MLO MAIN LUG ONLY
MTD MOUNTED
MTG MOUNTING
N NEUTRAL
NEC NATIONAL ELECTRICAL CODE
NIC NOT IN CONTRACT
NO # NUMBER
NTS NOT TO SCALE
OCP OVER CURRENT PROTECTION
P POLE
PB PULL BOX
PH ∅ PHASE
PVC POLY-VINYL CHLORIDE CONDUIT
PWR POWER
QTY QUANTITY
RGS RIGID GALVANIZED STEEL
SN SOLID NEUTRAL
JSWBD SWITCHBOARD
TYP TYPICAL
U.O.I. UNLESS OTHERWISE INDICATED
WP WEATHERPROOF
XFMR TRANSFORMER
+72 MOUNT 72 INCHES TO BOTTOM OF ABOVE FINISHED FLOOR OR GRADE

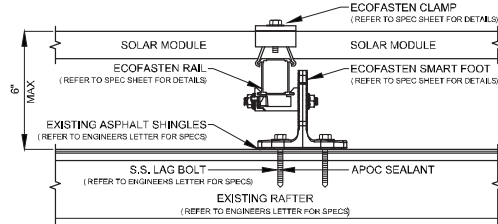
SHEET INDEX

- PV-1 COVER SHEET W/ SITE INFO & NOTES
PV-2 ROOF PLAN W/ MODULE LOCATIONS
PV-3 SITE PLAN
PV-4 ELEVATION DETAILS
PV-5 ELEVATION DETAILS
PV-6 ELEVATION DETAILS
PV-7 ELECTRICAL 3 LINE DIAGRAM
AP APPENDIX

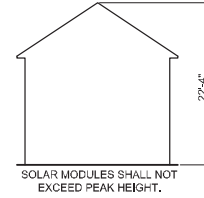
NOTES: *REFER TO MODULE SPECS FOR MODULE DIMENSIONS
 *DEPICTED MODULES MAY BE PORTRAIT OR LANDSCAPE



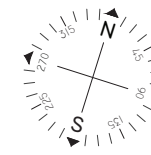
ATTACHMENT & CLIP DETAIL
 SCALE: NOT TO SCALE



PV MODULE ATTACHMENT ON ASPHALT SHINGLE ROOF
 SCALE: NOT TO SCALE



HEIGHT FROM GROUND LEVEL TO PEAK OF ROOF
 SCALE: NOT TO SCALE



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NO.	DESCRIPTION	DATE
P1	ISSUED TO TOWNSHIP FOR PERMIT	2/6/2024

Project Title:

ROY, MOWMITA-
 TRINITY ACCT #: 2023-12-985649

Project Address:

150 CHARLES STREET
 FLORAL PARK, NY 11001
 40.7279359, -73.693973

Drawing Title:

PROPOSED PV SOLAR SYSTEM

Drawing Information

DRAWING DATE: 2/6/2024
 DRAWN BY: RK
 REVISED BY:

System Information:

DC SYSTEM SIZE: 7.695KW
 AC SYSTEM SIZE: 6KW
 MODULE COUNT: 19
 MODULES USED: HANWHA 405
 MODULE SPEC #: Q,PEAK DUO BLK ML-G10+ 405
 UTILITY COMPANY: PSEG-LI
 UTILITY ACCT #: 5157624308
 UTILITY METER #: 98415625
 DEAL TYPE: SUNNOVA

Rev. No.

P1

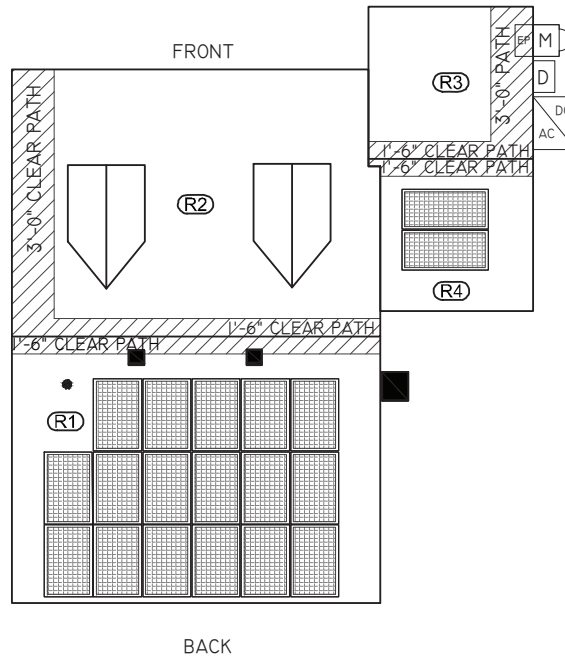
Sheet

PV - 2



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ARRAY SCHEDULE



NOTES:

- 1) ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 2) ARRAY BONDING TO COMPLY WITH MANUFACTURER SPECIFICATION.
- 3) ALL LOCATIONS ARE APPROXIMATE AND REQUIRE FIELD VERIFICATION.
- 4) AN AC DISCONNECT SHALL BE GROUPED WITH INVERTER (S) NEC 690.13 (E).
- 5) ALL OUTDOOR EQUIPMENT SHALL BE RAIN TIGHT WITH MINIMUM NEMA 3R RATING.
- 6) ROOFTOP SOLAR INSTALLATION ONLY PV ARRAY SHALL NOT EXTEND BEYOND THE EXISTING ROOF EDGE.

SYMBOL LEGEND

(R1)	INDICATES ROOF DESIGNATION . REFER TO ARRAY SCHEDULE FOR MORE INFORMATION	UD	INDICATES NEW UNFUSED PV DISCONNECT TO BE INSTALLED OUTSIDE (UTILITY ACCESSIBLE)	SP	INDICATES NEW PV ONLY SUBPANEL TO BE INSTALLED
(M)	INDICATES EXISTING METER LOCATION	[Red Box]	INDICATES NEW PV SOLAR MODULE, RED MODULES INDICATE PANELS THAT USE MICRO INVERTERS. REFER TO EQUIPMENT SCHEDULE FOR SPECS.	DC	INDICATES NEW DC DISCONNECT
(EP)	INDICATES EXISTING ELECTRICAL PANEL LOCATION INSIDE	(P)	INDICATES NEW PRODUCTION METER TO BE INSTALLED OUTSIDE.	(SD)	INDICATES EXISTING SERVICE DISCONNECT
(D)	INDICATES NEW FUSED PV DISCONNECT TO BE INSTALLED OUTSIDE (UTILITY ACCESSIBLE)	(DC/AC)	INDICATES NEW INVERTER TO BE INSTALLED OUTSIDE. REFER TO EQUIPMENT SCHEDULE FOR SPECS	(TS)	INDICATES EXISTING TRANSFER SWITCH

PLUMBING SCHEDULE

OTHER OBSTRUCTIONS

EQUIPMENT SCHEDULE

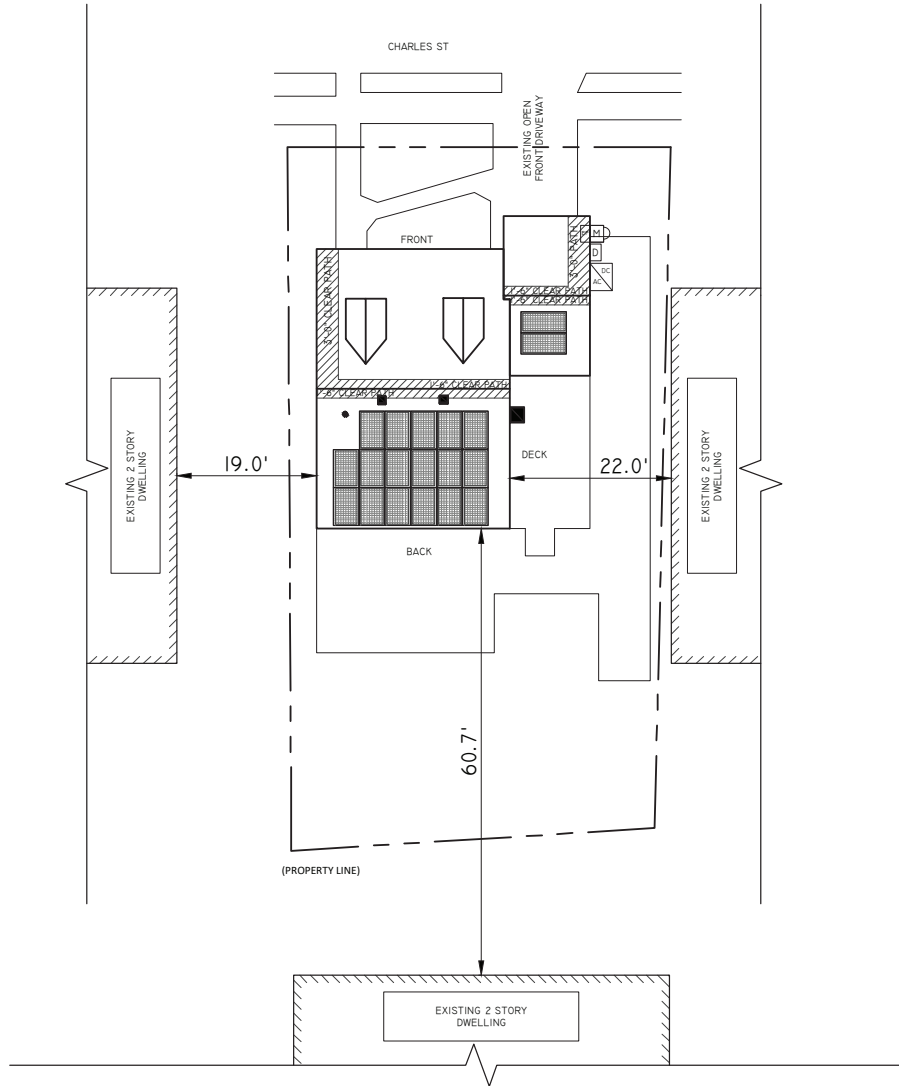
QTY	SPEC #
19	HANWHA 405 (Q,PEAK DUO BLK ML-G10+ 405)
1	SE6000H-US000BE4

ROOF 1
 MODULES: 17
 PITCH: 34
 ORIENTATION: 163

ROOF 2
 MODULES: 0
 PITCH: 34
 ORIENTATION: 343

ROOF 3
 MODULES: 0
 PITCH: 34
 ORIENTATION: 343

ROOF 4
 MODULES: 2
 PITCH: 34
 ORIENTATION: 163



Engineer / License Holder:



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Project Address:

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FLORAL PARK, NY 11001
40.7279359, -73.693973

Drawing Title:

PROPOSED PV SOLAR SYSTEM

Drawing Information

DRAWING DATE: 2/6/2024
DRAWN BY: RK
REVISED BY:

System Information:

DC SYSTEM SIZE: 7.695KW
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MODULE COUNT: 19
MODULES USED: HANWHA 405
MODULE SPEC #: Q,PEAK DUO BLK ML-G10+ 405
UTILITY COMPANY: PSEG-LI
UTILITY ACCT #: 5157624308
UTILITY METER #: 98415625
DEAL TYPE: SUNNOVA

Rev. No.

P1

Sheet


PV - 3





NORTH ELEVATION
SCALE: 1/4"=1'-0"

Engineer / License Holder:



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Project Title:
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TRINITY ACCT #: 2023-12-985649

Project Address:
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40.7279359, -73.693973

Drawing Title:
PROPOSED PV SOLAR SYSTEM


Drawing Information

DRAWING DATE:	2/6/2024
DRAWN BY:	RK
REVISED BY:	

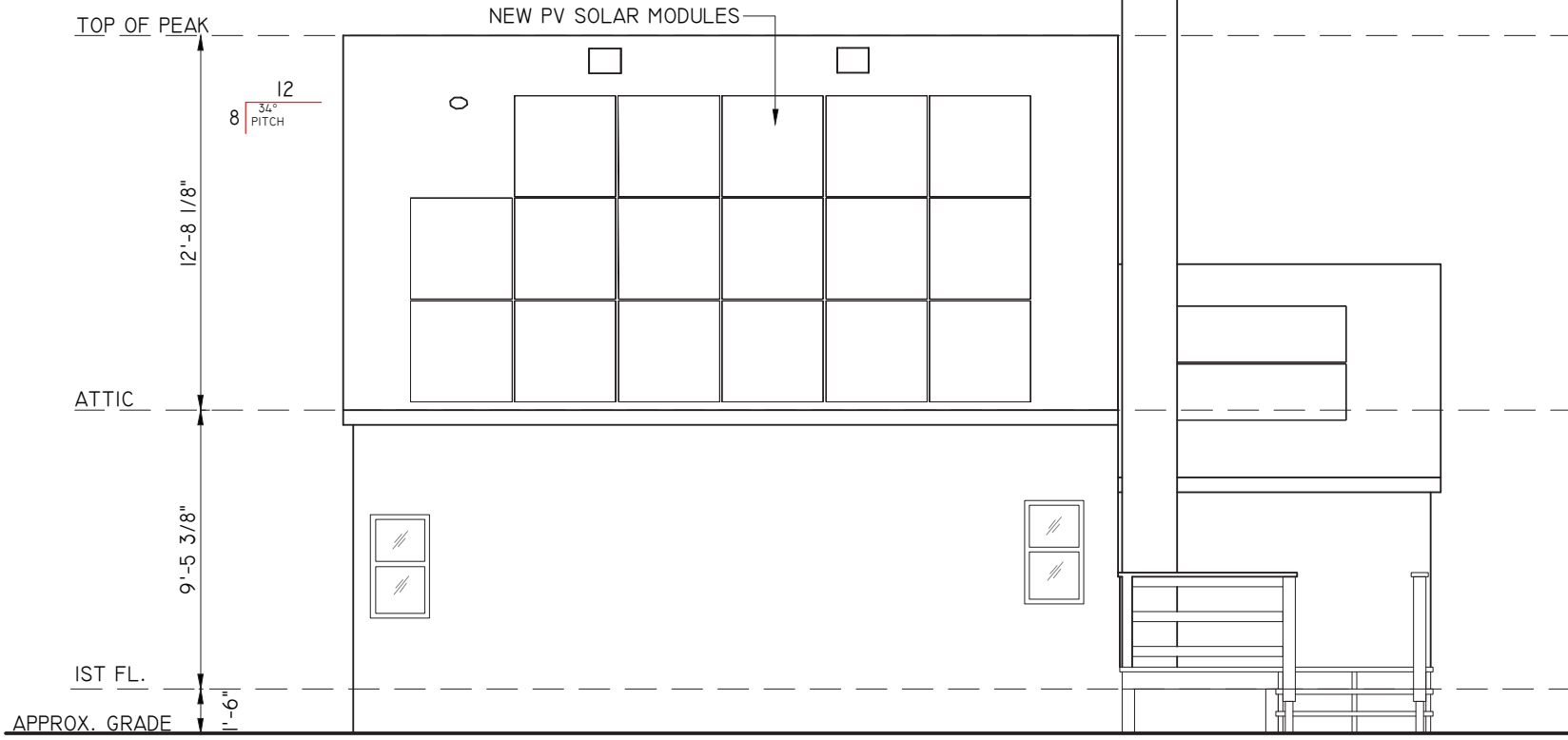
System Information:

DC SYSTEM SIZE:	7.695KW
AC SYSTEM SIZE:	6KW
MODULE COUNT:	19
MODULES USED:	HANWHA 405
MODULE SPEC #:	Q,PEAK DUO BLK ML-G10+ 405
UTILITY COMPANY:	PSEG-LI
UTILITY ACCT #:	5157624308
UTILITY METER #:	98415625
DEAL TYPE:	SUNNOVA

Rev. No.	Sheet
P1	PV - 4



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NO.	DESCRIPTION	DATE

Project Title:
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 TRINITY ACCT #: 2023-12-985649

Project Address:
 150 CHARLES STREET
 FLORAL PARK, NY 11001
 40.7279359, -73.693973

Drawing Title:
PROPOSED PV SOLAR SYSTEM

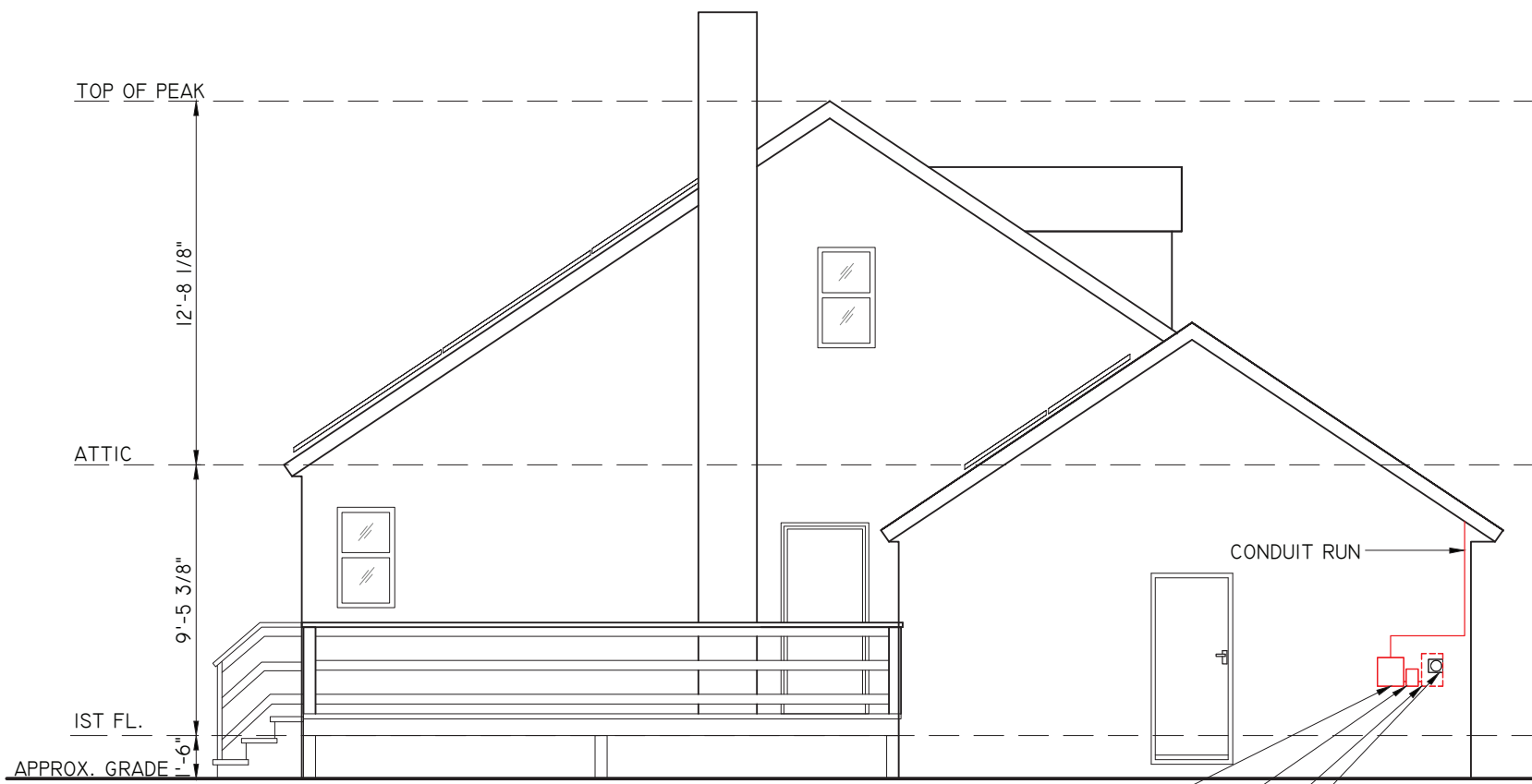
Drawing Information
 DRAWING DATE: 2/6/2024
 DRAWN BY: RK
 REVISED BY:

System Information:
 DC SYSTEM SIZE: 7.695KW
 AC SYSTEM SIZE: 6KW
 MODULE COUNT: 19
 MODULES USED: HANWHA 405
 MODULE SPEC #: Q,PEAK DUO BLK ML-G10+ 405
 UTILITY COMPANY: PSEG-LI
 UTILITY ACCT #: 5157624308
 UTILITY METER #: 98415625
 DEAL TYPE: SUNNOVA

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P1	PV - 5

SOUTH ELEVATION
 SCALE: 1/4"=1'-0"

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***NOTE: PV DISCONNECT TO BE INSTALLED
<6'-7" TO CENTER OF HANDLE (NEC 404.8)

- PROPOSED INVERTER LOCATED OUTSIDE
(REFER TO S-001 FOR SPECS)
- PROPOSED PV AC DISCONNECT
LOCATED OUTSIDE
- EXISTING METER
LOCATED OUTSIDE
- EXISTING ELECTRIC PANEL
LOCATED INSIDE HOUSE

EAST ELEVATION
SCALE: 1/4"=1'-0"

Engineer / License Holder:



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P1	ISSUED TO TOWNSHIP FOR PERMIT	2/6/2024
NO.	DESCRIPTION	DATE

Project Title:
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TRINITY ACCT #: 2023-12-985649

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UTILITY ACCT #:	5157624308
UTILITY METER #:	98415625
DEAL TYPE:	SUNNOVA

Rev. No.	Sheet
P1	PV - 6



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ARRAY CIRCUIT WIRING NOTES
1.) LICENSED ELECTRICIAN ASSUMES ALL RESPONSIBILITY FOR DETERMINING ONSITE CONDITIONS AND EXECUTING INSTALLATION IN ACCORDANCE WITH NEC 2017

2.) LOWEST EXPECTED AMBIENT TEMPERATURE BASED ON ASHRAE MINIMUM MEAN EXTREME DRY BULB TEMPERATURE FOR ASHRAE LOCATION MOST SIMILAR TO INSTALLATION LOCATION. LOWEST EXPECTED AMBIENT TEMP = -16°C

3.) HIGHEST CONTINUOUS AMBIENT TEMPERATURE BASED ON ASHRAE HIGHEST MONTH 2% DRY BULB TEMPERATURE FOR ASHRAE LOCATION MOST SIMILAR TO INSTALLATION LOCATION. HIGHEST CONTINUOUS TEMP = 33°C

4.) 2005 ASHRAE FUNDAMENTALS 2% DESIGN TEMPERATURES DO NOT EXCEED 47°C IN THE UNITED STATES (PALM SPRINGS, CA IS 44.1°C). FOR LESS THAN 9 CURRENT-CARRYING CONDUCTORS IN A ROOF-MOUNTED SUNLIT CONDUIT AT LEAST 0.5" ABOVE ROOF AND USING THE OUTDOOR DESIGN TEMPERATURE OF 47°C OR LESS (ALL OF UNITED STATES)

5.) PV SYSTEM CIRCUITS INSTALLED ON OR IN BUILDINGS SHALL INCLUDE A RAPID SHUTDOWN FUNCTION THAT CONTROLS SPECIFIC CONDUCTORS IN ACCORDANCE WITH NEC 690.12(A) THROUGH (D)

6.) PHOTOVOLTAIC POWER SYSTEMS SHALL BE PERMITTED TO OPERATE WITH UNGROUNDED PHOTOVOLTAIC SOURCE AND OUTPUT CIRCUIT AS PER **NEC 690.41 (A)(4)**

7.) UNGROUNDED DC CIRCUIT CONDUCTORS SHALL BE IDENTIFIED WITH THE FOLLOWING OUTER FINISH:
 POSITIVE CONDUCTORS = RED
 NEGATIVE CONDUCTORS = BLACK
NEC 210.5(C)(2)

8.) ARRAY AND SUB ARRAY CONDUCTORS SHALL BE #10 PV WIRE TYPE RHW-2 OR EQUIVELANT AND SHALL BE PROTECTED BY CONDUIT WHERE EXPOSED TO DIRECT SUNLIGHT. SUB-ARRAY CONDUIT LONGER THAN 24" SHALL CONTAIN ≤ 20 CURRENT CARRYING CONDUCTORS AND WHERE EXPOSED TO DIRECT SUNLIGHT SHALL CONTAIN ≤ 9 CURRENT CARRYING CONDUCTORS.

9.) ALL WIRE LENGTHS SHALL BE LESS THAN 100' UNLESS OTHERWISE NOTED

10.) FLEXIBLE CONDUIT SHALL NOT BE INSTALLED ON ROOFTOP AND SHALL BE LIMITED TO 12" IF USED OUTDOORS

11.) OVERCURRENT PROTECTION FOR CONDUCTORS CONNECTED TO THE SUPPLY SIDE OF A SERVICE SHALL BE LOCATED WITHIN 10' OF THE POINT OF CONNECTION **NEC 705.31**

12.) WHERE TWO SOURCES FEED A BUSSBAR, ONE A UTILITY AND THE OTHER AN INVERTER, PV BACKFEED BREAKER(S) SHALL BE LOCATED OPPOSITE FROM UTILITY **NEC 705.12(B)(2)(3)(b)**

13.) ALL SOLAR SYSTEM LOAD CENTERS TO CONTAIN ONLY GENERATION CIRCUITS AND NO UNUSED POSITIONS OR LOADS

14.) ALL EQUIPMENT INSTALLED OUTDOORS SHALL HAVE A NEMA 3R RATING

CALCULATIONS FOR CURRENT CARRYING CONDUCTORS
 REQUIRED CONDUCTOR AMPACITY PER STRING
[NEC 690.8(B)(1)]: $(15.00 \times 1.25)1 = 18.75A$

AWG #10, DERATED AMPACITY
 AMBIENT TEMP: 33°C, TEMP DERATING FACTOR: .96
 RACEWAY DERATING = 4 CCC: 0.80
 $(40' \times 96)0.80 = 30.72A$

$30.72A \geq 18.75A$, THEREFORE WIRE SIZE IS VALID

TOTAL AC REQUIRED CONDUCTOR AMPACITY
 $25.00A \times 1.25 = 31.25A$

AWG #8, DERATED AMPACITY
 AMBIENT TEMP: 30°C, TEMP DERATING: 1.0
 RACEWAY DERATING: 3 CCC: N/A
 $55A \times 1.0 = 55A$

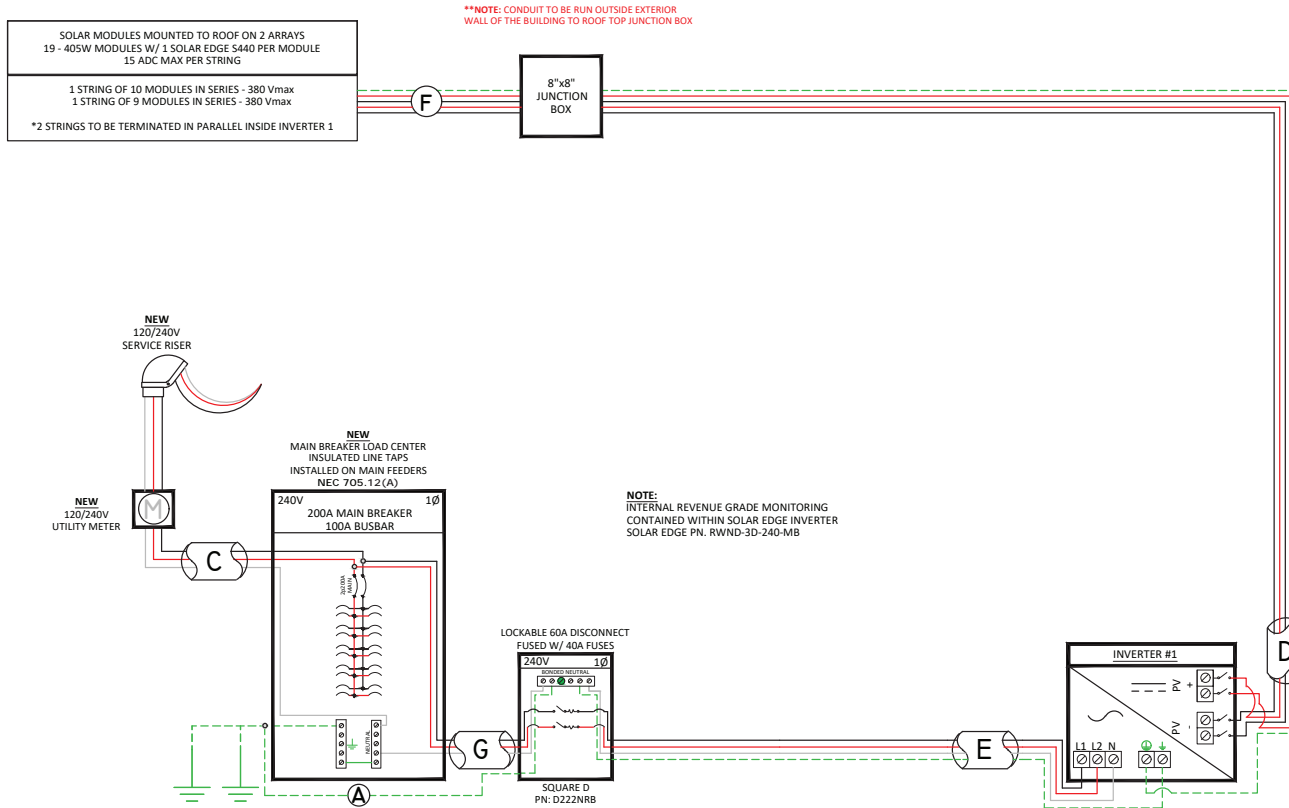
$55A \geq 31.25A$, THEREFORE AC WIRE SIZE IS VALID

CALCULATION FOR PV OVERCURRENT PROTECTION

TOTAL INVERTER CURRENT: 25.00A

$25.00A \times 1.25 = 31.25A$

-> 40A OVERCURRENT PROTECTION IS VALID



****NOTE: CONDUIT TO BE RUN OUTSIDE EXTERIOR WALL OF THE BUILDING TO ROOF TOP JUNCTION BOX**

NOTE:
 INTERNAL REVENUE GRADE MONITORING
 CONTAINED WITHIN SOLAR EDGE INVERTER
 SOLAR EDGE PN: RWND-3D-240-1/B

PV MODULE SPECIFICATIONS	
HANWHA 405 (Q, PEAK DUO BLK ML-G10+ 405)	
Imp	10.83
Vmp	37.39
Voc	45.34
Isc	11.17

INVERTER #1 - SE6000H-US000BE14			
DC		AC	
Imp	16.5	Pout	6000
Vmp	380	Imax	25
Voc	480	OCPDmin	31.25
Isc	30	Vnom	240

NOTE: CONDUIT TYPE SHALL BE CHOSEN BY THE INSTALLATION CONTRACTOR TO MEET OR EXCEED NEC AND LOCAL AHD REQUIREMENTS

A	#6 THWN-2 TO GEC
B	1" CONDUIT W/ 2-#8 THWN-2, 1-#10 THWN-2, 1-#10 THWN-2 GROUND
C	1 - 4/0 ALU SEU CABLE
D	1" CONDUIT W/ 4-#10 THWN-2, 1-#10 THWN-2 GROUND
E	1" CONDUIT W/ 2-#8 THWN-2, 1-#10 THWN-2, 1-#10 THWN-2 GROUND
F	#10 PV WIRE (FREE AIR) W/ #6 BARE COPPER BOND TO ARRAY
G	1" CONDUIT W/ 2-#6 THWN-2, 1-#6 THWN-2

Engineer / License Holder:



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 TRINITY ACCT #: 2023-12-985649

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 REVISED BY:

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 UTILITY ACCT #: 5157624308
 UTILITY METER #: 98415625
 DEAL TYPE: SUNNOVA

Rev. No.

P1

Sheet

PV - 7



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- NOTES:**
 1.) COMPLIES WITH NEC 2017
 2.) REFER TO SHEET PV-3 FOR SITE SPECIFIC VALUES REQUIRED BY NEC 690
 3.) STICKERS, LABELS, AND PLACKARDS SHALL BE OF SUFFICIENT DURRABILITY TO WITHSTAND THE ENVIROMENT INVOLVED

To be located on all DC junction boxes and every 10' on DC conduit

WARNING: PHOTOVOLTAIC POWER SOURCE
 NEC 690.31(G)



DC Junction Box



Soladeck



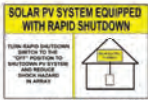
DC Conduit



NEC 690.56(C)(1)(A)



Service Disconnect



NEC 690.56(C)(1)(A)



Main Service Panel



Utility Meter Socket



Solar Meter Socket



690.56(C)(3)



NEC 690.13(B)



NEC 690.54



Photovoltaic AC Disconnect



NEC 690.54



Load Center (To Combine Inverters)



690.56(C)(3)



NEC 690.13(B)



NEC 690.4(B)



NEC 690.53



Inverter(s)



NEC 690.4(B)



NEC 690.53



DC Disconnect



NEC 690.13(B)



Enphase Envoy Box

Q.PEAK DUO BLK ML-G10+ SERIES



385-410 Wp | 132 Cells
20.9% Maximum Module Efficiency

MODEL Q.PEAK DUO BLK ML-G10+



6 busbar cell technology

12 busbar cell technology



Breaking the 20% efficiency barrier

QANTUM DUO Z Technology with zero gap cell layout boosts module efficiency up to 20.9%.



A reliable investment

Inclusive 25-year product warranty and 25-year linear performance warranty¹.



Enduring high performance

Long-term yield security with Anti LeTID Technology, Anti PID Technology² and Hot-Spot Protect.



Extreme weather rating

High-tech aluminium alloy frame, certified for high snow (5400 Pa) and wind loads (4000 Pa).



Innovative all-weather technology

Optimal yields, whatever the weather with excellent low-light and temperature behaviour.



The most thorough testing programme in the industry

Qcells is the first solar module manufacturer to pass the most comprehensive quality programme in the industry. The new "Quality Controlled PV" of the independent certification institute TÜV Rheinland.

¹ See data sheet overview for further information.
² APT test conditions according to IEC/TS 62904-2:2015, method A (-1500 V, 96h)

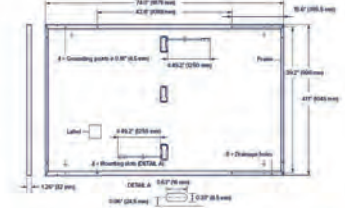
The ideal solution for:
Rooftop arrays on residential buildings



Q.PEAK DUO BLK ML-G10+ SERIES

Mechanical Specification

Format	74.0 in × 41.1 in × 1.26 in (including frame) (879 mm × 1045 mm × 32 mm)
Weight	48.5 lbs (22.0 kg)
Front Cover	0.13 in (3.2 mm) thermally pre-stressed glass with anti-reflection technology
Back Cover	Composite film
Frame	Black anodised aluminium
Cell	6 × 22 monocrystalline QANTUM solar half cells
Junction box	2.09-3.98 in × 1.26-2.36 in × 0.59-0.71 in (53-101 mm × 32-60 mm × 15-18 mm), IP67, with bypass diodes
Cable	4 mm ² Solar cable; (+) ≥ 49.2 in (1250 mm), (-) ≥ 49.2 in (1250 mm)
Connector	Stäubli MC4; IP68



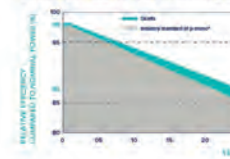
Electrical Characteristics

POWER CLASS	385	390	395	400	405	410	
MINIMUM PERFORMANCE AT STANDARD TEST CONDITIONS, STC ¹ (POWER TOLERANCE +5W/-0W)							
Power at MPP ²	P_{MPP} [W]	385	390	395	400	405	410
Short Circuit Current ³	I_{SC} [A]	11.04	11.07	11.10	11.14	11.17	11.20
Open Circuit Voltage ³	V_{OC} [V]	45.19	45.23	45.27	45.30	45.34	45.37
Current at MPP	I_{MPP} [A]	10.59	10.65	10.71	10.77	10.83	10.89
Voltage at MPP	V_{MPP} [V]	36.36	36.62	36.88	37.13	37.39	37.64
Efficiency ⁴	η [%]	≥ 19.6	≥ 19.9	≥ 20.1	≥ 20.4	≥ 20.6	≥ 20.9

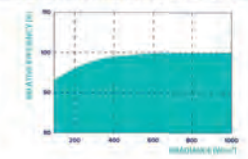
MINIMUM PERFORMANCE AT NORMAL OPERATING CONDITIONS, NMOT ²							
Power at MPP	P_{MPP} [W]	288.8	292.6	296.3	300.1	303.8	307.6
Short Circuit Current	I_{SC} [A]	8.90	8.92	8.95	8.97	9.00	9.03
Open Circuit Voltage	V_{OC} [V]	42.62	42.65	42.69	42.72	42.76	42.79
Current at MPP	I_{MPP} [A]	8.35	8.41	8.46	8.51	8.57	8.62
Voltage at MPP	V_{MPP} [V]	34.59	34.81	35.03	35.25	35.46	35.68

¹ Measurement tolerances $P_{MPP} \pm 3\%$, $I_{SC} \pm 5\%$ at STC, 1000 W/m², 25 ± 2 °C, AM 1.5 according to IEC 60904-3, ² 800 W/m², NMOT, spectrum AM 1.5

Qcells PERFORMANCE WARRANTY



PERFORMANCE AT LOW IRRADIANCE



¹ Standard terms of guarantee for the 5 PV companies with the highest production capacity in 2021 (February 2021)

² Typical module performance under real conditions in comparison to STC conditions (25°C, 1000 W/m²)

TEMPERATURE COEFFICIENTS

Temperature Coefficient of I_{SC}	α [%/K]	+0.04	Temperature Coefficient of V_{OC}	β [%/K]	-0.27
Temperature Coefficient of P_{MPP}	γ [%/K]	-0.24	Nominal Module Operating Temperature	NMOT [°F]	109 ± 5.4 (43 ± 3 °C)

Properties for System Design

Maximum System Voltage	V_{MS} [V]	1000 (IEC)/1000 (UL)	PV module classification	Class II
Maximum Series Fuse Rating	[A DC]	20	Fire Rating based on ANSI/UL61730	TYPE 2
Max. Design Load, Push/Pull ¹	[lbs/R ²]	75 (3600 Pa)/55 (2660 Pa)	Permitted Module Temperature on Continuous Duty	-40 °F up to +185 °F (-40 °C up to +85 °C)
Max. Test Load, Push/Pull ¹	[lbs/R ²]	113 (5400 Pa)/84 (4000 Pa)		

¹ See Installation Manual

Qualifications and Certificates

UL 61730, CE-compliant, Quality Controlled PV - TÜV Rheinland, IEC 61215:2016, IEC 61730:2016, U.S. Patent No. 9,893,275 (solar cells).



Qcells pursues minimizing paper output in consideration of the global environment.

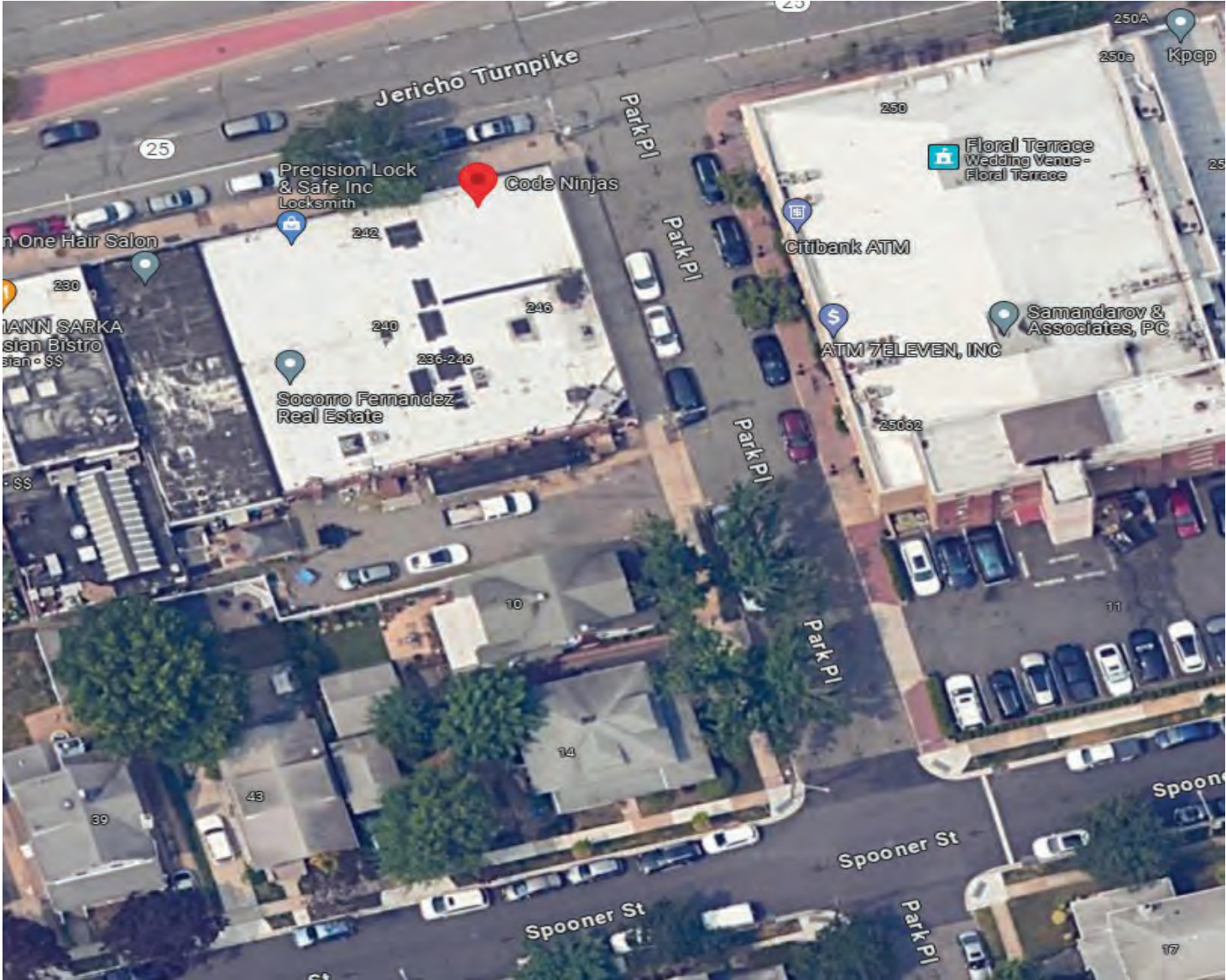
¹ Note: Installation instructions must be followed. Contact our technical service for further information on approved installation of this product.
Headline D: 03.18, Adresse Pro: 400 Spectrum Center Drive, Suite 1405, Irvine, CA 92618, USA | TEL: +1 949 748 59 96 | EMAIL: help-enquiry@qcells.com | WWW: www.qcells.com

qcells

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
4	8:40 p.m.	246	Jericho Turnpike	Sign	V & W 236-246, LLC	Digi Sign Corp.



246 Jericho Turnpike (Aerial View)



MARATHON PHYSICAL THERAPY

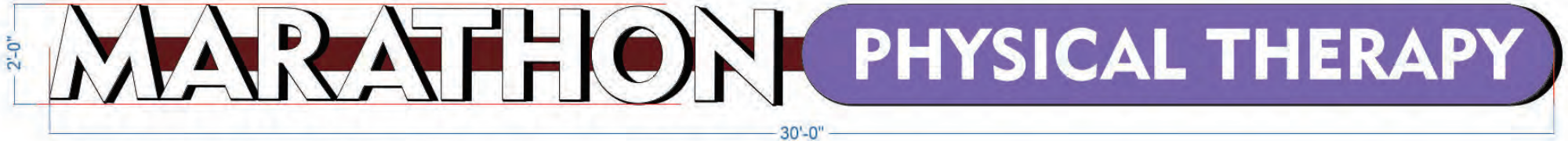
Date: 04/05/2024

Path: \\DiGi Core\

Tel:

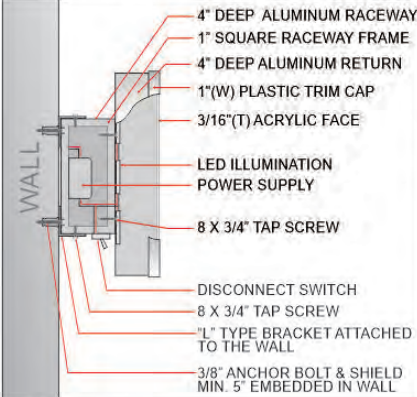
Address: 246 JERICHO TPKE, FLORAL PARK, NY 11001

▶ Channel Letters: 60 SQ.FT.(80% of building frontage)



CHANNEL LETTER INSTALL DETAIL

NTS



1081A Hempstead Tpke. Franklin Square, NY 11010
 e-mail: lidigisign@hotmail.com
 Tel: 516-616-4644 / Fax: 516-616-4658

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Approved by _____

MARATHON PHYSICAL THERAPY


Date: 04/05/2024

Path: \\DiGi Core\

Tel:

Address: 246 JERICHO TPKE, FLORAL PARK, NY 11001

▶ LIGHT BOX: 24 SQ. FT.

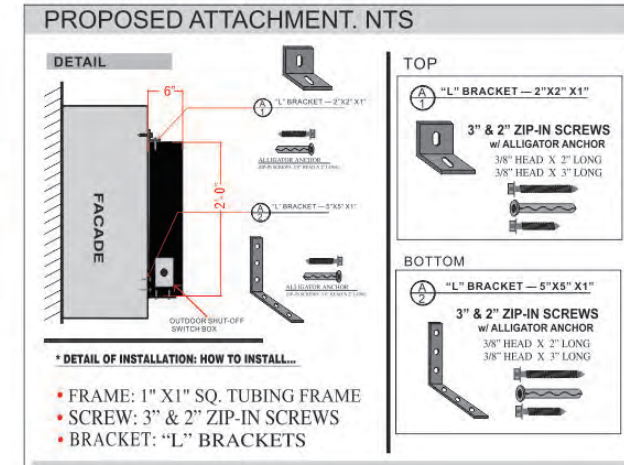


MARATHON PHYSICAL THERAPY

(516)531-7879

12'-0"

2'-0"



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 e-mail: lidigisign@hotmail.com
 Tel: 516-616-4644 / Fax: 516-616-4658

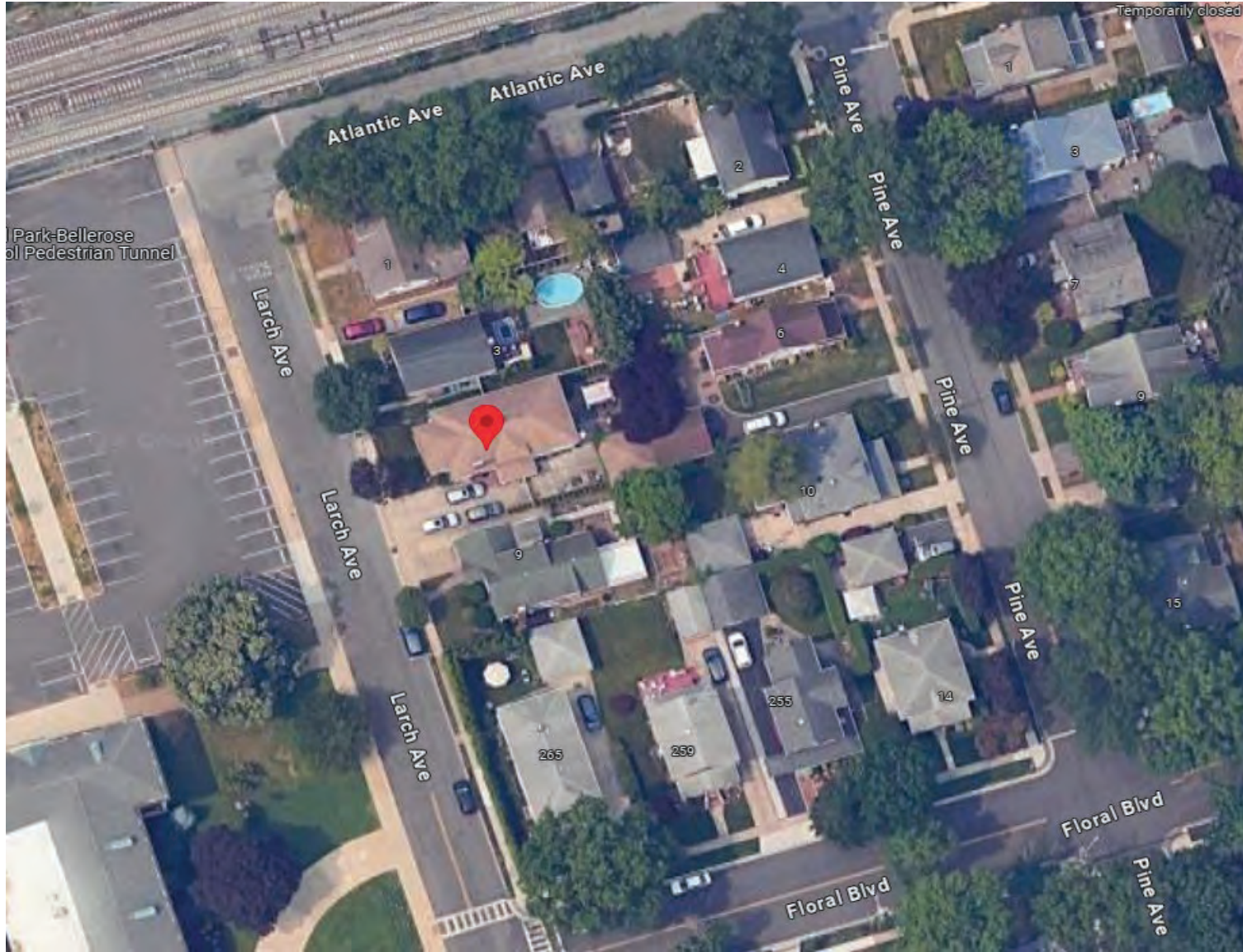
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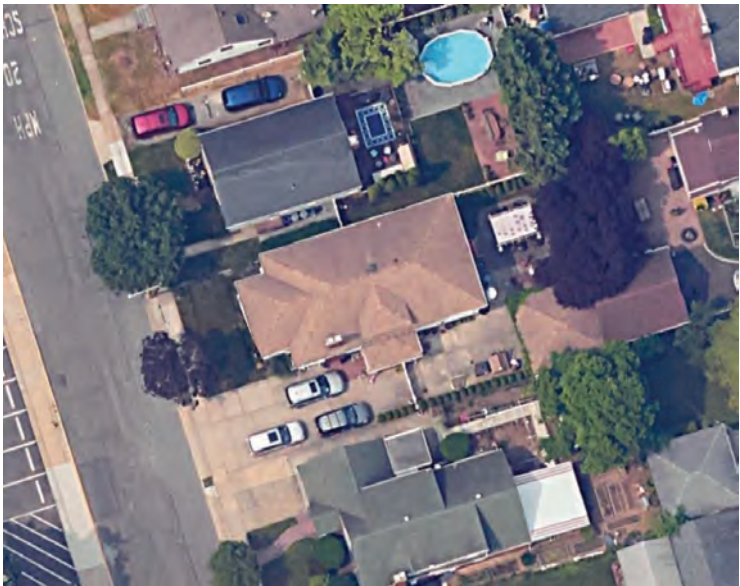
Approved by _____

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
5	8:45 p.m.	5	Larch Avenue	Garage	John O'Donnell	Bobby K Architects



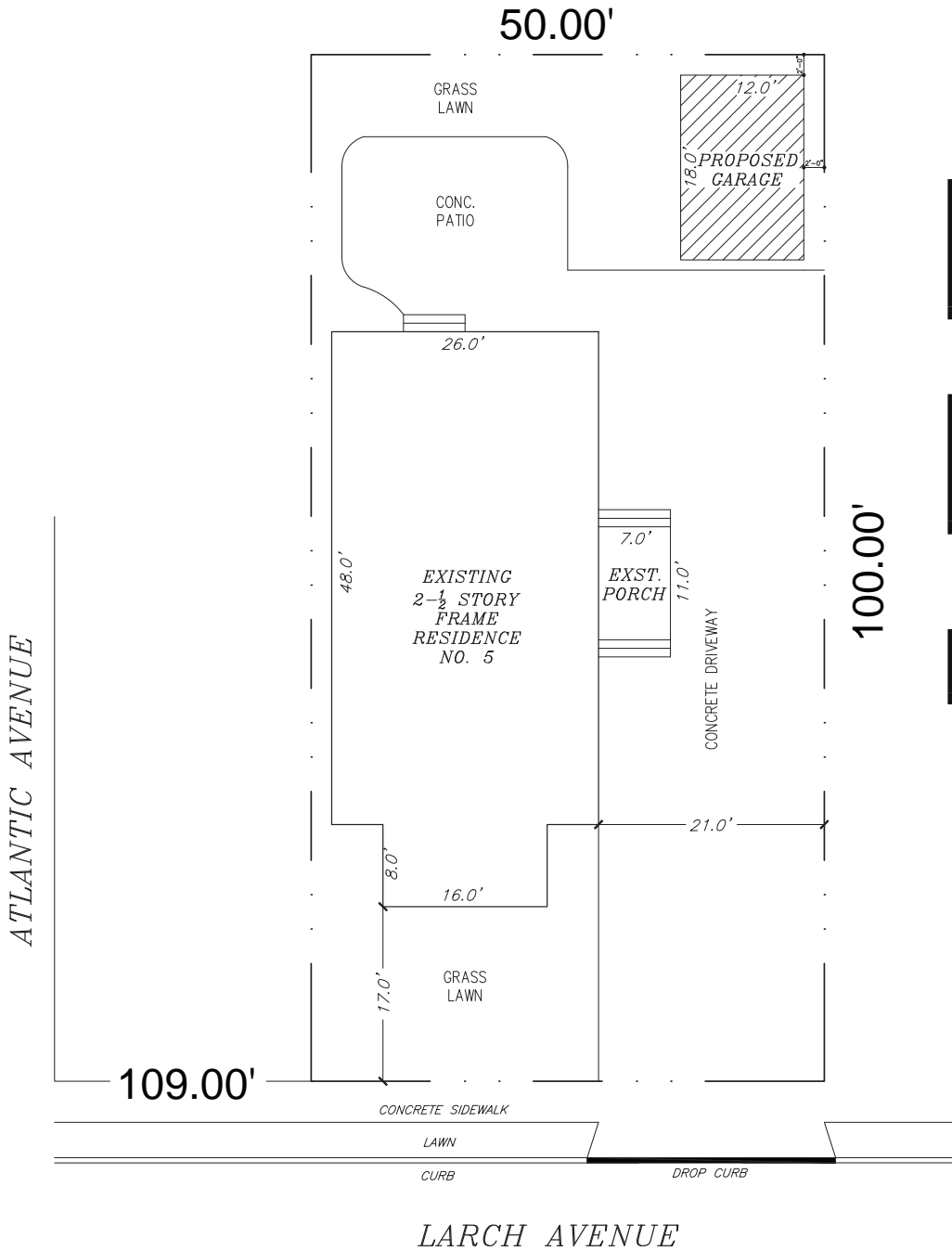
5 Larch Avenue (Aerial View)





O'Donnell Residence
5 Larch Avenue
Floral Park, New York 11001



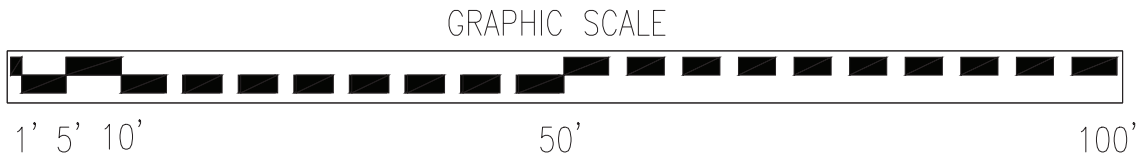
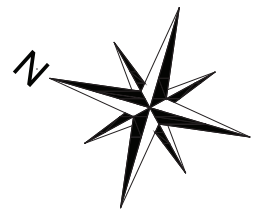


ZONING DISTRICT:
 SECTION: 32
 BLOCK: 139
 LOT: 327

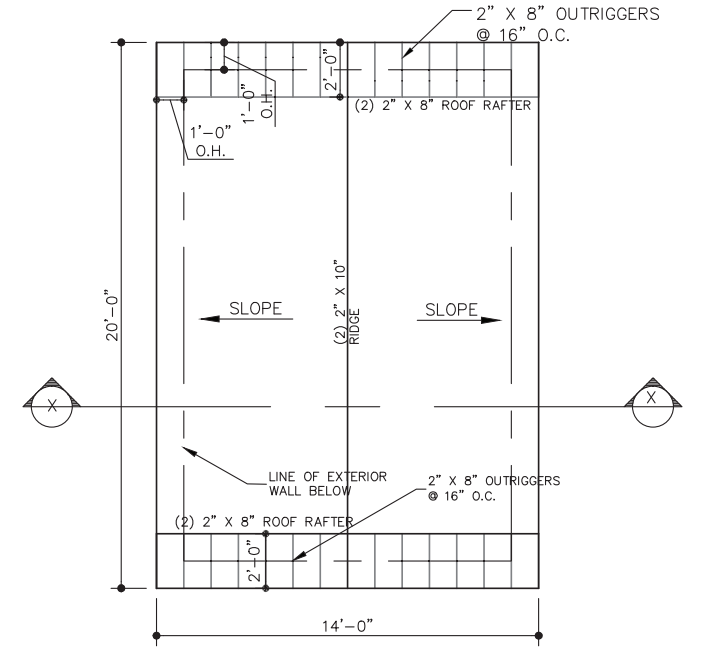
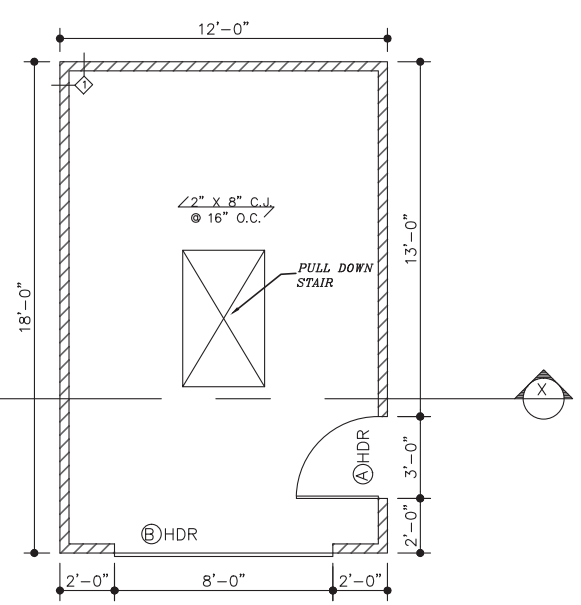
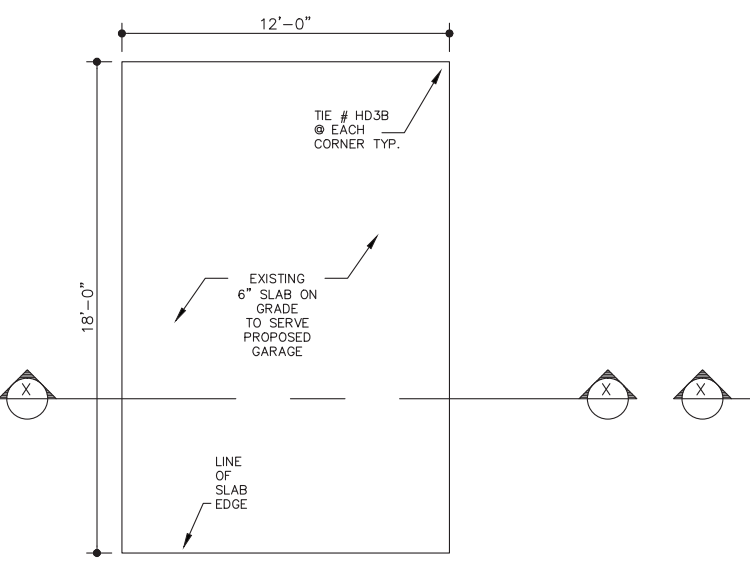
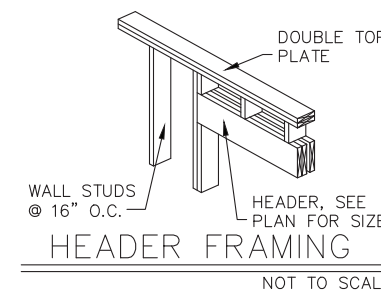
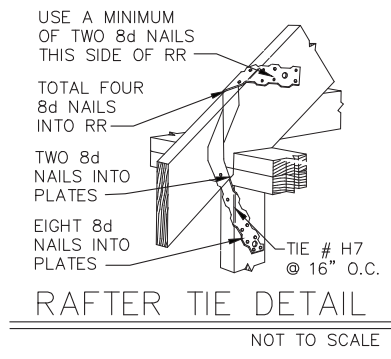
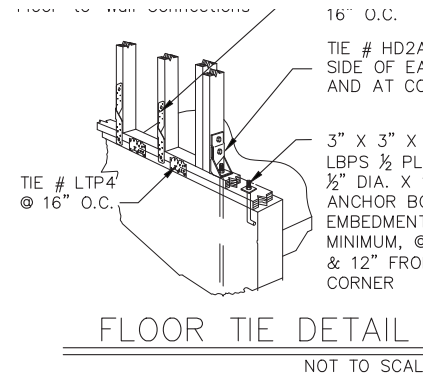
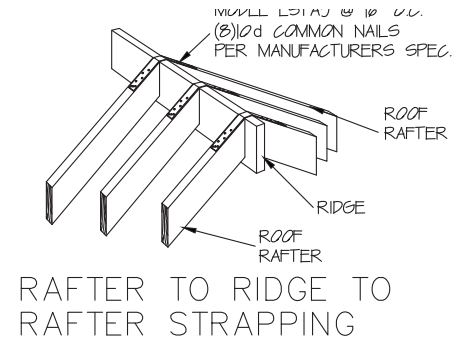
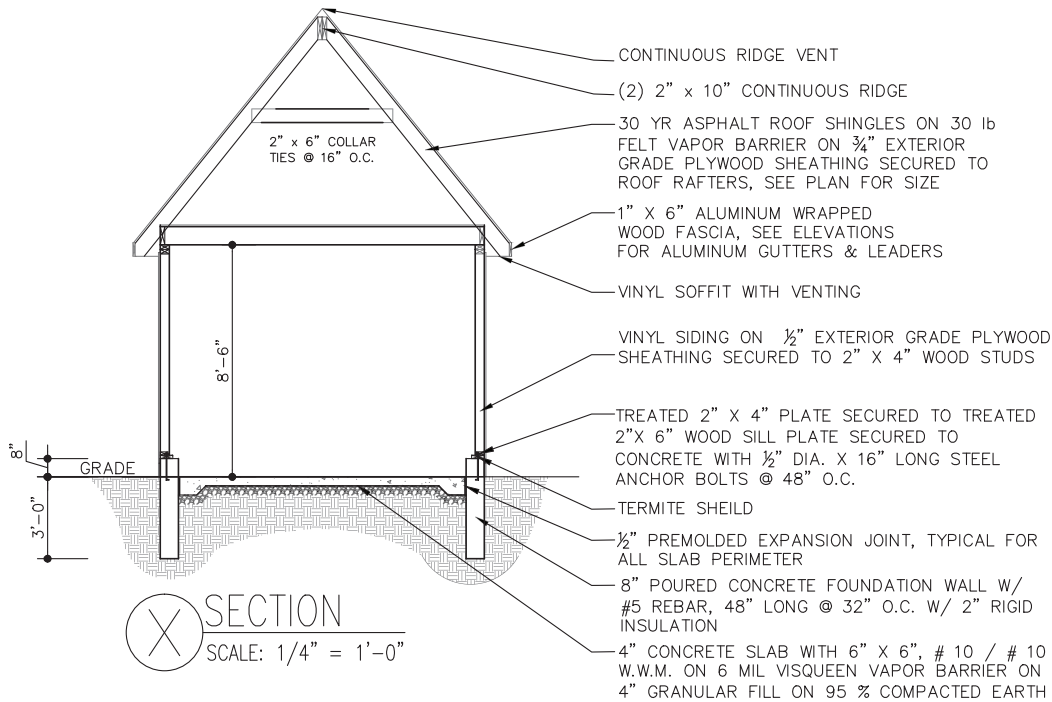
ALLOWABLE
 -HEIGHT: 2 1/2 STY 30'
 -LOT COVERAGE: 30% (1,917 SQ. FT.) MAX.
 -FRONT YARD SET-BACK: 30' MIN.
 -REAR YARD SET BACK: 15' MIN.
 -AGGREGATE SIDE YARD SET BACK: 14.27'

EXISTING (NO CHANGE)
 -HEIGHT: 2 1/2 STORY - 28'-2"
 -LOT COVERAGE: 29% (1,776 SQ. FT.)
 -FRONT YARD SET-BACK: 17'-0"
 -REAR YARD SET BACK: 27'-0"
 -AGGREGATE SIDE YARD SET BACK: 15'-0"

PROPOSED GARAGE
 -HEIGHT: 16'-1"
 -LOT COVERAGE: 28% (1,592 SQ. FT.)



A SITE PLAN
 SCALE: 1/8" = 1'-0"



ROOF NOTE AS PER R905.2.7:

-APPLY A MINIMUM 19" WIDE(483mm) STRIP OF UNDERLAYMENT FELT PARALLEL WITH AND STARTING AT THE EAVES.

-STARTING AT THE EAVE, APPLY 36" WIDE (914mm) SHEETS OF UNDERLAYMENT OVERLAPPING SUCCESSIVE SHEETS 19"(483mm). DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL.

-END LAPS SHALL BE OFFSET BY 6"-0".

-CORROSION-RESISTANT FASTENERS ARE TO BE APPLIED ALONG THE OVERLAP AT A MAXIMUM SPACING OF 36" ON CENTER.

NOTE:

PROVIDE ICE AND WATER SHIELD BY "OWENS-CORNING" AT ALL ROOF EAVES, EXTENDING IN FROM EAVES EDGE TO A POINT 24" FROM THE INSIDE FACE OF THE EXTERIOR WALL.

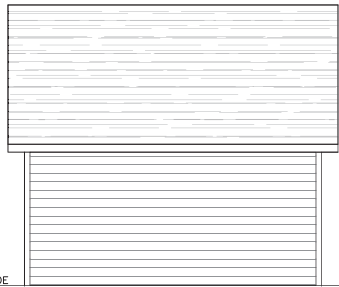
PROVIDE 20 GA. ALUMINUM FLASHING AT ROOF / WALL JUNCTURE, 12" MIN. EACH WAY, TYPICAL.

NOTE:

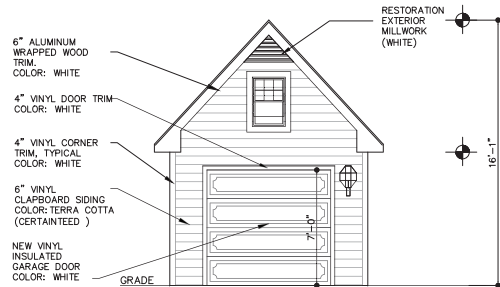
CONTRACTOR TO SUPPLY AND INSTALL ALL NEW ALUMINUM GUTTERS AND LEADERS FOR ENTIRE HOUSE, LEADERS WILL BE LOCATED IN FIELD BY OWNER / ARCHITECT

NOTE:

PROVIDE ICE AND WATER SHIELD BY "OWENS-CORNING" AT ALL ROOF EAVES, EXTENDING IN FROM EAVES EDGE TO A POINT 24" FROM THE INSIDE FACE OF THE EXTERIOR WALL.



A LEFT ELEVATION
SCALE: 1/4" = 1'-0"



B FRONT ELEVATION
SCALE: 1/4" = 1'-0"

SIMPSON STRONG TIE
MODEL L57A9 @ 16" O.C.

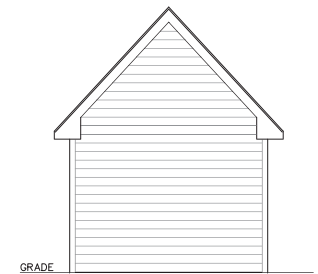
Simpson Strong-Tie
Floor-to-Wall Connections



C RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

TIE # MTS16 @
16" O.C.

CONTINUOUS RIDGE VENT
-300# ASPHALT SHINGLES



D REAR ELEVATION
SCALE: 1/4" = 1'-0"

6" ALUMINUM WRAPPED WOOD TRIM, TYPICAL
COLOR: WHITE

4" VINYL DOOR TRIM
COLOR: WHITE

4" VINYL CORNER TRIM, TYPICAL
COLOR: WHITE

6" VINYL CLAPBOARD SIDING
COLOR: TERRA COTTA (CERTAINTEED)

NEW VINYL INSULATED GARAGE DOOR
COLOR: WHITE

RESTORATION EXTERIOR MILLWORK (WHITE)

15'-1"

3'-0" X 7'-0" HOLLOW METAL DOOR INSULATED WOOD FRAME & ALUMINUM SILL
COLOR: WHITE

GAF ASPHALT ROOF SHINGLES ARCHITECTURAL STYLE
COLOR: CHARCOAL

6" ALUMINUM WRAPPED FASCIA
COLOR: WHITE

4" VINYL CORNER TRIM, TYPICAL
COLOR: WHITE

6" VINYL CLAPBOARD SIDING
COLOR: TERRA COTTA (CERTAINTEED)

4" VINYL DOOR TRIM
COLOR: WHITE

GRADE

GRADE

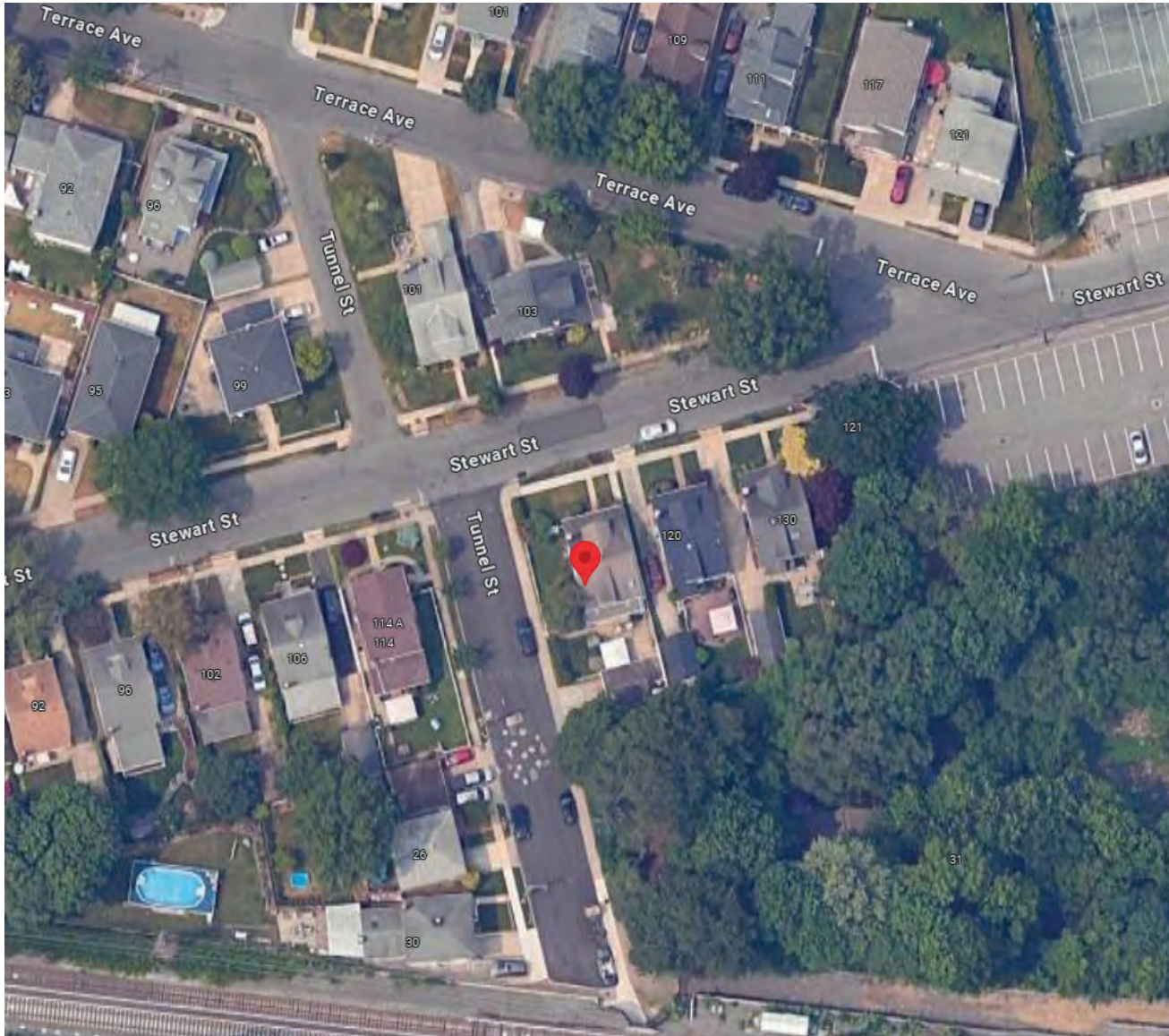
GRADE

GRADE

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
6	8:50 p.m.	122	Stewart Street	2 nd Story Addition	Vanessa Giovanni	Steven J. Treubert, PE



122 Stewart Street (Aerial View)





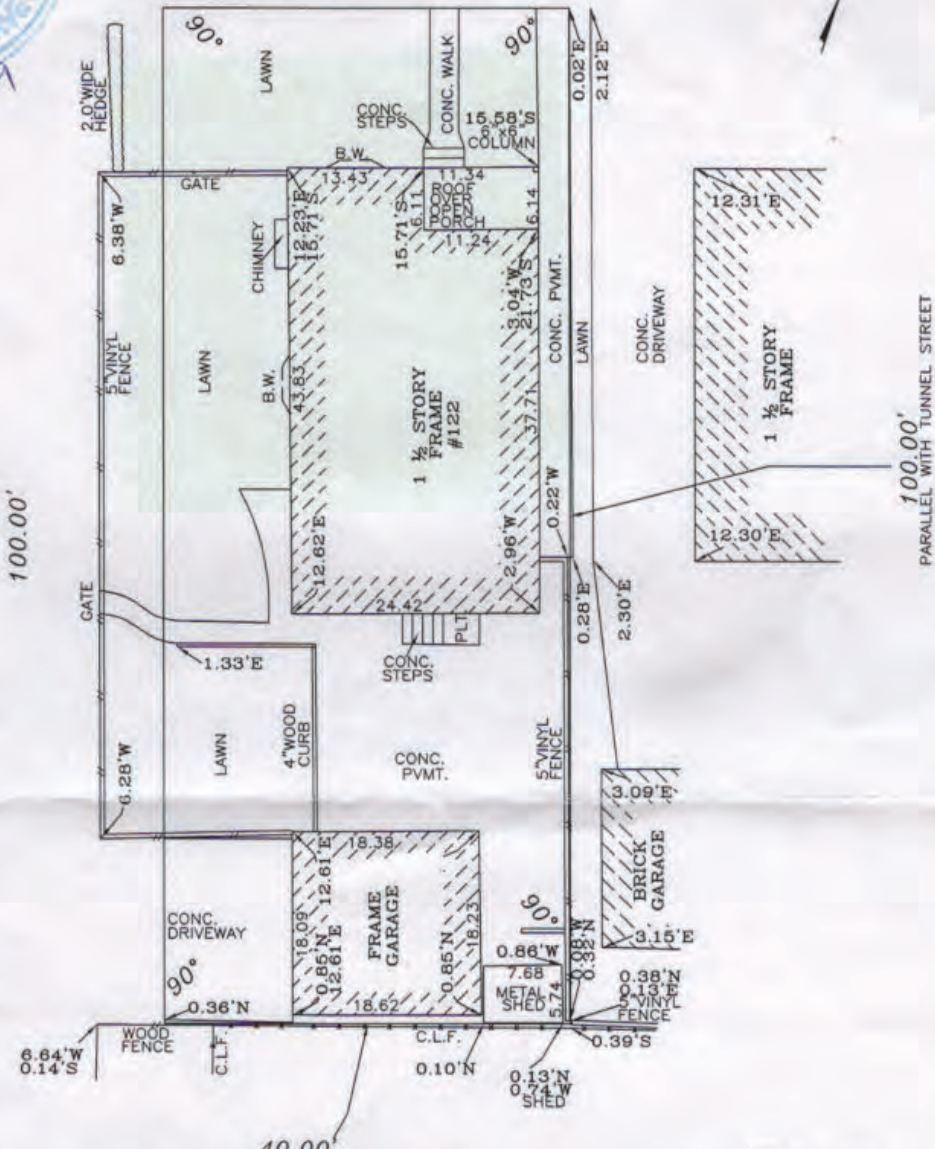
STEWART STREET

40.00'



TUNNEL STREET

100.00'



FILED MAP:
 ONE-HALF OF LOT 22, ALL OF LOT 23 AND THE WESTERLY ONE-HALF OF LOT 24 ON A CERTAIN MAP ENTITLED, "MAP OF PROPERTY OF THE FUEL REALTY CO., SURVEYED JANUARY 1928, BY CYRIL E. MARSHALL, CIVIL ENGINEER, AND FILED IN THE OFFICE OF THE CLERK OF THE COUNTY OF NASSAU ON APRIL 30th, 1928
 THE OFFSETS OR DIMENSIONS SHOWN FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PLANTING AREAS, ADDITIONS TO STRUCTURES AND ANY OTHER CONSTRUCTION.

- LEGEND:
 CELLAR ENTRANCE — C.E.
 CHAIN LINK FENCE — C.L.F.
 PLATFORM — P.L.T.
 PAVEMENT — P.V.M.T.
 CONCRETE — CONC.
 OVER HEAD SERVICE WIRE — O.H.S.W.
 METAL DOOR — M.D.
 FIRE ESCAPE — F.E.
 UTILITY POLE — U.P.
 BAY WINDOW — B.W.

THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN ARE NOT CERTIFIED.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

PRECISION SURVEYS

TITLE • ARCHITECTURAL • BOUNDARY • CONSTRUCTION

40 FRANKLIN AVE. FRANKLIN SQUARE, N.Y. 11010
 Ph. • (718)472-1571 • (516)488-1608

CHRISTOPHER M. BUCKLEY
 PROFESSIONAL LAND SURVEYOR

SURVEY OF: Described Property

LOCATED AT:
 122 Stewart Street, Floral Park
 County of Nassau
 State of New York

TAX DESIG: Sec. 32, Block A, Lot 223

CERTIFIED TO:
 Rivers Edge Land Services, Inc.
 Wells Fargo Bank, N.A.
 Vanessa Giovanni & Ricardo
 Dellagiovanna

TITLE No.: RE-16301-N

DATE: March 25, 2009

SCALE: 1"=15'

Job No. 24728
 Drawn By: BB

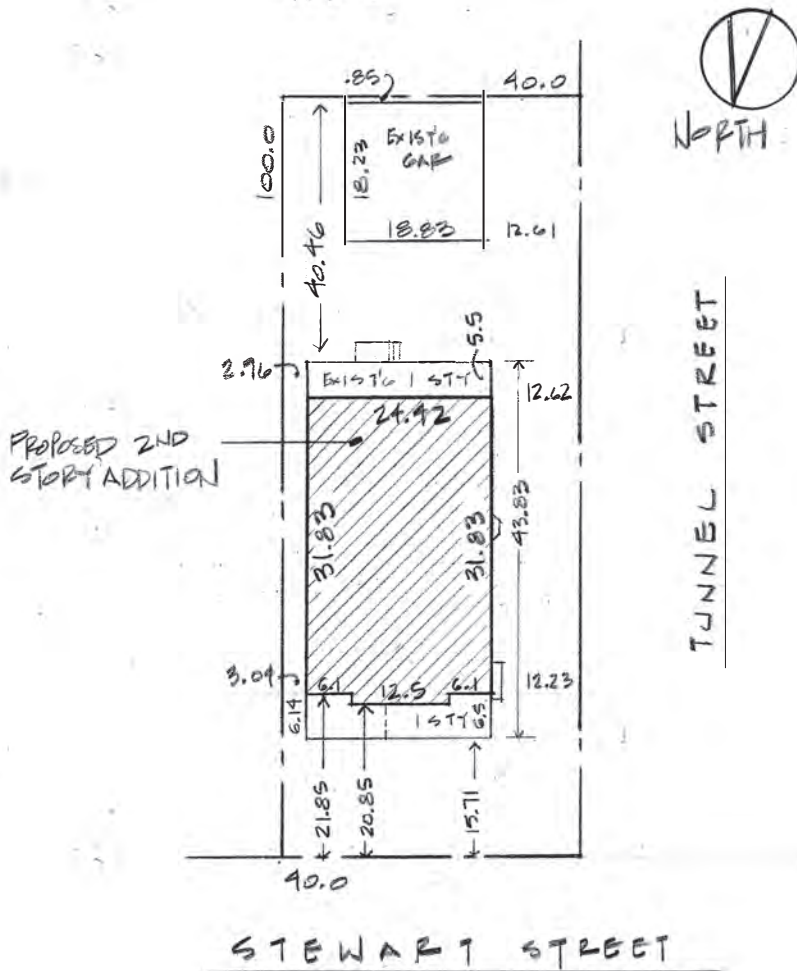
ZONING CALCULATIONS

LOT SIZE: 4000 SF ZONE: "R-2"

	REQ'D	PROPOSED / EXIST'G
• FRONT YARD SETBACK	20.0' MIN	20.85' / 12.23' (EXIST'G - NO CHANGE)
• SIDE YARD SETBACK	5.0' MIN	2.96' (EXIST'G - NO CHANGE)
• REAR YARD SETBACK	25.0' MIN	45.96'
• BUILDING COVERAGE	1200 SF 30%	1414.08 SF (EXIST'G - NO CHANGE) 35.3%

HOUSE 1070.81 SF
 GARAGE 343.27 SF

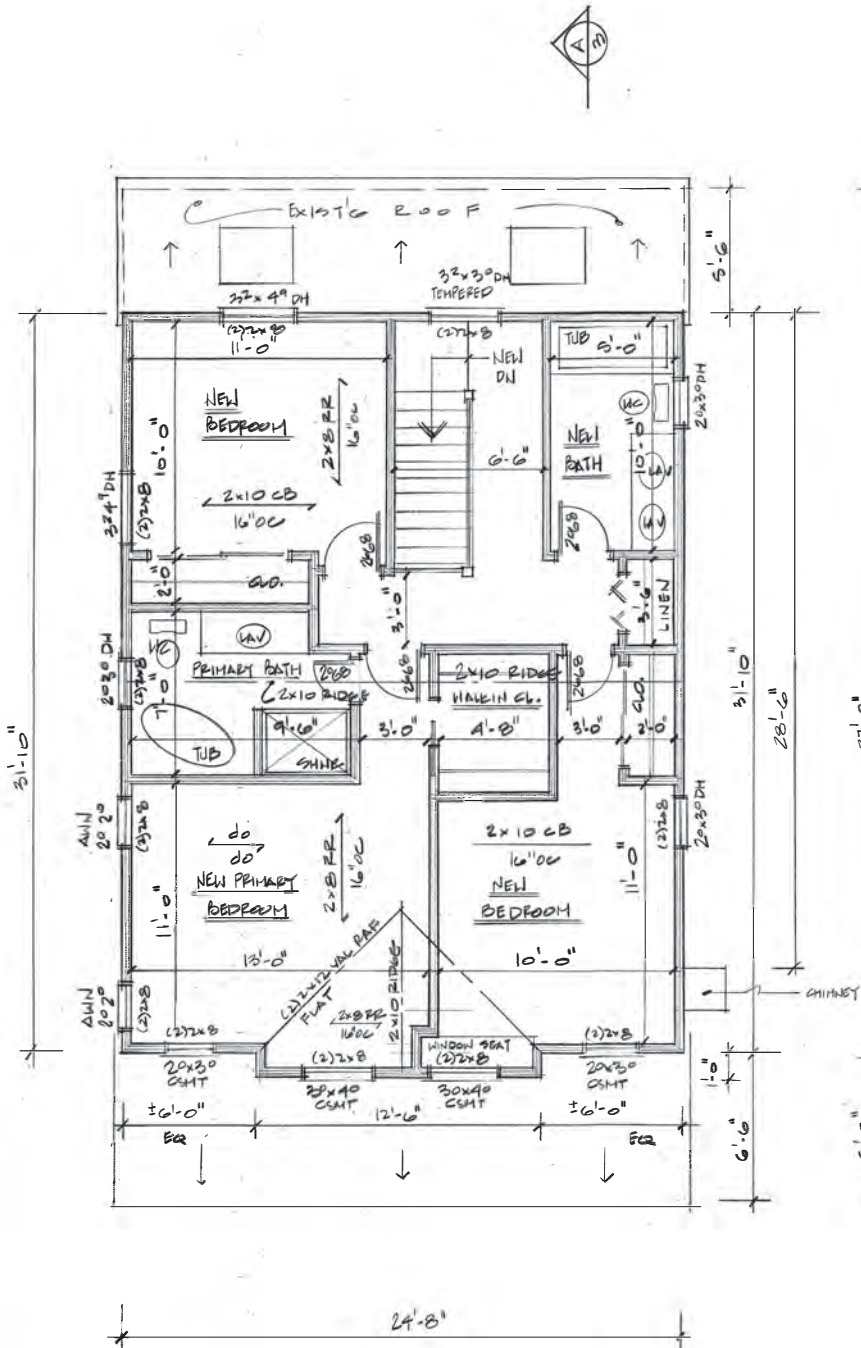
 1414.08 SF



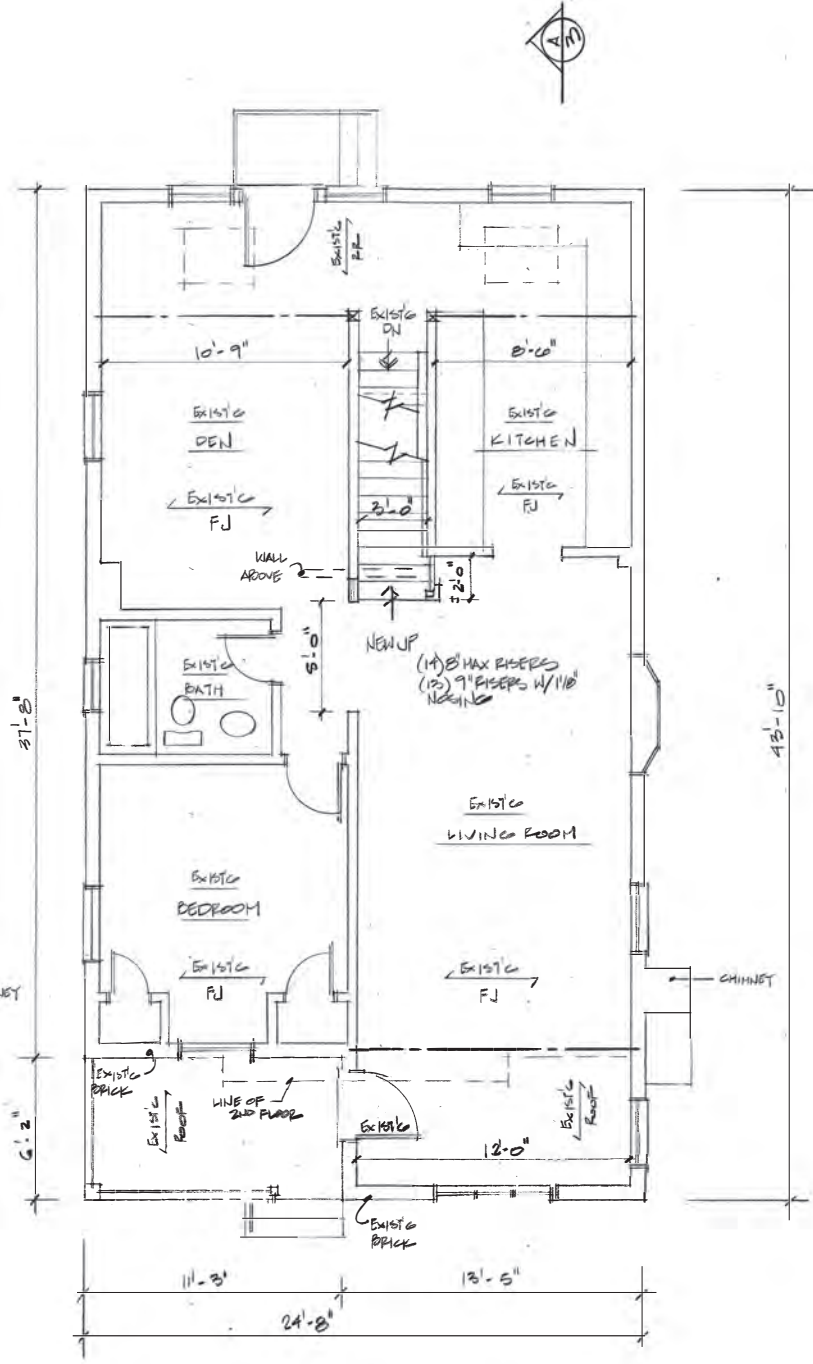
C PLOT PLAN

SCALE: 1" = 20'-0"

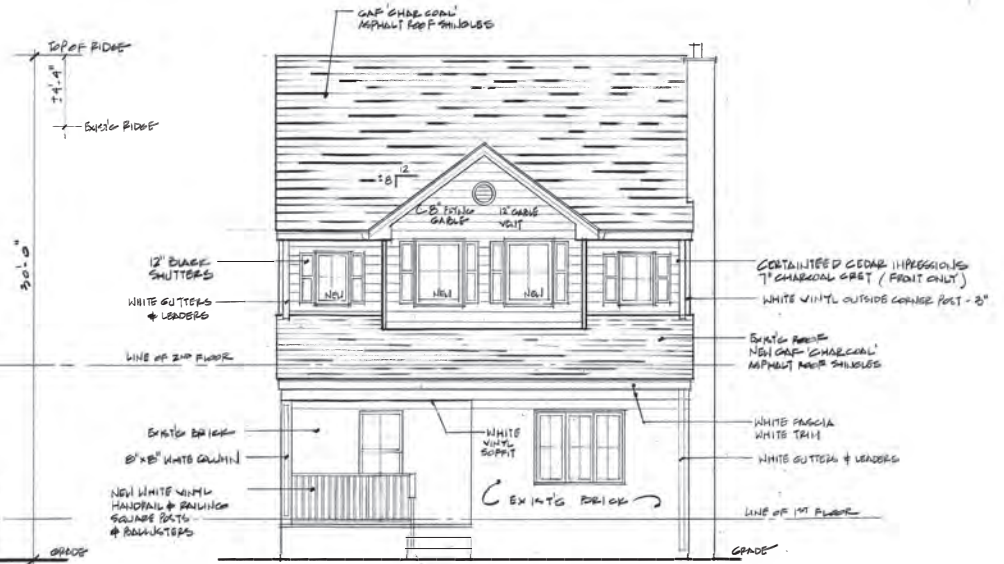
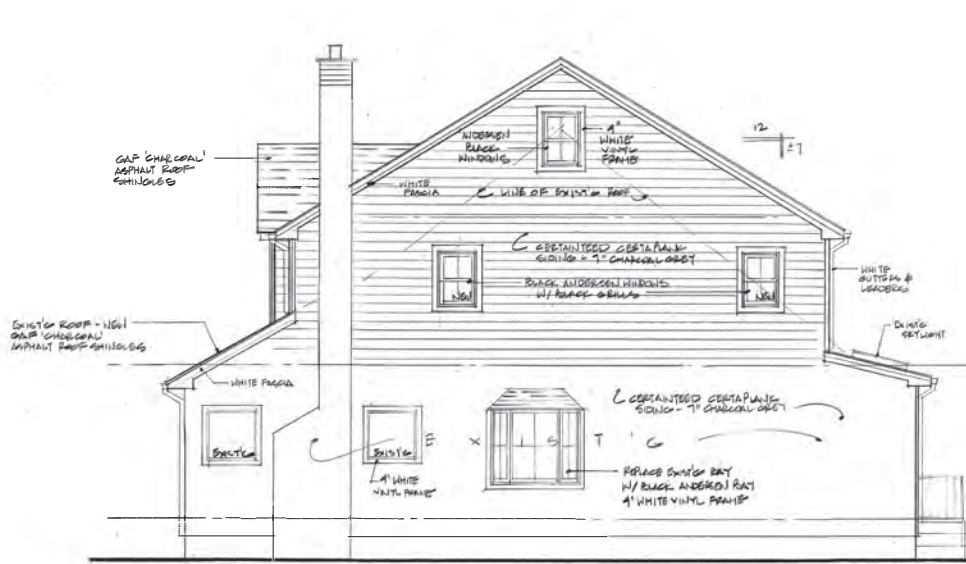
ARCHITECTURAL REVIEW ONLY



Ⓐ SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

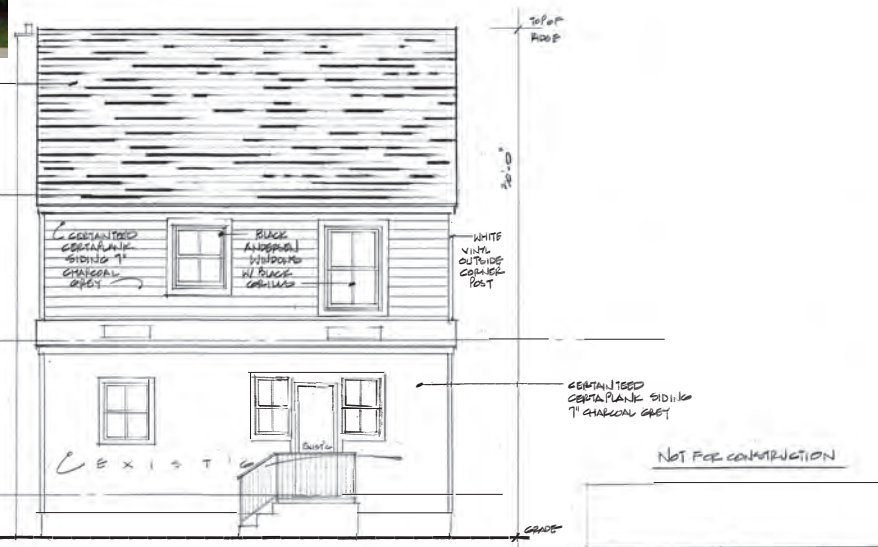


Ⓑ EXIST'G FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



(A) SIDE ELEVATION
SCALE: 1/4" = 1'-0"

(B) FRONT ELEVATION
SCALE: 1/4" = 1'-0"



(C) SIDE ELEVATION
SCALE: 1/4" = 1'-0"

(D) REAR ELEVATION
SCALE: 1/4" = 1'-0"

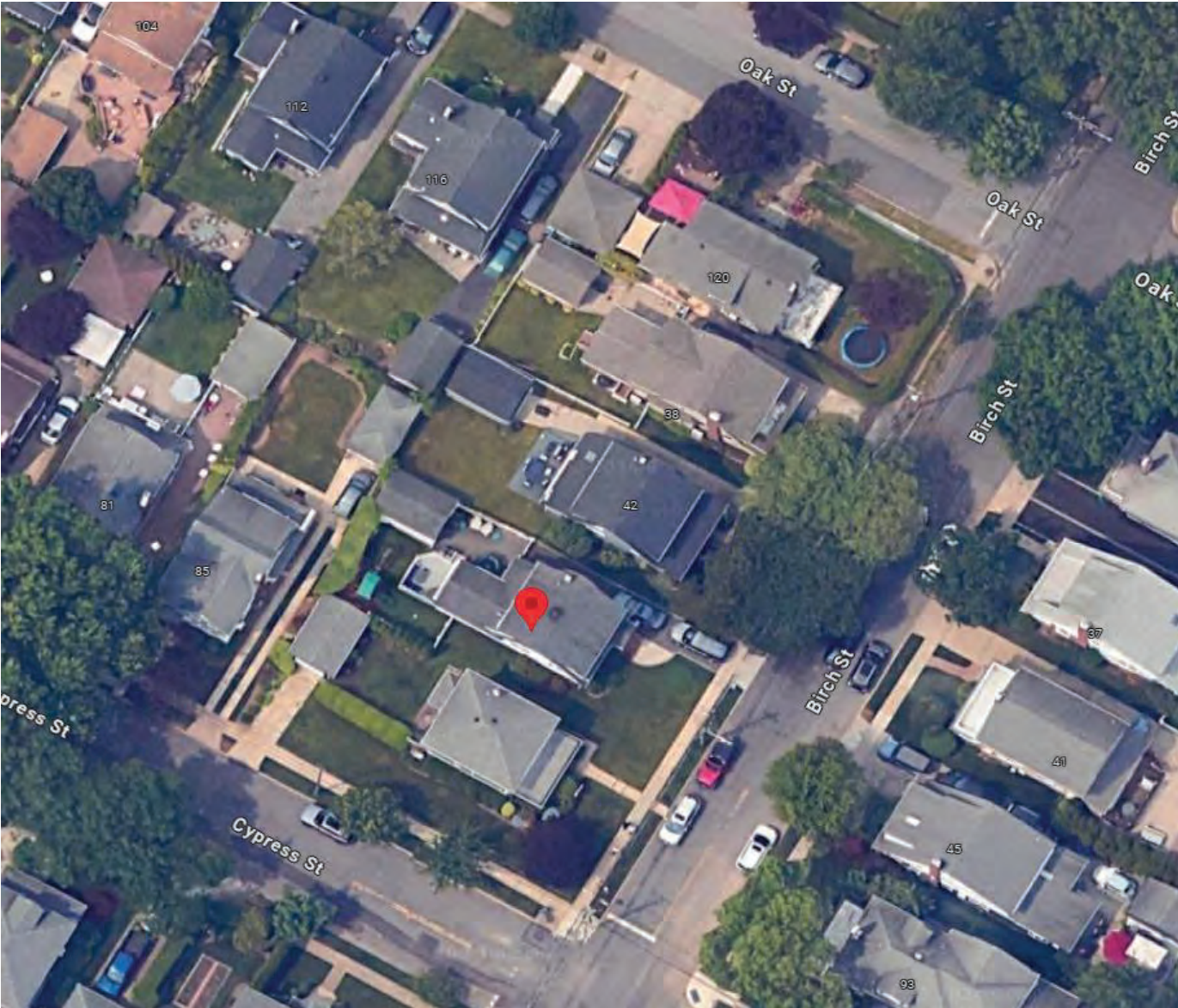
NOT FOR CONSTRUCTION

	ADDITION TO
	GIOVANNI
	122 STEWART STREET,
DATE:	07.15.11

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
7	8:55 p.m.	46	Birch Street	2 nd Story Rear Addition	Anthony Sperruggia	Thomas Winnes, RA



46 Birch Street (Aerial View)



MAP OF PROPERTY SITUATED IN

FLORAL PARK

NASSAU COUNTY, N.Y.

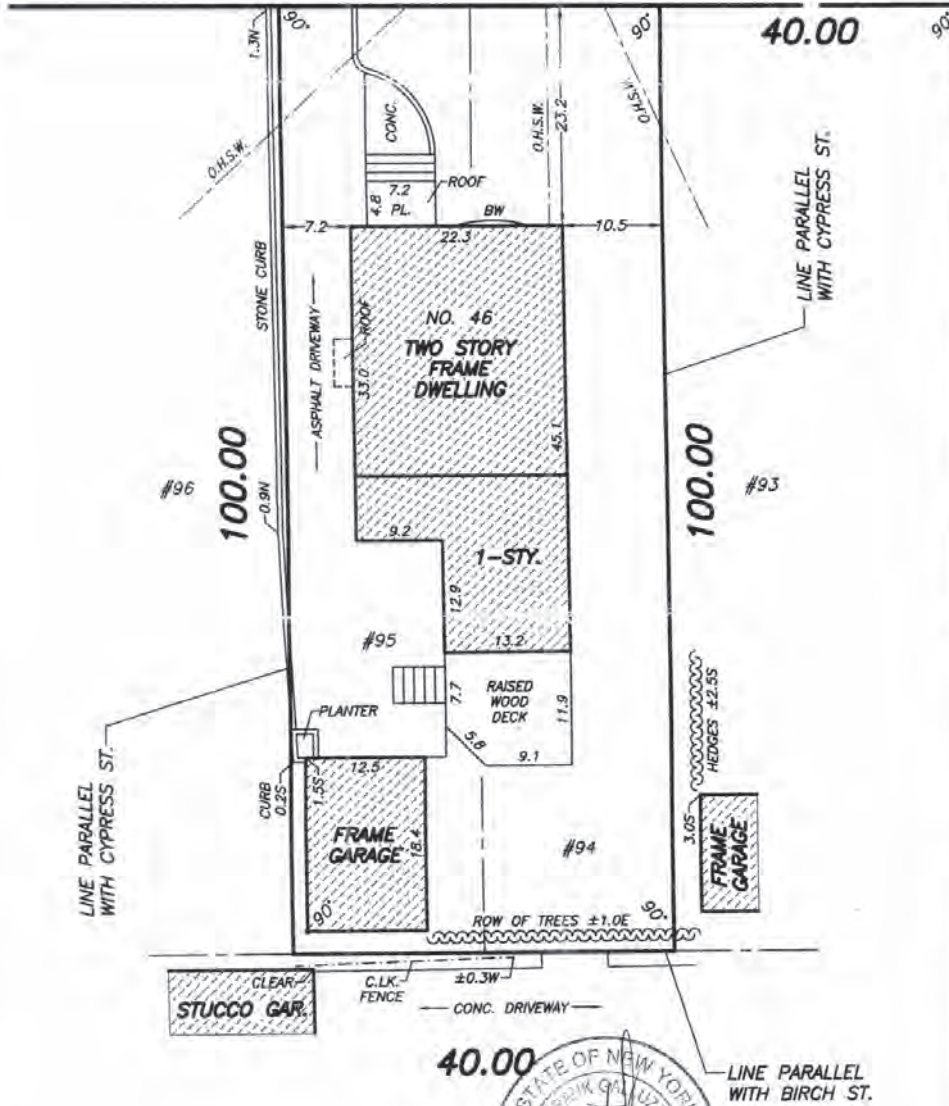
TAX SECT.: 32 TAX BLOCK: 235 TAX LOT(S): 94 & 95



BIRCH

STREET

40.00



STREET

CYPRESS

40.00



LOTS 94 & 95 IN BLOCK 3 ON
 "MAP OF FLORAL PARK VILLA CO."
 FILED ON MAY 8, 1907 AS MAP #20 CASE #151
 SCALE: 1"=16'

SURVEYED: MARCH 9, 2018

UNAUTHORIZED ALTERATIONS AND/OR ADDITIONS TO THIS SURVEY BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYORS INKED OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, THE TITLE COMPANY, THE GOVERNMENTAL AGENCY AND THE LENDING INSTITUTION LISTED ON THIS SURVEY MAP. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS AND/OR SUBSEQUENT OWNERS. FENCE OFFSETS TAKEN AT FABRIC. ENCROACHMENTS OR VAULTS BELOW SURFACE ARE NOT SHOWN. RIGHT OF WAYS AND/OR EASEMENTS OF RECORD NOT SHOWN ON THIS SURVEY ARE NOT CERTIFIED. OFFSETS AND DIMENSIONS HEREON ARE FOR A SPECIFIC PURPOSE AND ARE NOT TO BE USED IN THE ERECTION OF ADDITIONAL STRUCTURES, FENCES OR OTHER IMPROVEMENTS.

CERTIFIED TO: TITLE NO. CL-18395-N
 WESTCOR LAND TITLE INSURANCE COMPANY
 CORNERSTONE LAND ABSTRACT, LLC
 THE FIRST NATIONAL BANK OF LONG ISLAND, ITS
 SUCCESSORS AND/OR ASSIGNS
 ANTHONY SPERRUGGIA AND SHARON SPERRUGGIA

Empire State Land Surveyor, P.C.
 Frank I. Galluzzo Professional Land Surveyor
 Records of Albert A. Bianco
 Stephen J. Reid - M. Berry Carman - G. W. Haviland
 Vandewater & Lapp - Robert E. Carlin - William J. Daly
 1005 Glen Cove Avenue, Glen Head, NY, 11545
 (516)-240-6901











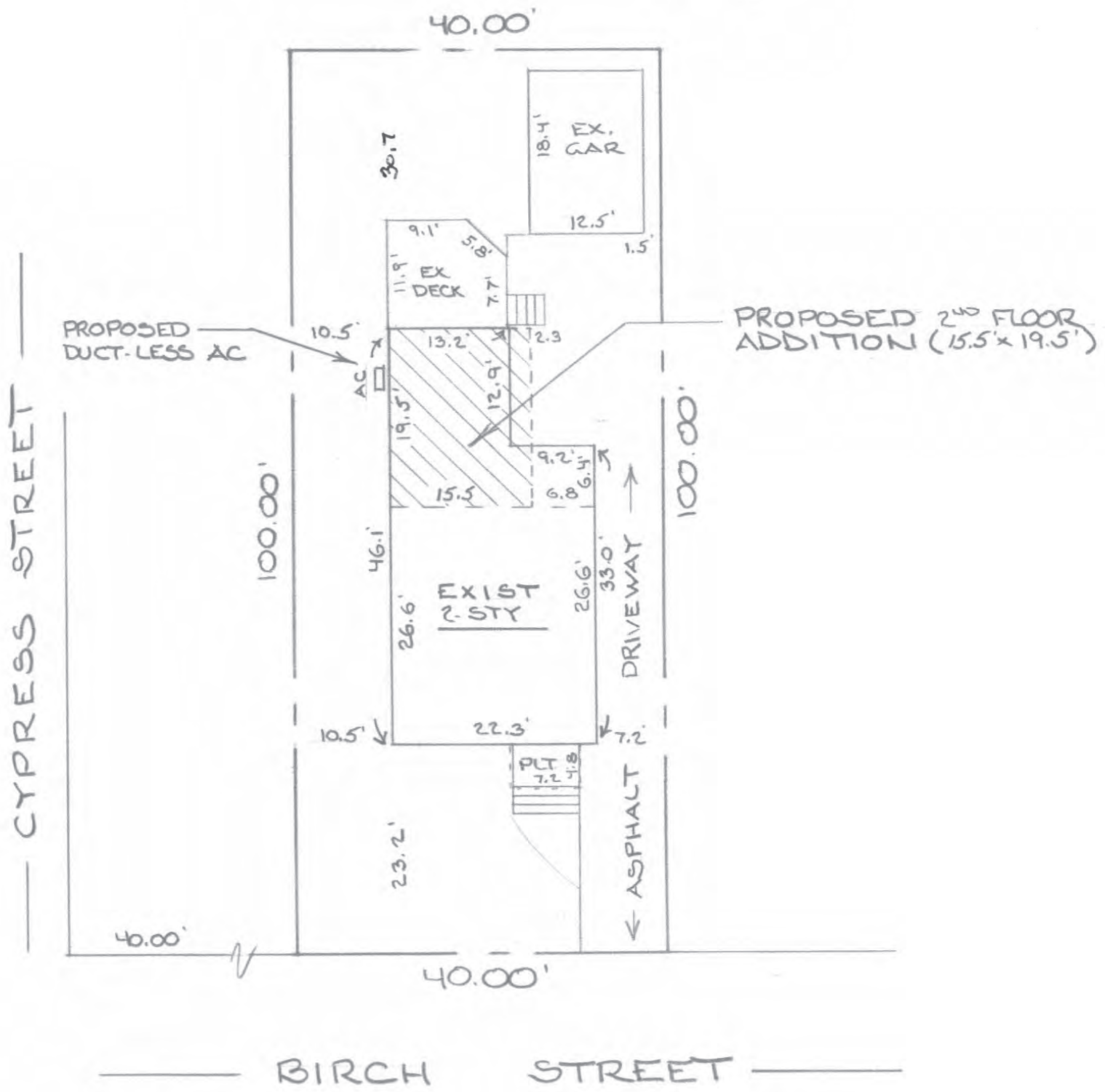
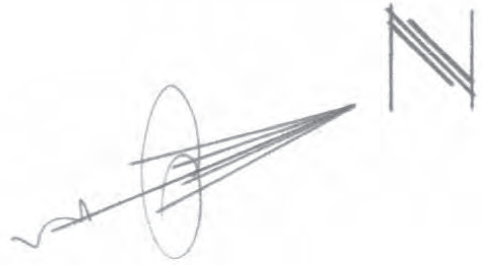




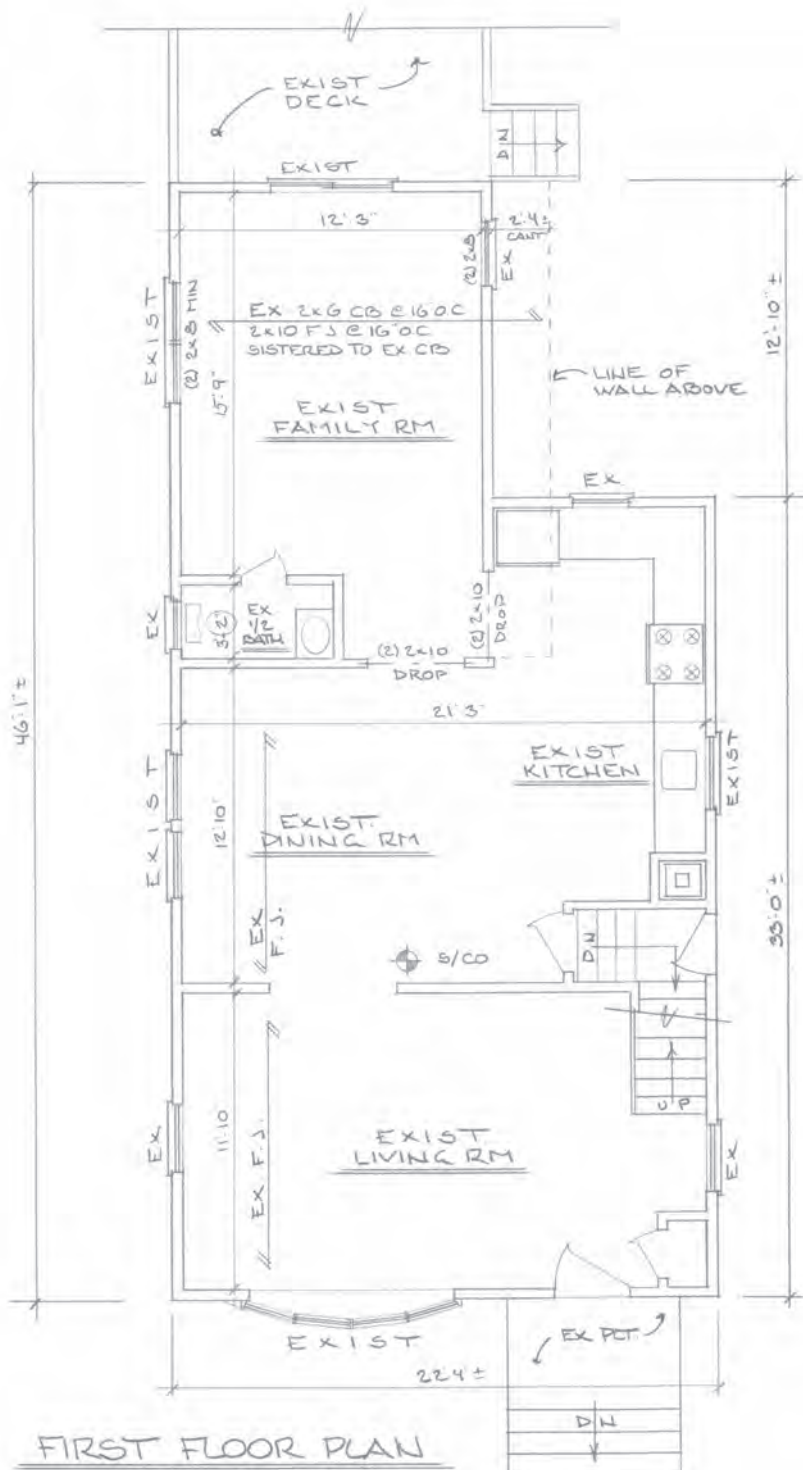
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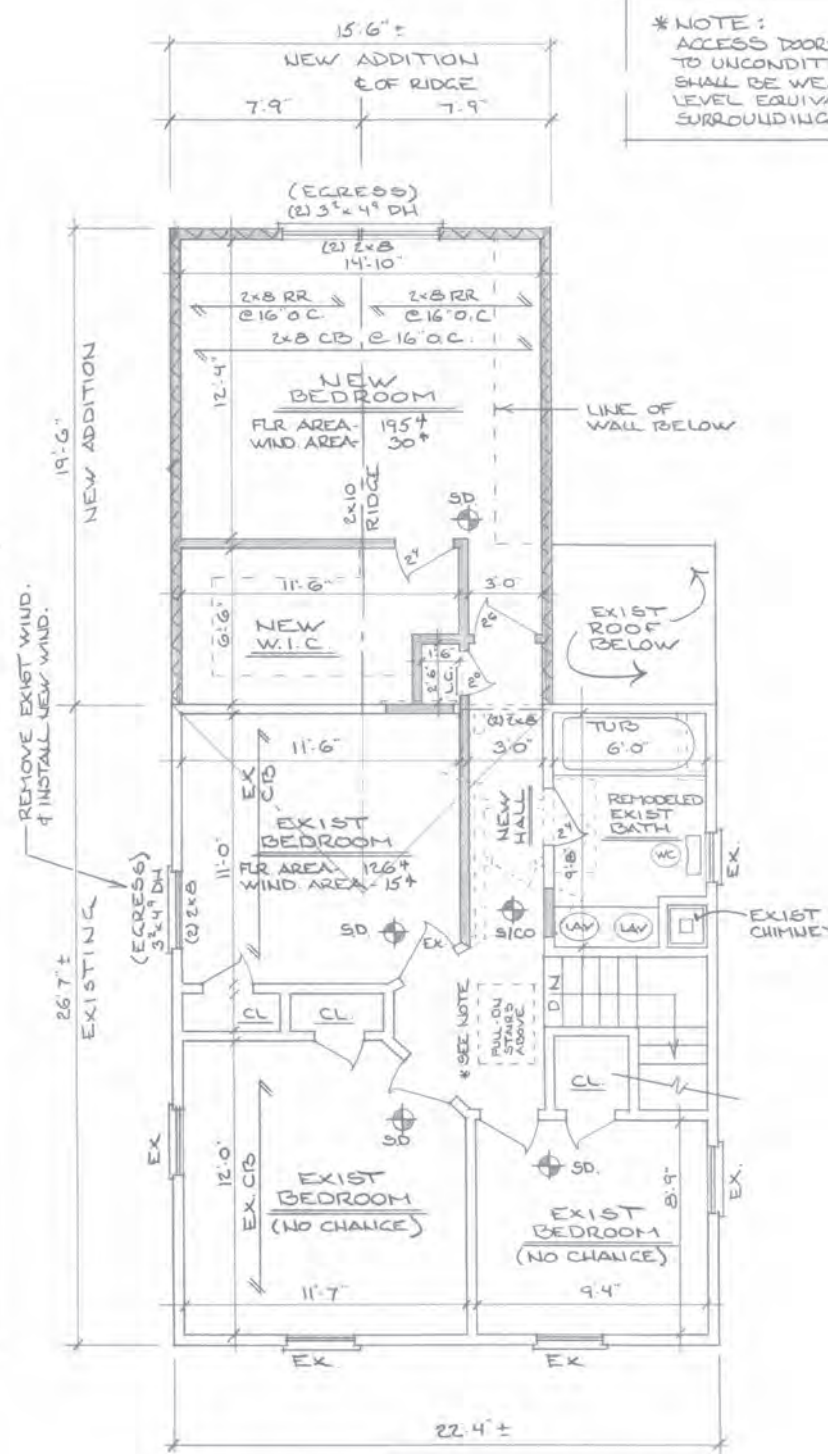




PLOT PLAN
SCALE ; 1" = 16'-0"

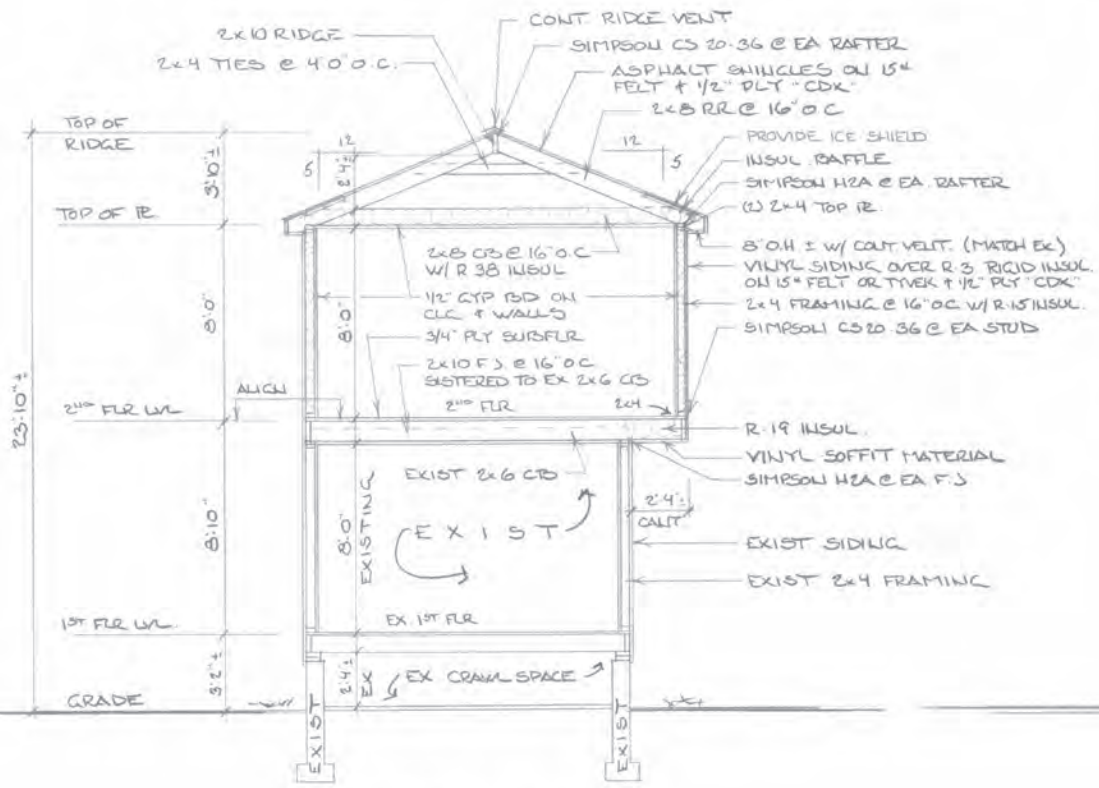


FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 (NO WORK)

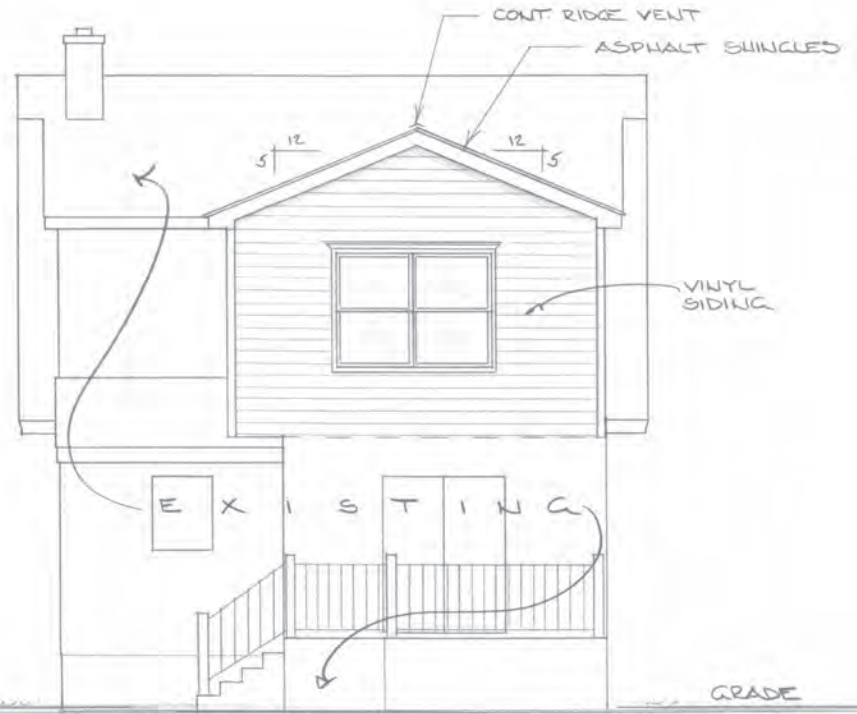


SECOND FLR PLAN
 SCALE: 1/4" = 1'-0"

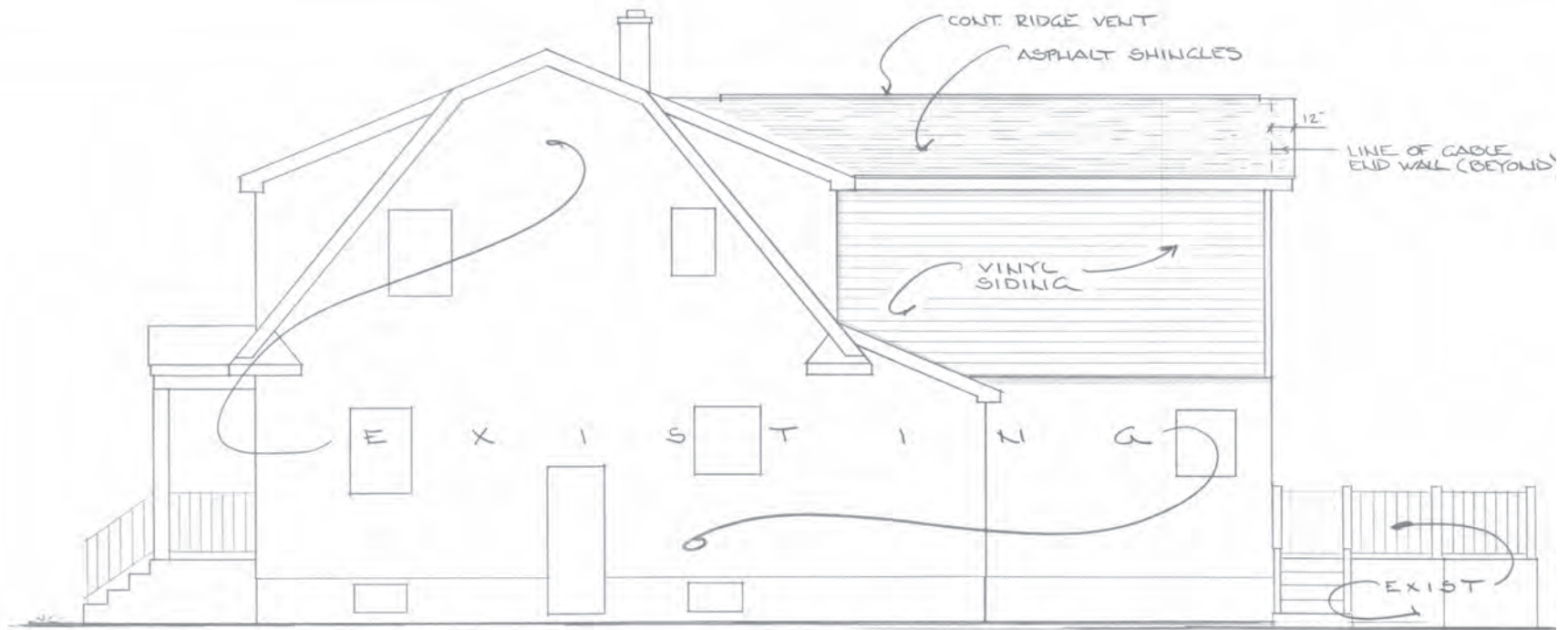
*NOTE:
 ACCESS DOOR
 TO UNCONDIT
 SHALL BE WE
 LEVEL EQUIV
 SURROUNDING



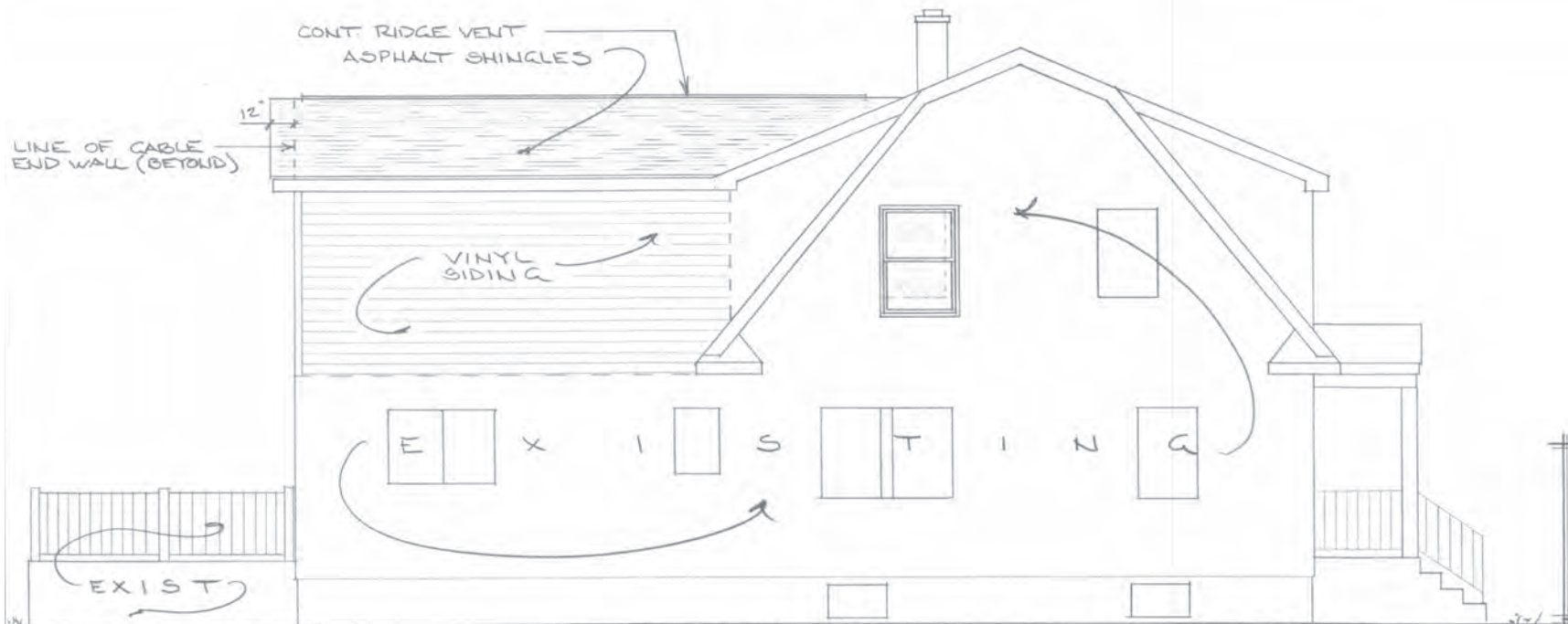
SECTION "A-A"
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

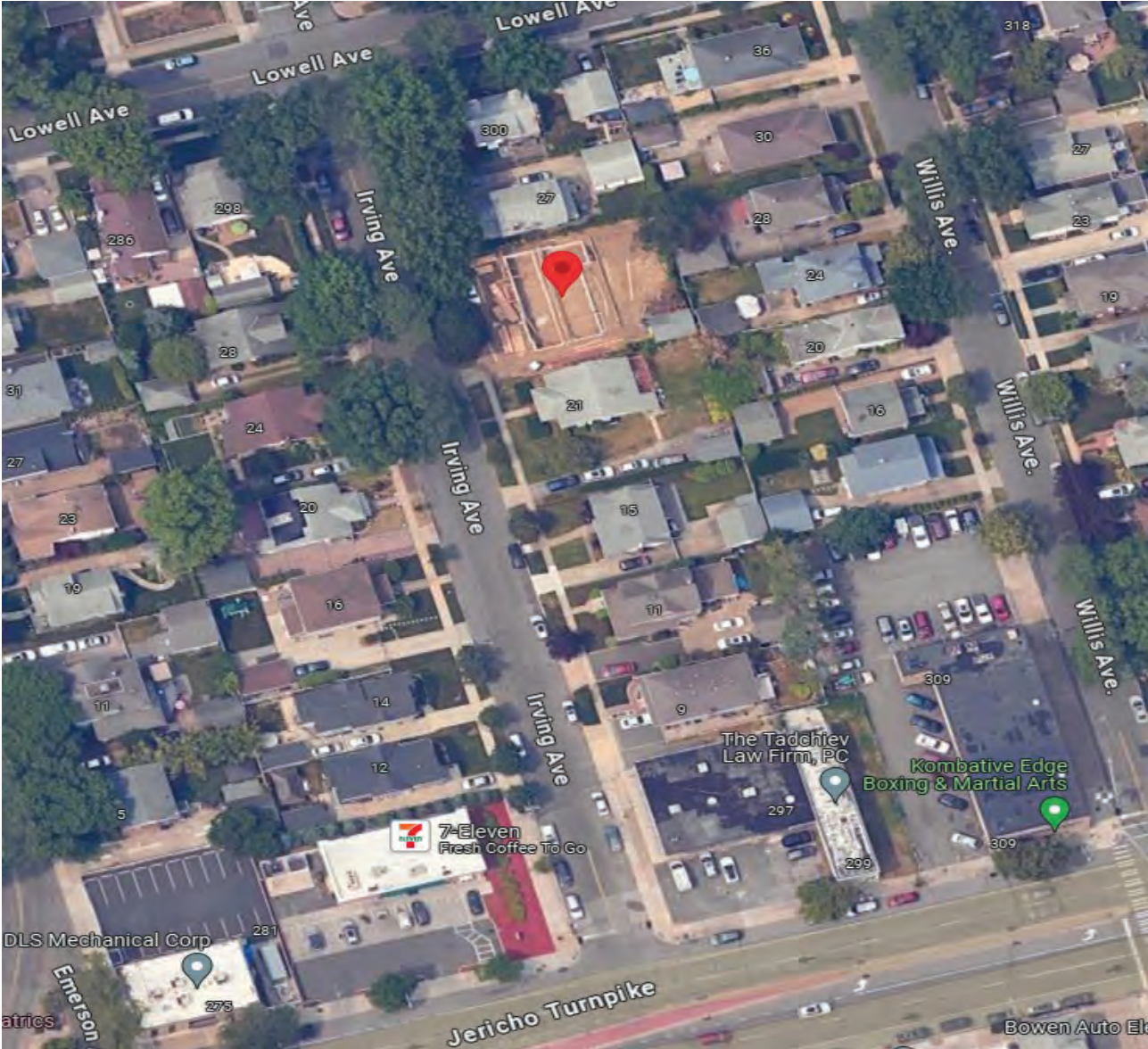


LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

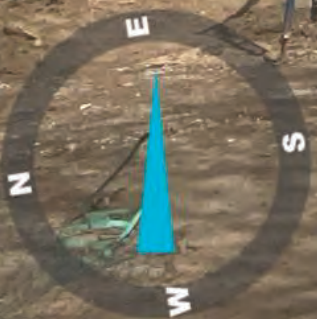
Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
8	9:00 p.m.	25	Irving Avenue	Front Facade	Shailendra Sah	John Schimenti

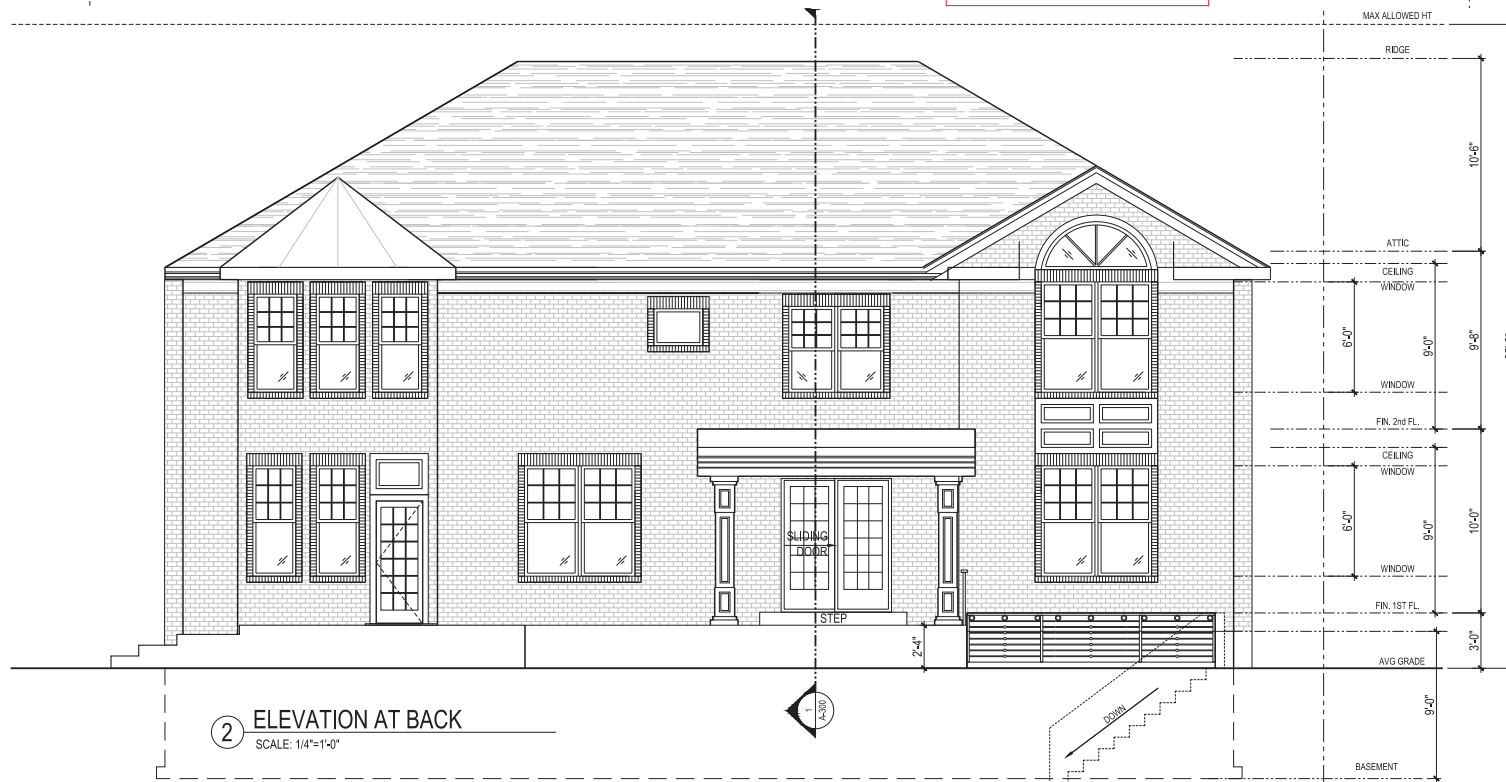
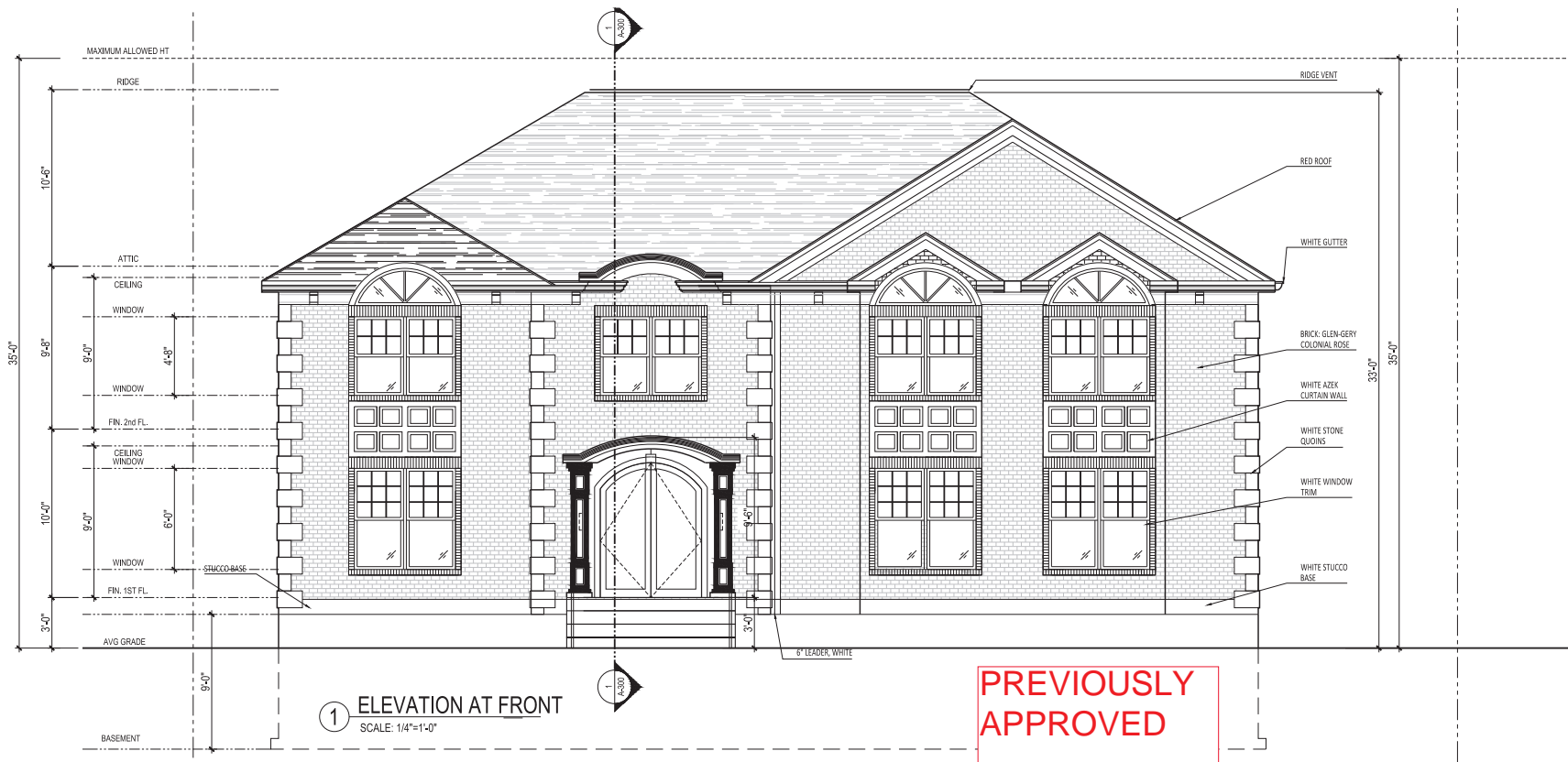


25 Irving Avenue (Aerial View)



Apr 9, 2024 at 2:01:59 PM
99° E
25 Irving Ave

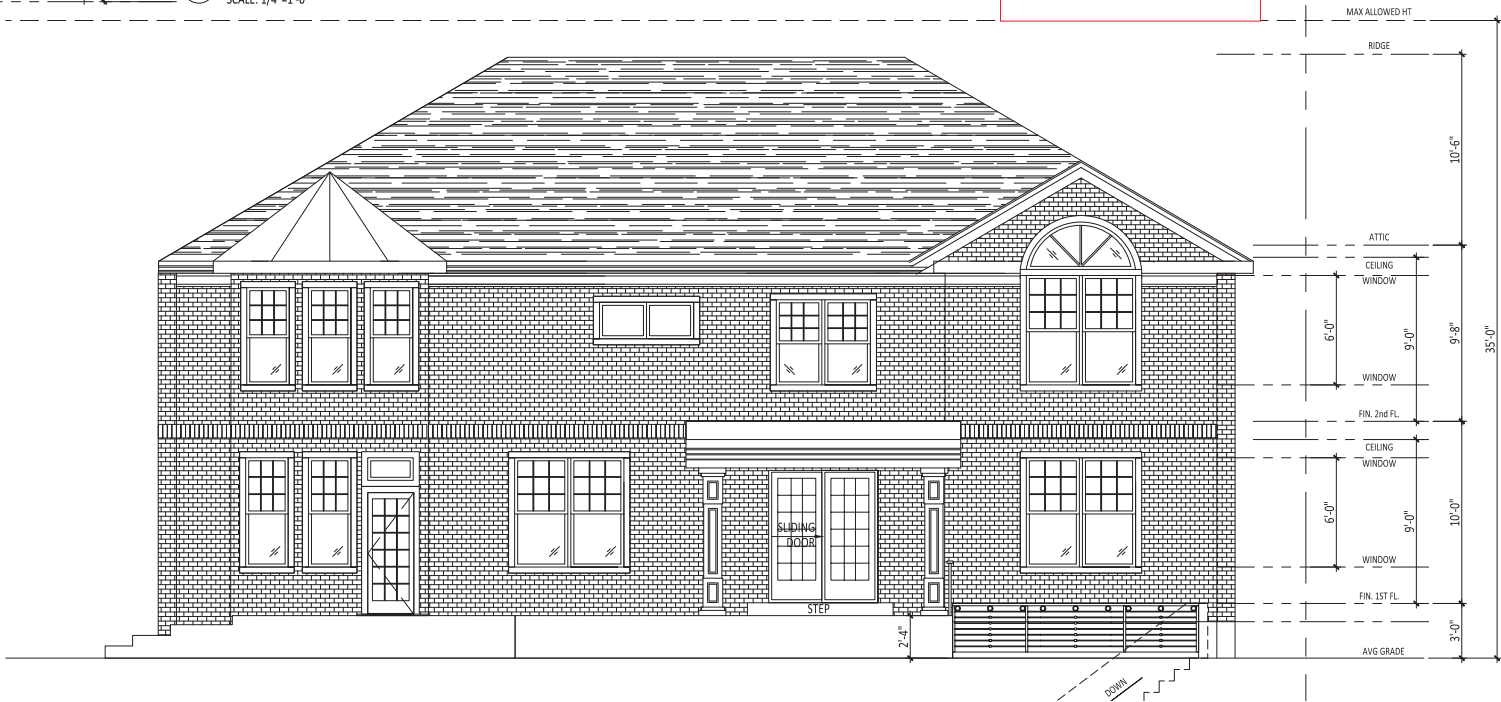




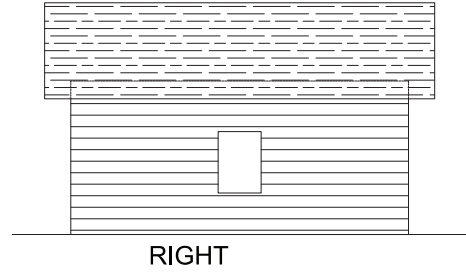
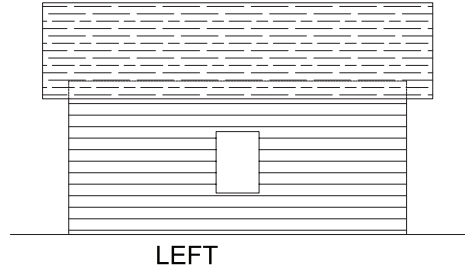
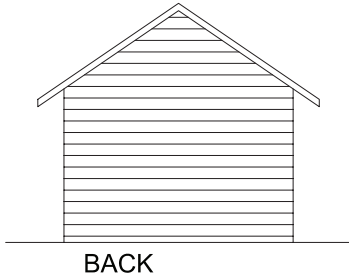
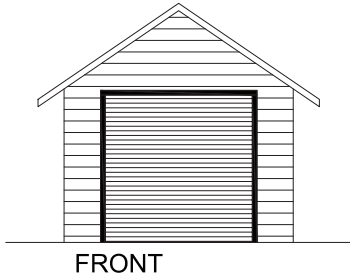
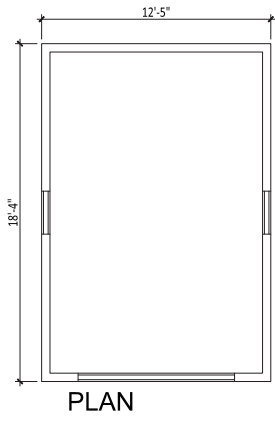


① ELEVATION AT FRONT
SCALE: 1/4"=1'-0"

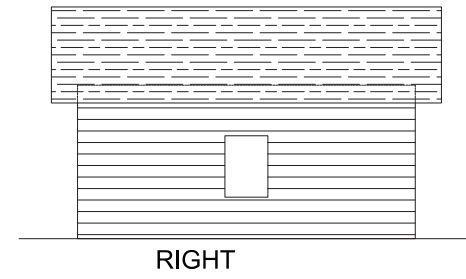
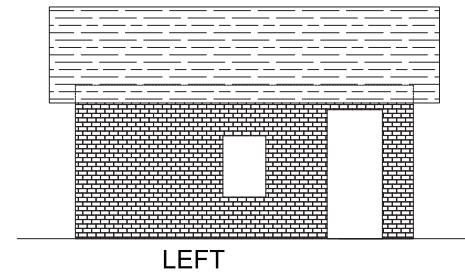
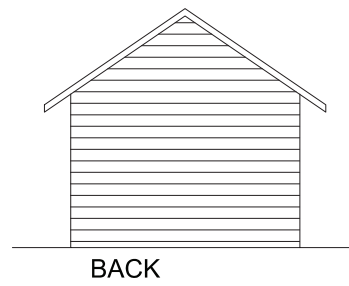
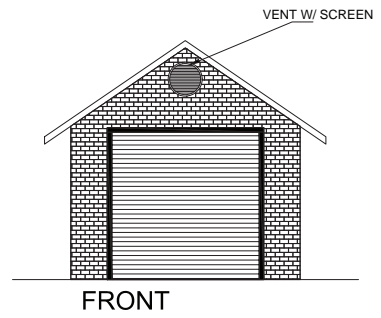
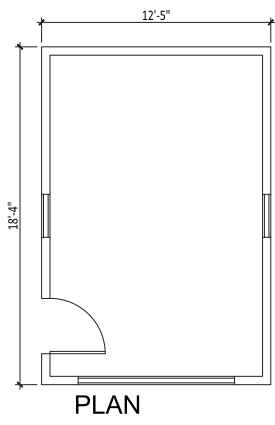
PROPOSED



② ELEVATION AT BACK
SCALE: 1/4"=1'-0"



EXISTING PLAN & ELEVATIONS



PROPOSED PLAN & ELEVATIONS