



ARCHITECTURAL & PRELIMINARY SITE PLAN REVIEW BOARD

MICHAEL F. LONGOBARDI – VILLAGE TRUSTEE LIAISON
TIMOTHY T. TWEEDY, P.E. – CHAIRMAN
JOHN LOCKWOOD
ANTHONY KRUYNSKI
ROGER KUEHNLENZ
EDWARD CHATTERTON

RENEE MARCUS, AIA – SUPERINTENDENT OF BUILDINGS
LUCILLE LANGONE – SECRETARY

MAY 29, 2024
8:00 pm

Note Location: Recreation Center/Pool Building

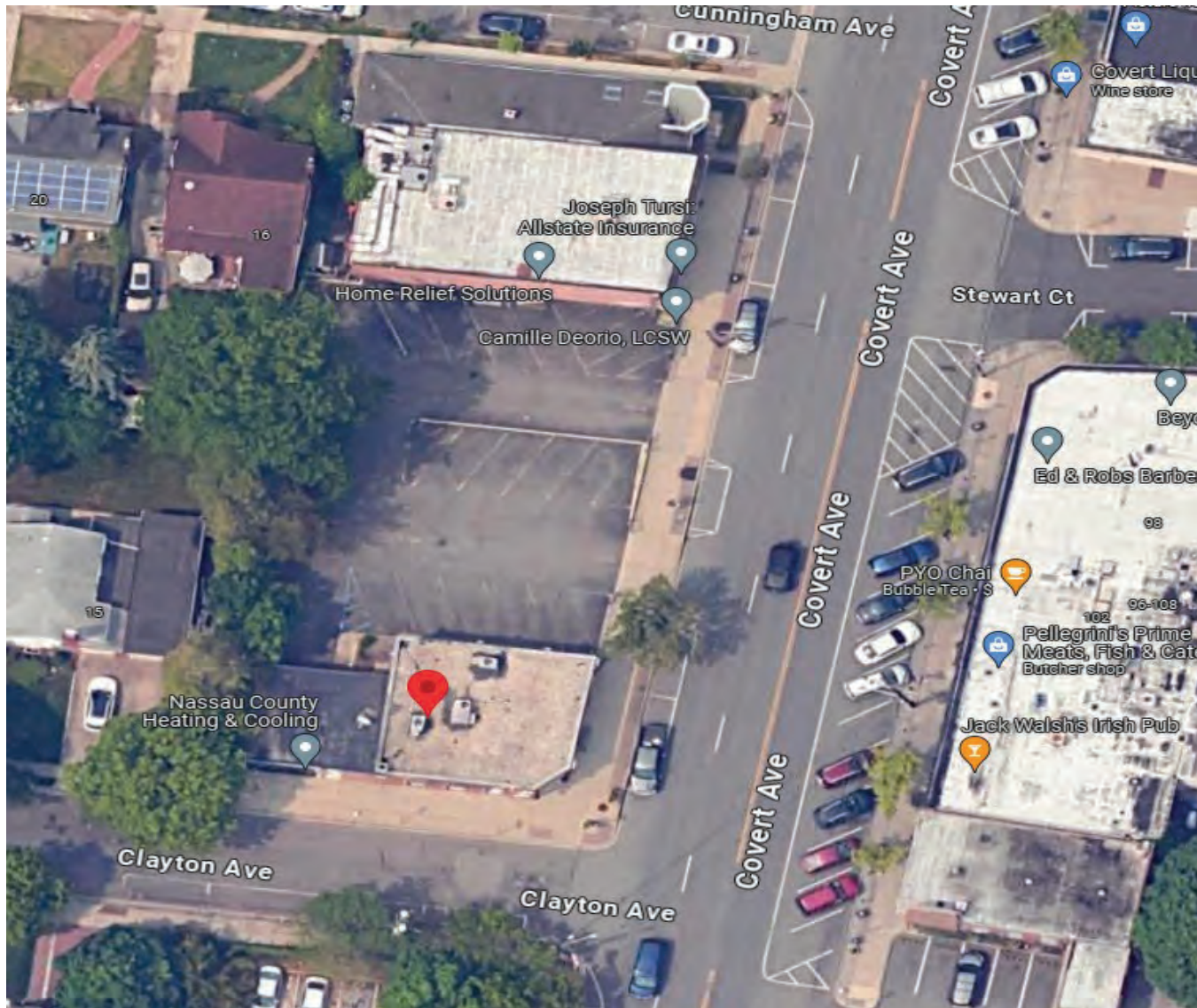
Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
1	8:00 p.m.	99	Covert Avenue	Re-submission – Addition & Alterations	Floral Park Depository 1929 Realty Partners LLC	Kenneth R. Garvin, AIA
2	8:30 p.m.	76	South Tyson Avenue	Addition and Alterations	76 South Tyson Food Group LLC	Mario R. Vergara Architect PC
3	8:45 p.m.	91	Tulip Avenue	Awning	Alexander Wolf & Co. Inc.	M&M Canvas and Awnings, Inc.
4	8:50 p.m.	60	Orchid Street	2nd Story Addition and Alterations	Dennis and Holly McPhillips	John Viscardi, RA
5	9:00 p.m.	47	Bellmore Street	2nd Story Front Addition and Alteration	Ian Munro	Christopher Dowdell
6	9:10 p.m.	45	East Poplar Street	2nd Story Addition	Jon and Meredith Liberatore	Phillip Giordano, RA
7	9:20 p.m.	124	Hawthorne Avenue	Solar	Marc and Dawn Windheuser	Sunation
8	9:25 p.m.	116	Irving Avenue	Solar	Mary Tina Sugumar	LI Power Solutions
9	9:30 p.m.	53	Webster Street	Solar	Matthew Bode	LI Power Solutions
10	9:35 p.m.	7	Verbena Avenue	Sign	Shalini Tiwari	Dezant Signs Inc.
11	9:40 p.m.	68	Verbena Avenue	Front Façade Renovation	Fernando Urrea	Morphitecture Design Studio
12	9:45 p.m.	25	Irving Avenue	Re-submission – Front Facade	Shailendra Sah	John Schimenti

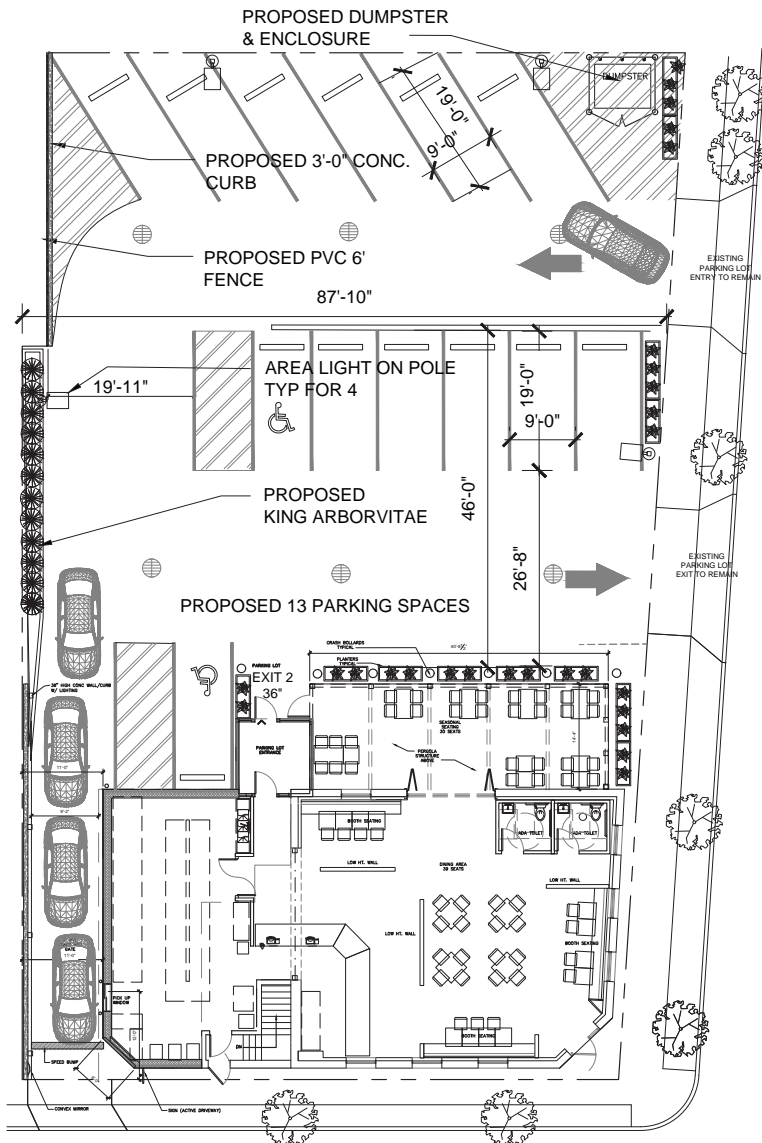
Questions about the projects can be emailed to ARB@FPVillage.org prior to the meeting to allow for the Village and Applicant to be prepared with answers. Supporting documents will be posted to the Architectural Review Board web page at least 24 hours prior to the meeting. Click [here](#) for the ARB webpage.

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1	8:00 p.m.	99	Covert Avenue	Re-submission – Addition & Alterations	Floral Park Depository 1929 Realty Partners LLC	Kenneth R. Garvin, AIA



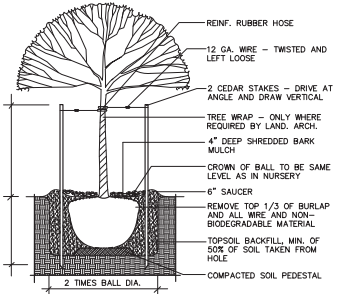
99 Covert Avenue (Aerial View)



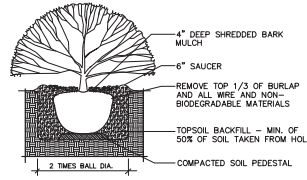


1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

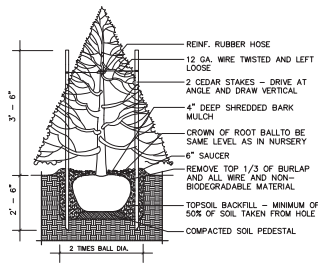
REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL SITE INFORMATION.



PLANTING DETAIL

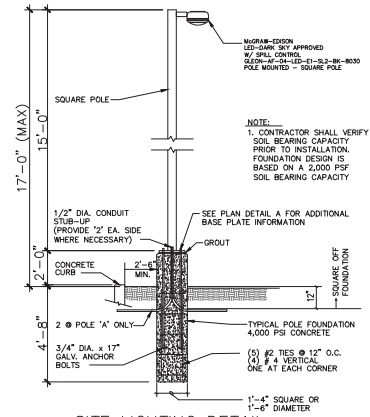


SHRUB PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL

LEGEND	SYM.	NAME	COMMENTS
	○	EXISTING TREE TO REMAIN	
	●	PROPOSED STREET TREE COORDINATE W/ VILLAGE DPW	
	✱	DWARF ENGLISH BOXWOOD	3 GAL. CONTAINER
	●	ARBORVITAE	6'-8" HEIGHT
	—	6'-0" HIGH FENCE	

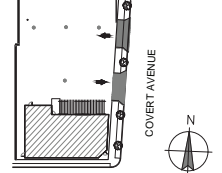


4 SITE LIGHTING DETAIL
SCALE: 1/2" = 1'-0"

PLANTING NOTES

1. ALL PLANT MATERIALS TO BE OF HIGHEST QUALITY NURSERY GROWN STOCK.
2. REFER TO DRAWINGS PRIOR TO ANY EXCAVATION FOR LOCATION OF MECHANICAL AND UTILITY LINES AND STRUCTURES. IF ANY CONFLICT EXISTS, CONTRACTOR SHALL NOTIFY ARCHITECT FOR SUGGESTED CHANGES.
3. ALL PLANT PITS TO BE BACK FILLED WITH TOPSOIL BLENDED WITH 0-20-0 FERTILIZER AT THE RATE OF 5 POUNDS PER YARD.
4. ALL TREE PITS AND SHRUB BEDS TO BE MULCHED WITH 4" DEEP FRESH MULLED SHREDDED BARK MULCH.
5. ALL TREES TO BE PLANTED AND STAKED AS PER DETAIL.
6. ALL PLANT MATERIALS TO BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER PLANTING.
7. IF ANY DISCREPANCY EXISTS BETWEEN THE PLAN AND PLANT LIST, THE PLAN SHALL GOVERN.
8. ALL PLANT MATERIALS ARE TO BE MAINTAINED WITH FERTILIZER AND OTHER REQUIRED MATERIALS TO MAINTAIN A NEAT AND HEALTHY APPEARANCE.
9. ALL PLANT MATERIALS ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. DRIP IRRIGATION IS TO BE INSTALLED WHERE POSSIBLE. ALL IRRIGATION COMPONENTS AND INSTALLATION SHALL COMPLY WITH ALL LOCAL, STATE & FEDERAL CODES.
10. ALL PLANTS WHICH DIE OR BECOME DISEASED SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR.
11. ALL NEW SEED AREAS ARE TO RECEIVE 4" MIN. OF TOPSOIL.
12. ALL SEED AREAS ARE TO BE SEEDDED WITH 5 POUNDS OF FESCUE VARIETY GRASS SEED PER 1000 SQ.FT.

KEY PLAN



CLAYTON AVENUE
SECTION: 32 BLOCK: 272 LOT: 23-29

Rev.	Date	Description
4/2/24		ISSUED FOR PERMIT
5/24/24		ISSUED FOR SITE PLAN ARB
		REVIEW

Consultants:

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS OR ALTERATIONS BY OTHERS ARE PROHIBITED.

KENNETH R. GARVIN, AIA
545 8TH AVENUE
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(516) 444-6584
email: GARVIN.DESIGN.ART@GMAIL.COM

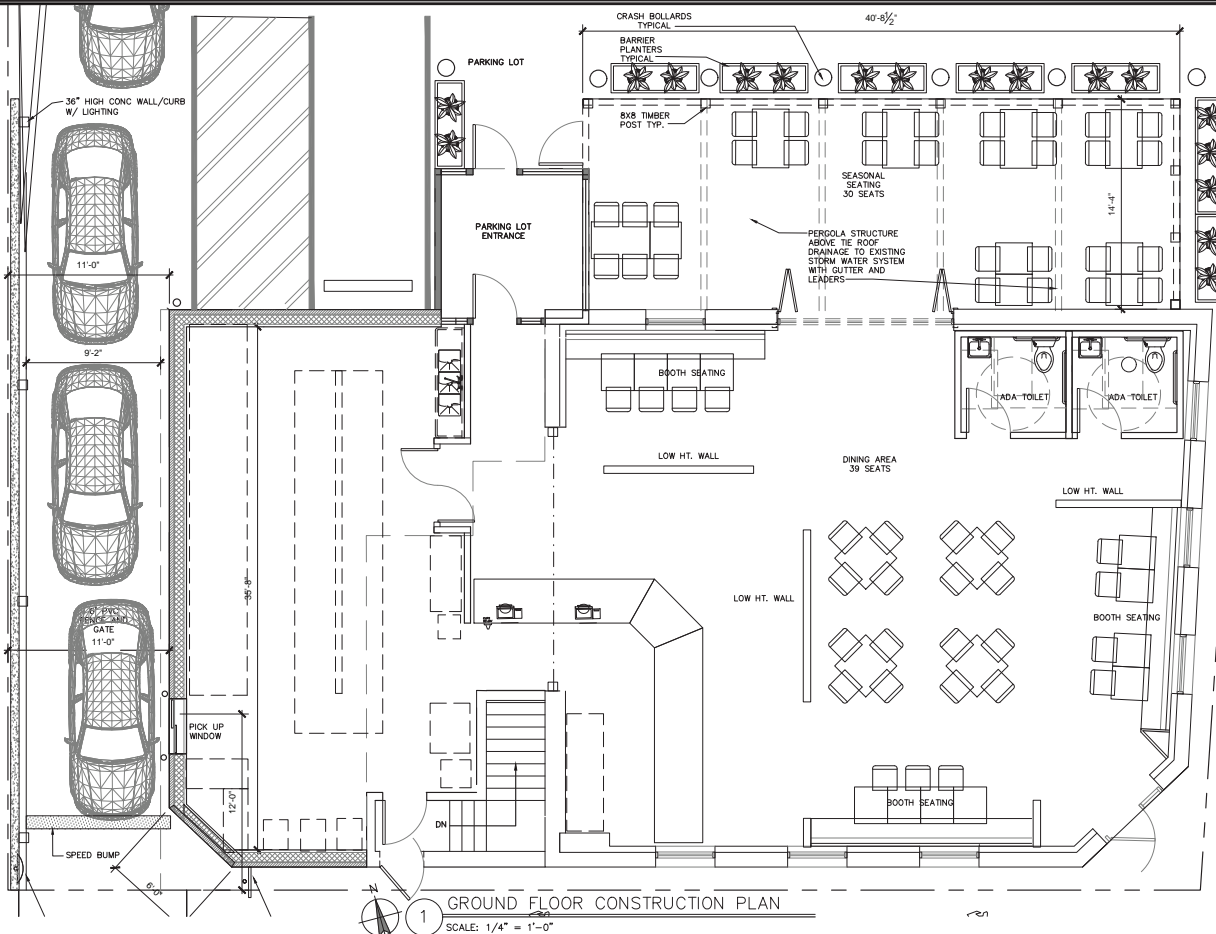
PROJECT NAME
99 COVERT AVENUE
ADDITION & INTERIOR
ALTERATION FOR
NEW RESTAURANT
99 COVERT AVENUE
FLORAL PARK, NY 11001

TYPE OF DRAWING
PROPOSED SITE PLAN &
FLOOR PLAN

SCALE: AS NOTED
PROJECT NUMBER 21025

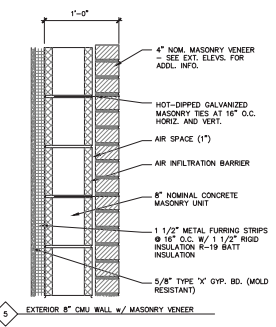
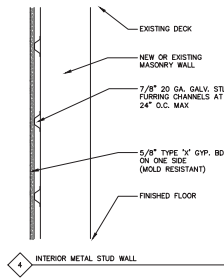
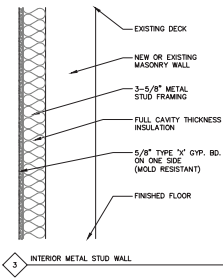
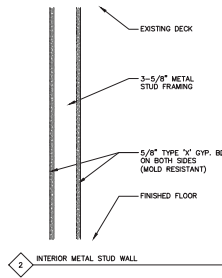
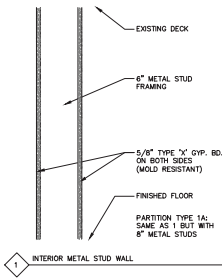
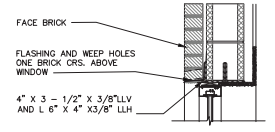
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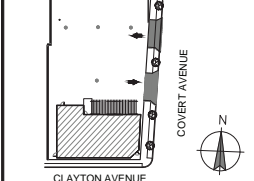


CONSTRUCTION NOTES:

- REFER TO TITLE SHEET FOR ADDITIONAL INFORMATION AND LEGENDS.
- WHERE NEW CONSTRUCTION ALIGNS WITH EXISTING CONSTRUCTION, ALIGN STUD TRACK WITH EXISTING FINISHED SURFACE AND APPLY A CONTINUOUS NEW LAYER OF GYPSUM BOARD OVER FACE OF EXISTING CONSTRUCTION. THIS NOTE DOES NOT APPLY TO BUILDING CORE PARTITIONS.
- EXISTING DOORS AND FRAMES TO REMAIN SHALL BE SANDED SMOOTH FILLED WITH APPROPRIATE FILLER WHERE REQUIRED, RE-SANDED SMOOTH AND PRIMED FOR PAINTING. REMOVE ALL EXISTING SIGNAGE PRIOR TO PREPARATION AND PAINTING OF DOORS. SAVE SIGNAGE FOR RE-USE.
- CONTRACTOR SHALL NOTIFY ARCHITECT UPON COMPLETION OF PARTITION LAYOUT CHALK LINES. NO STUDS OR TRACK SHALL BE INSTALLED WITHOUT THE APPROVAL OF THE ARCHITECT.
- AS PART OF THIS CONTRACT, GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OPEN AND CLOSE ALL EXISTING CONSTRUCTION WITHIN AND OUTSIDE OF THE IMMEDIATE PROJECT SCOPE, WHERE REQUIRED IN ORDER TO COMPLETE THE SPECIFIED WORK. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO ELECTRICAL CIRCUITING AND ROUTING, PLUMBING LINES, HVAC DUCTWORK AND CONTROLS, ETC.
- BOTTOM TRACK OF ALL PARTITIONS TO BE CAULKED TO SLAB FOR SOUND RATING.
- CONTRACTOR SHALL FIRE STOP DUCT, PIPE, AND ALL SLAB PENETRATIONS, FLOOR AND CEILING, NEW AND EXISTING WITH APPROVED MATERIAL TO PROVIDE 2 HOUR FIRE RATING. SEE ENGINEERING DRAWINGS FOR LOCATIONS OF NEW PENETRATIONS.
- CONTRACTOR SHALL FIRE STOP ALL WALL PENETRATION THROUGH CORE WALLS AND SHAFTS, NEW AND EXISTING WITH APPROVED MATERIAL TO PROVIDE 2 HOUR FIRE RATING. SEE ENGINEERS DRAWINGS FOR LOCATIONS OF NEW PENETRATIONS.
- PROVIDE PROPER BLOCKING IN STUD WALLS WHERE FEATURES, DEVICES, OR EQUIPMENT ARE TO BE MOUNTED. ALL WOOD BLOCKING TO BE FIRE RESISTANT TREATED. COORDINATE WITH ARCHITECT, AND COMPLY WITH ADA LAW.
- VERIFY ALL DIMENSIONS, BOTH HORIZONTAL AND VERTICAL, PRIOR TO CONSTRUCTION IN ALL AREAS OF PROJECT. NOTIFY ARCHITECT IF ANY DISCREPANCIES SHOULD OCCUR.
- ALL DOORS AND HARDWARE AS SELECTED BY OWNER. ALL HARDWARE TO BE ADA COMPLIANT. ALL DOOR JAMBS TO BE 6" UNLESS OTHERWISE NOTED.



KEY PLAN



SECTION: 32 BLOCK: 272 LOT: 23-29

Rev.	Date	Description
4/2/24		ISSUED FOR PERMIT
5/24/24		ISSUED FOR SITE PLAN ARB
		REVIEW

Consultants:

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email: GARVIN.DESIGN.ART@GMAIL.COM

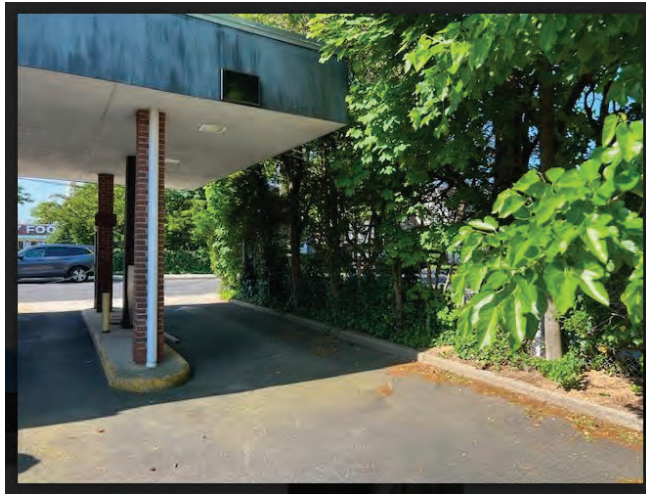
PROJECT NAME:
99 COVERT AVENUE
ADDITION & INTERIOR
ALTERATION FOR
NEW RESTAURANT
99 COVERT AVENUE
FLORAL PARK, NY 11001

TYPE OF DRAWING:
**GROUND FLOOR
CONSTRUCTION PLAN**

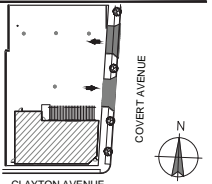
SCALE: AS NOTED
PROJECT NUMBER: 21025

DWG INFO:
DRAWN BY:





KEY PLAN



CLAYTON AVENUE
SECTION: 32 BLOCK: 272 LOT: 23-29

Rev.	Date	Description
	4/2/24	ISSUED FOR PERMIT
	5/24/24	ISSUED FOR SITE PLAN ARB REVIEW

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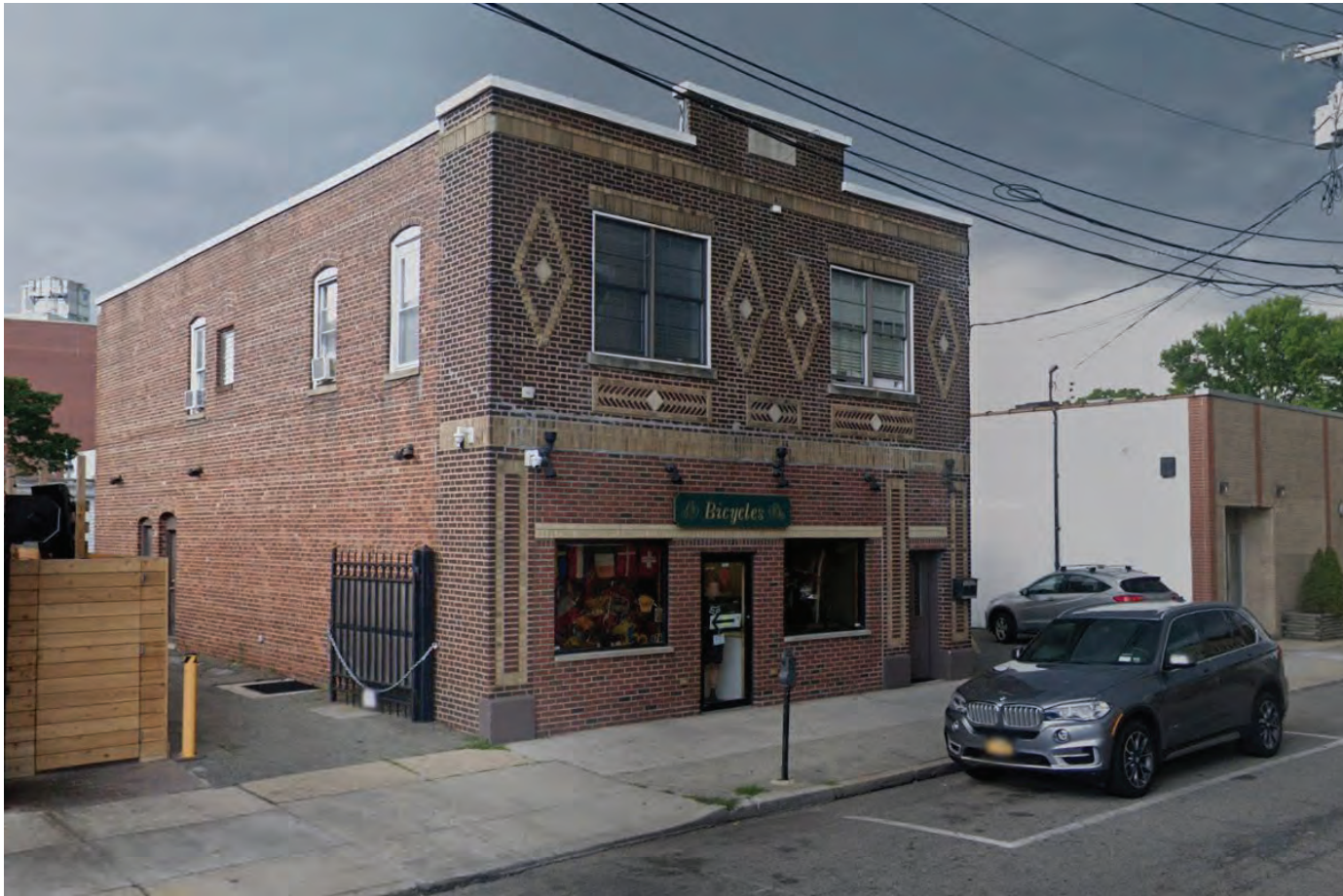
TYPE OF DRAWING

SCALE: AS NOTED
PROJECT NUMBER 21025

DWG INFO:
DRAWN BY:



Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
2	8:30 p.m.	76	South Tyson Avenue	Addition and Alterations	76 South Tyson Food Group LLC	Mario R. Vergara Architect PC



76 South Tyson Avenue (Aerial View)



CLIENT

Vincent DiRico
76 South Tyson Avenue
Floral Park, NY 11001
gvmencheher9@gmail.com

ARCHITECT

Name

Address

Email

Tel.

Name

Address

Email

Tel.

MEFP ENGINEERS

Name

Address

Email

Tel.

STRUCTURAL ENGINEERS

Name

Address

Email

Tel.

CONSULTANT

Name

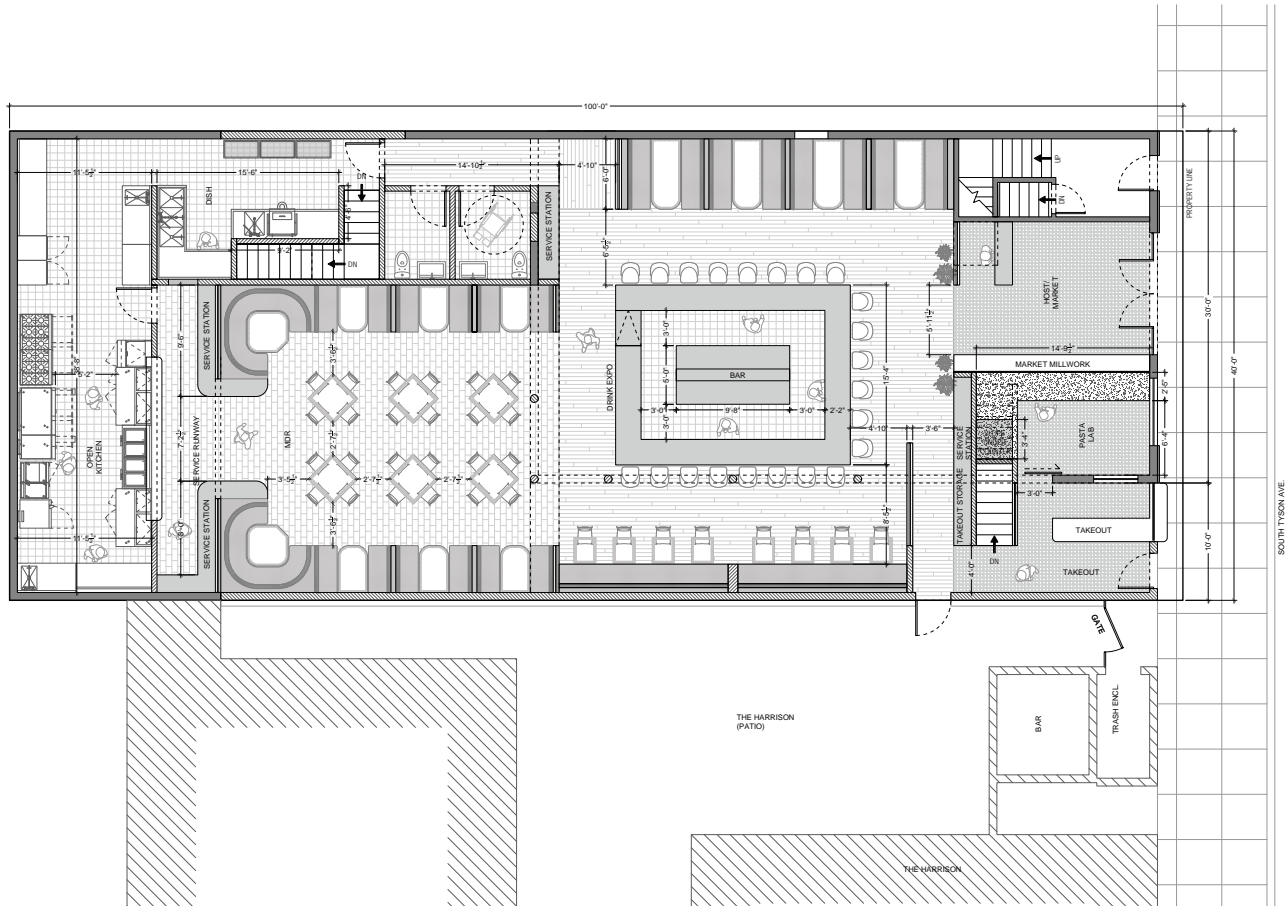
Address

Email

Tel.

FLORAL PARK I ITALIAN EATERY

76 South Tyson Avenue
Floral Park, NY 11001



1

FLOOR PLAN | OPTION B

1/8" = 1'-0"

SCALE: 1/4" = 1'-0"



ACKNOWLEDGEMENTS

- 1. ALL WORK IS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS INCLUDING BUILDING CODES AND OTHER APPLICABLE REGULATIONS.
- 2. THIS DRAWING IS NOT TO BE SCALED. ONLY FIGURED DIMENSIONS AND DIMENSIONS SHOWN ON THIS DRAWING SHALL BE USED.
- 3. ALL MATERIAL DETAILS, LEVELS AND DIMENSIONS MUST BE CHECKED ON SITE BEFORE COMMENCEMENT OF CONSTRUCTION WORK.
- 4. ALL MATERIALS AND PRODUCTS TO BE USED MUST BE APPROVED BY THE ARCHITECT AND MUST BE AVAILABLE AT THE PROJECT LOCATION FOR INSPECTION AT ALL TIMES.
- 5. ALL REPRESENTATIONS ON THIS DRAWING ARE THE PROPERTY OF BOLT. NO PARTS OF THIS DRAWING ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF BOLT.

ISSUANCE

NO.	DESCRIPTION	DATE

02	Issued for Review	03/01/2024
01	Issued for Review	02/16/2024

NO.	DESCRIPTION	DATE

ADR SEAL

SHEET INFORMATION

PROJECT NO.	23-046
DATE	02/16/2024
PHASE	Schematic Design
DRAWN BY	EP
CHECKED BY	EP
SCALE	1/8" = 1'-0"

Floor Plan

ID.102.00

SHEET NO.





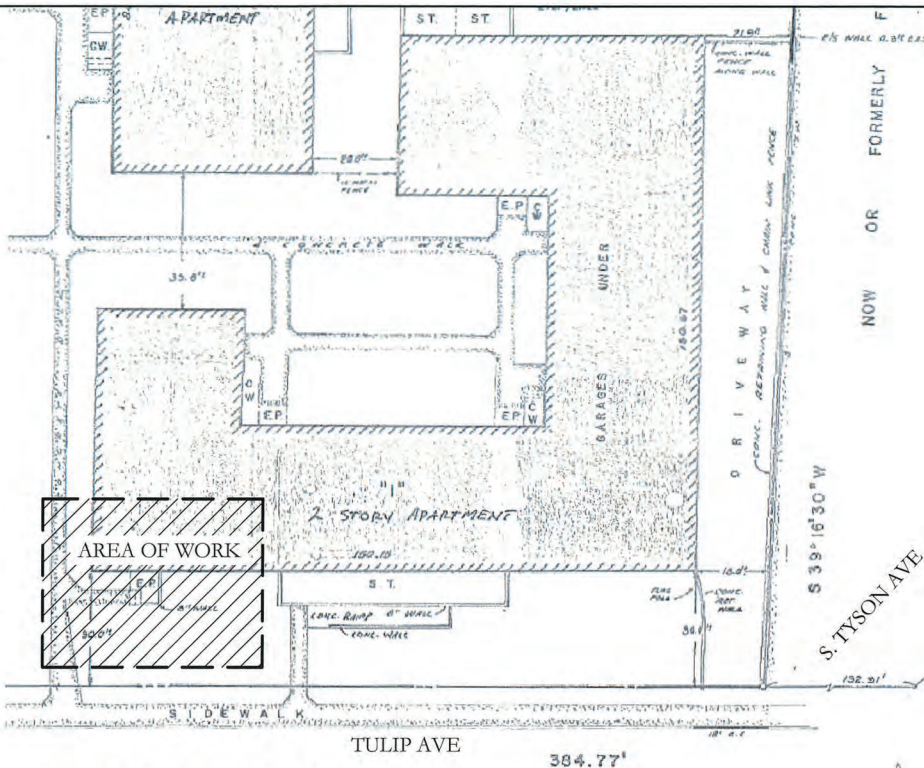
Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
3	8:45 p.m.	91	Tulip Avenue	Awning	Alexander Wolf & Co. Inc.	M&M Canvas and Awnings, Inc.



GENERAL NOTES:

1. CONTRACTOR SHALL CONTACT ONE-CALL FOR UTILITY MARK OUT PRIOR TO COMMENCEMENT.
2. CONTRACTOR SHALL PROTECT TREES IN CLOSE PROXIMITY TO PROPOSED WORK.
 - A. ALL DISTURBED AREAS ASSOCIATED WITH CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO MEET ADJACENT GRADES.
 - B. CONTRACTOR SHALL RESTORE DISTURBED AREAS WITH TOPSOIL AT A 3:1 GRADE TO MEET EXISTING GRADES.
 - C. CONTRACTOR TO LIMIT DISTURBANCE TO WORK SHOWN ON THE PLANS. NO STOCKPILING OF MATERIALS ON ROAD WILL BE ALLOWED.
3. NEWPORT ENGINEERING SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR(S), NOR FOR THE SAFETY OF PUBLIC OR CONTRACTORS EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL CONFORM TO U.S. DEPARTMENT OF LABOR SITE SAFETY AND EXCAVATION REQUIREMENTS AND STANDARD 29 CFR 1926, SPECIFIC EXCAVATION REQUIREMENTS. NEWPORT ENGINEERING NOT RETAINED FOR SITE SAFETY AND SHORING REQUIREMENTS, IF ANY.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR PRIOR TO CONSTRUCTION AND ALL WORK TO CONFORM TO LOCAL, STATE, AND FEDERAL BUILDING AND SAFETY CODES.
5. CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING TO BECOME FAMILIAR WITH PRESENT CONDITIONS AND TO JUDGE FOR THEMSELVES THE EXTENT AND NATURE OF WORK TO BE DONE & VERIFY ALL UNITS ACCORDINGLY.
6. SHOULD A DISCREPANCY ARISE BETWEEN THE DRAWINGS AND FIELD CONDITIONS, OR WHERE A DETAIL IS DOUBTFUL OF INTERPRETATION OR AN UNANTICIPATED FIELD CONDITION BE ENCOUNTERED, THE ENGINEER SHALL BE CALLED RIGHT AWAY FOR PROCEDURE TO BE FOLLOWED WHICH SHALL BE CONFIRMED IN WRITING BY THE STRUCTURAL ENGINEER WITH COPIES TO ALL PARTIES.
7. WHEREVER THERE IS A CONFLICT BETWEEN DETAILS AND SPECIFICATIONS, OR BETWEEN DETAILS, OR WHERE DOUBTFUL OF INTERPRETATION, THE MOST RESTRICTIVE SHALL GOVERN, AS DETERMINED BY THE ENGINEER.
8. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL VISIT THE SITE AND CONSIDER FIELD CONDITIONS AFFECTING THE WORK DEPICTED ON THE PLANS, AND HIS SUBMISSION OF A BID INDICATES HIS ACCEPTANCE OF SUCH CONDITIONS.
9. THE CONTRACTOR SHALL ASSURE THAT EACH SUBCONTRACTOR HAS COPIES OF LATEST PLAN REVISIONS AND IS KEPT CURRENT WITH ANY CHANGE ORDERS OR DIRECTIVES AFFECTING THE SUBCONTRACTORS WORK.
10. WITH ALTERED LAND GRADING AND DRAINAGE TYPE OF PROJECTS, CLIENT IS ADVISED THAT DURING CONSTRUCTION AND INSPECTION ENGINEER & VILLAGE RESERVES THE RIGHT TO EVALUATE AND MANDATE ADDITIONAL DRAINAGE COMPONENTS AND LAND GRADING ADJUSTMENTS INCLUDING BUT NOT LIMITED TO TIP UP BERMS, DRAINAGE SWALES, LOW POINT AREAS, TO PROVIDE ADDITIONAL STORM RUNOFF CAPTURE PRIOR TO PREVENT STORM WATER RUNOFF TO ANY ADJACENT PROPERTY LINES OR FROM VILLAGE OWNED/MAINTAINED ROADWAYS.

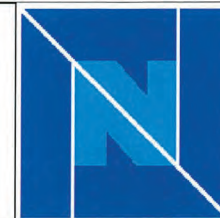
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE 2020 NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND ALL SUPPLEMENTS.



EXIST. OVERALL SITE PLAN

SCALE: 1" = 30'-0"

INFORMATION ON SITE SURVEY PROVIDED BY CHARLES E. WARD, INC. ENGINEERS & SURVEYORS DATED OCTOBER 2, 1985. UPDATED BY JERRY P. LARUE DATED: 04/01/2013. RECORD HOLDER OF CHARLES E. WARD, INC. & STANTEC CONSULTING GROUP, INC. (LONG ISLAND DIVISION)



**NEWPORT
PROFESSIONAL
ENGINEERING, PC**

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EAST NORWICH, N.Y. 11732
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WWW.NEWPORTEENGINEERINGPC.COM

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DRAWING ALTERATION
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ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION ALTERED BY FOLLOWED BY THEIR SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

No. _____ Date: _____



NICHOLAS J. DESANTIS PE
OWNER & PROJECT LOCATION:
FLOWER VIEW GARDEN
APARTMENTS
PREPARED FOR ALEXANDER WOLF
91 TULIP AVE
FLORAL PARK, NY 11001

DRAWING TITLE:

**GENERAL NOTES &
EXIST. SITE PLAN**

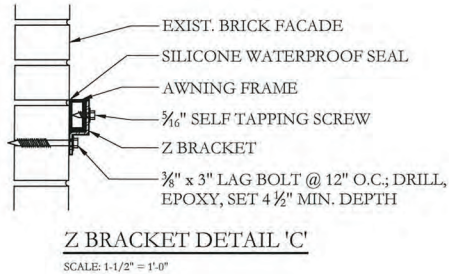
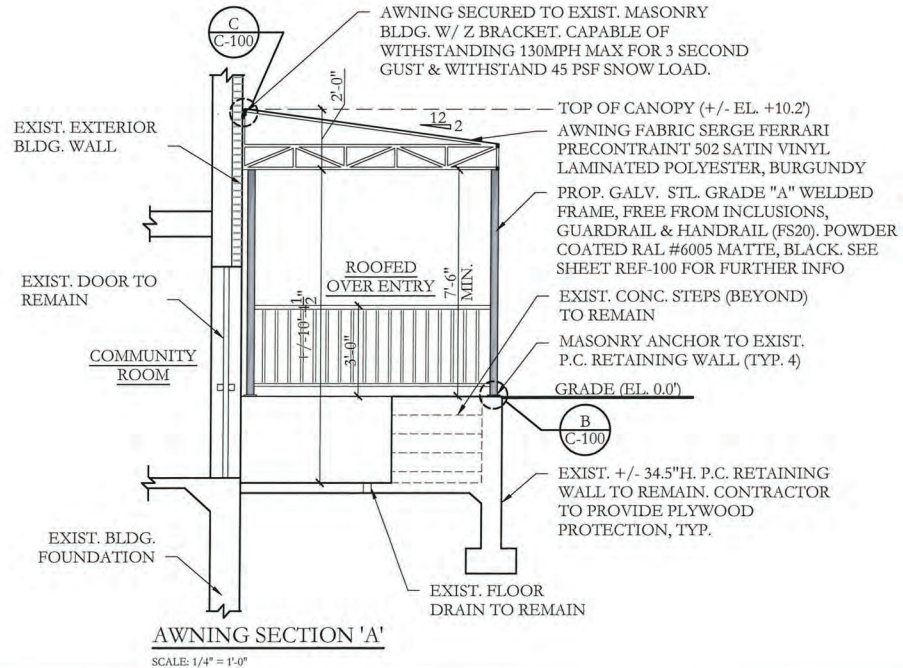
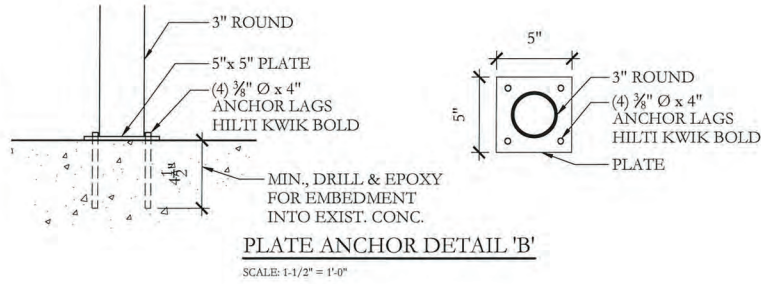
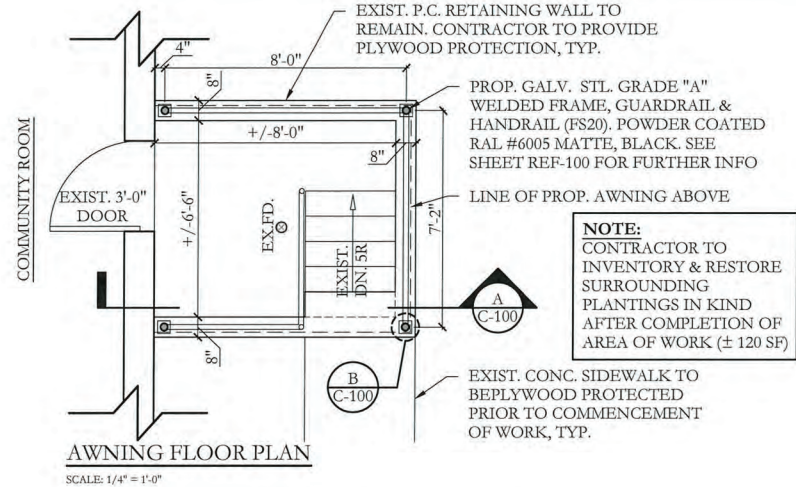
DRAWN BY: NI	DATE: 01.16.2023
CHECKED BY: ND	SHEET NO. 1 of 3
PROJECT NO.: 23-007	SCALE: AS NOTED
DRAWING NO.:	

GN-100.00



LOCATION MAP

SCALE: N.T.S.



NEWPORT PROFESSIONAL ENGINEERING, PC

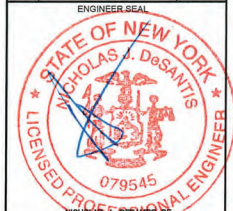
1035 OYSTER BAY RD, SUITE E
EAST NORWICH, N.Y. 11732
(T) 616-922-2872 (F) 616-922-2686
WWW.NEWPORTENGINEERINGPC.COM

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No.	Remarks	Date



OWNER & PROJECT LOCATION:
FLOWER VIEW GARDEN APARTMENTS
PREPARED FOR ALEXANDER WOLF
81 TULIP AVE
FLORAL PARK, NY, 11001

DRAWING TITLE:

AWNING PLAN & SECTION

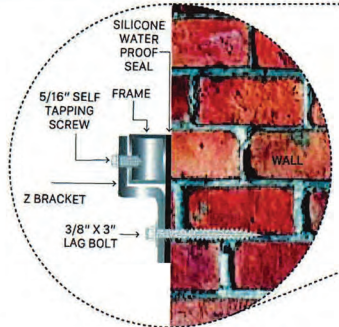
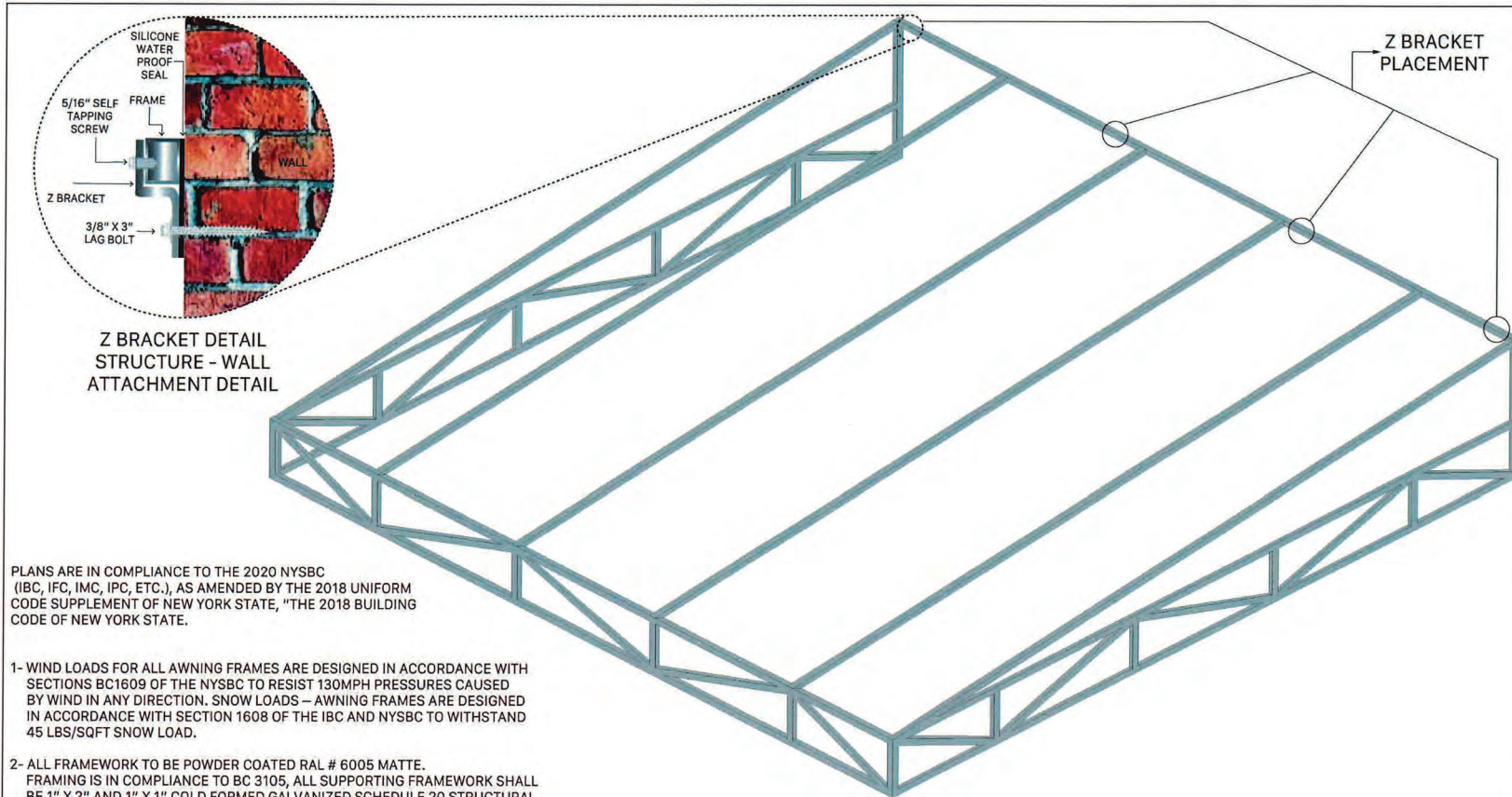
DRAWN BY: NN DATE: 01.16.2023

CHECKED BY: ND SHEET NO: 2 of 3

PROJECT NO.: 23-007 SCALE: AS NOTED

DRAWING NO.:

C-100.00



**Z BRACKET DETAIL
STRUCTURE - WALL
ATTACHMENT DETAIL**

**Z BRACKET
PLACEMENT**

PLANS ARE IN COMPLIANCE TO THE 2020 NYSBC (IBC, IFB, IMC, IPC, ETC.), AS AMENDED BY THE 2018 UNIFORM CODE SUPPLEMENT OF NEW YORK STATE, "THE 2018 BUILDING CODE OF NEW YORK STATE.

- 1- WIND LOADS FOR ALL AWNING FRAMES ARE DESIGNED IN ACCORDANCE WITH SECTIONS BC1609 OF THE NYSBC TO RESIST 130MPH PRESSURES CAUSED BY WIND IN ANY DIRECTION. SNOW LOADS – AWNING FRAMES ARE DESIGNED IN ACCORDANCE WITH SECTION 1608 OF THE IBC AND NYSBC TO WITHSTAND 45 LBS/SQFT SNOW LOAD.
- 2- ALL FRAMEWORK TO BE POWDER COATED RAL # 6005 MATTE. FRAMING IS IN COMPLIANCE TO BC 3105, ALL SUPPORTING FRAMEWORK SHALL BE 1" X 2" AND 1" X 1" COLD FORMED GALVANIZED SCHEDULE 20 STRUCTURAL STEEL TUBING CONFORMING TO ASTM A500 (GRADE A). ALL CONNECTIONS SHALL BE FULL PENETRATION WELDS, CONTINUOUS AND FREE FROM INCLUSIONS. WELDS IN CONTACT WITH FABRIC WILL BE GROUND SMOOTH. ALL WELDS SPRAYED WITH HIGH ZINC CONTENT PRIMER.
- 3- FABRIC TO BE SERGE FERRARI #502 BURGUNDY. FABRIC MEETS ALL CURRENT FLAME RETARDANT STANDARDS INCLUDING NFPA-701. COVER BE ATTACHED TO PREFABRICATED.

**① CANOPY ISOMETRIC VIEW
FRAME WITHOUT UPRIGHTS**

M&M Awning 180 Oval Drive, Islandia, NY 11749	FLOWER VIEW GARDEN APARTMENT 91 TULIP AVENUE, FLORAL PARK, NY, 11001	Scale: By: AG	Date: 04.04.24 Dwg: A-1
---	--	------------------	----------------------------



**NEWPORT
PROFESSIONAL
ENGINEERING, PC**
 1035 OYSTER BAY RD, SUITE E
 EAST NORWICH, N.Y. 11732
 (T) 516-922-2672 (F) 516-922-2686
 WWW.NEWPORTENGINEERINGPC.COM

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DRAWING ALTERATION
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ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

No.	Remarks	Date



NICHOLAS J. DESANTIS, P.E.
OWNER & PROJECT LOCATION:
 FLOWER VIEW GARDEN APARTMENTS
 PREPARED FOR ALEXANDER WOLF
 91 TULIP AVE
 FLORAL PARK, NY, 11001

DRAWING TITLE:

REFERENCE

<small>DRAWN BY:</small> NN	<small>DATE:</small> 01.18.2023
<small>CHECKED BY:</small> ND	<small>SHEET NO.:</small> 3 of 3
<small>PROJECT NO.:</small> 23-007	<small>SCALE:</small> AS NOTED
<small>DRAWING NO.:</small>	

REF-100.00



Lemon

502V2-50674C



Buttercup

502V2-2166C



Dijon

502V2-50671C



Orange

502V2-8204C



Carrot

502V2-2172C



Raspberry

502V2-2150C



Poppy

502V2-8255C



Terracotta

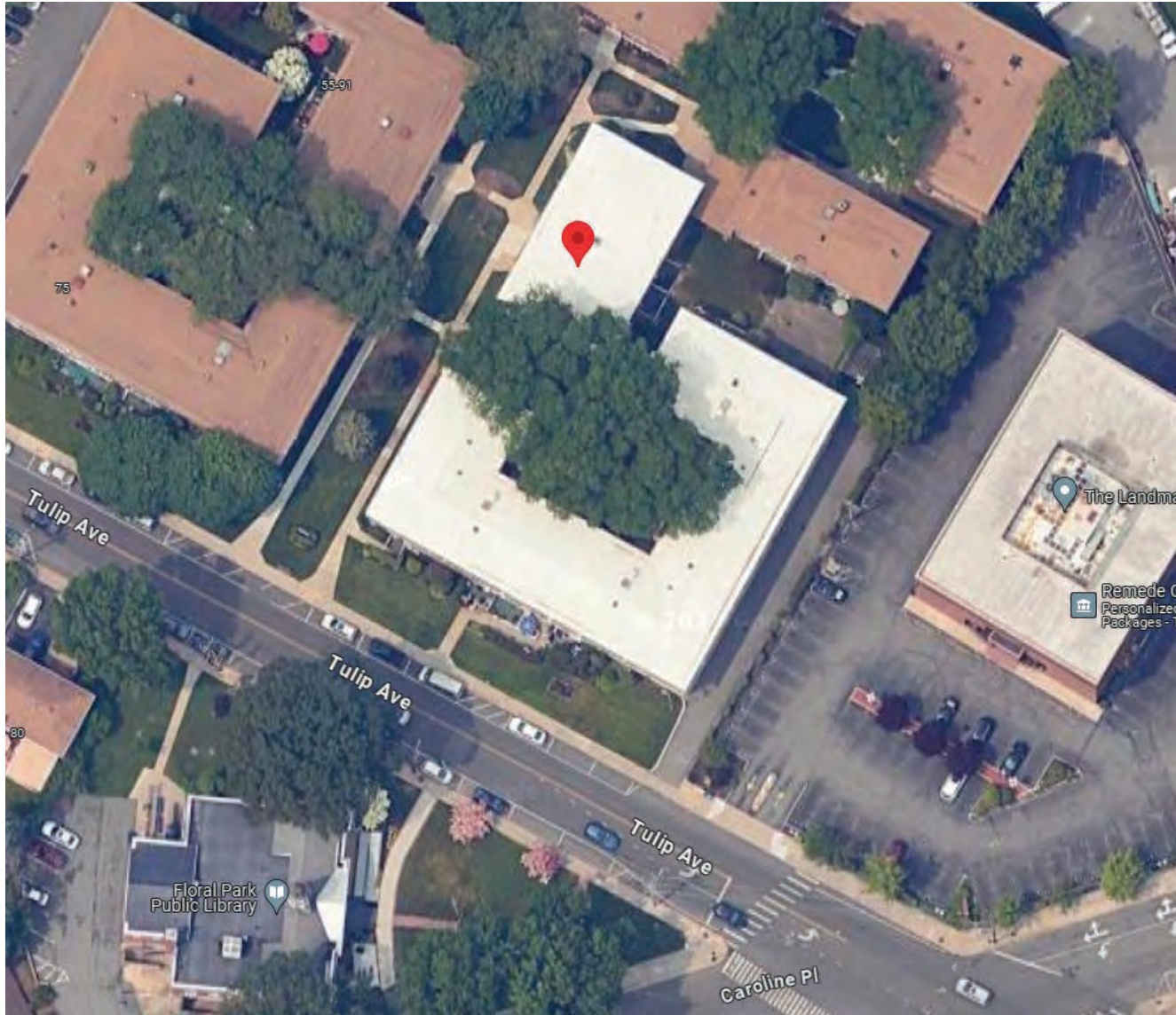
502V2-20185C



Burgundy

502V2-8284C

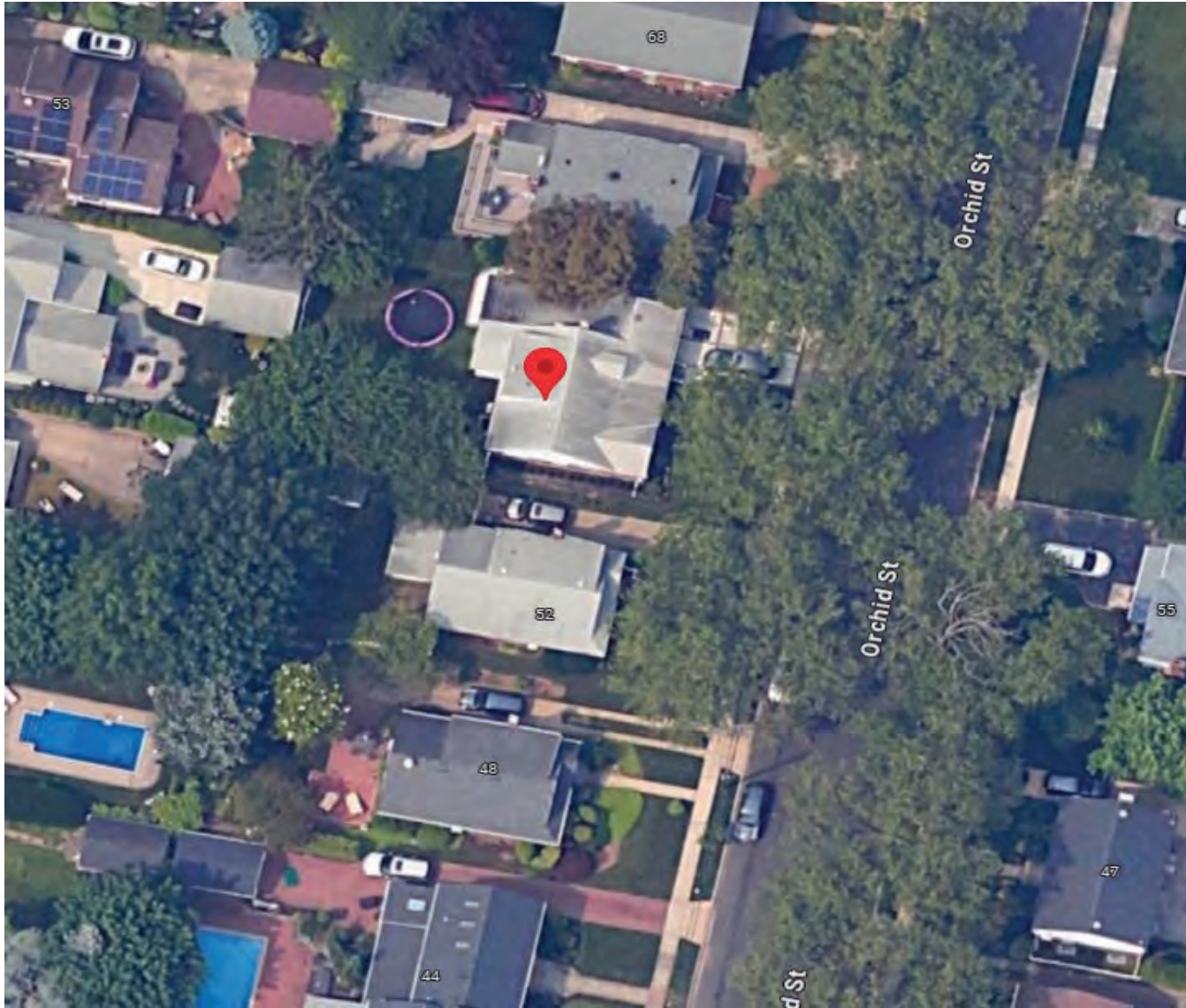
91 Tulip Avenue (Aerial View)



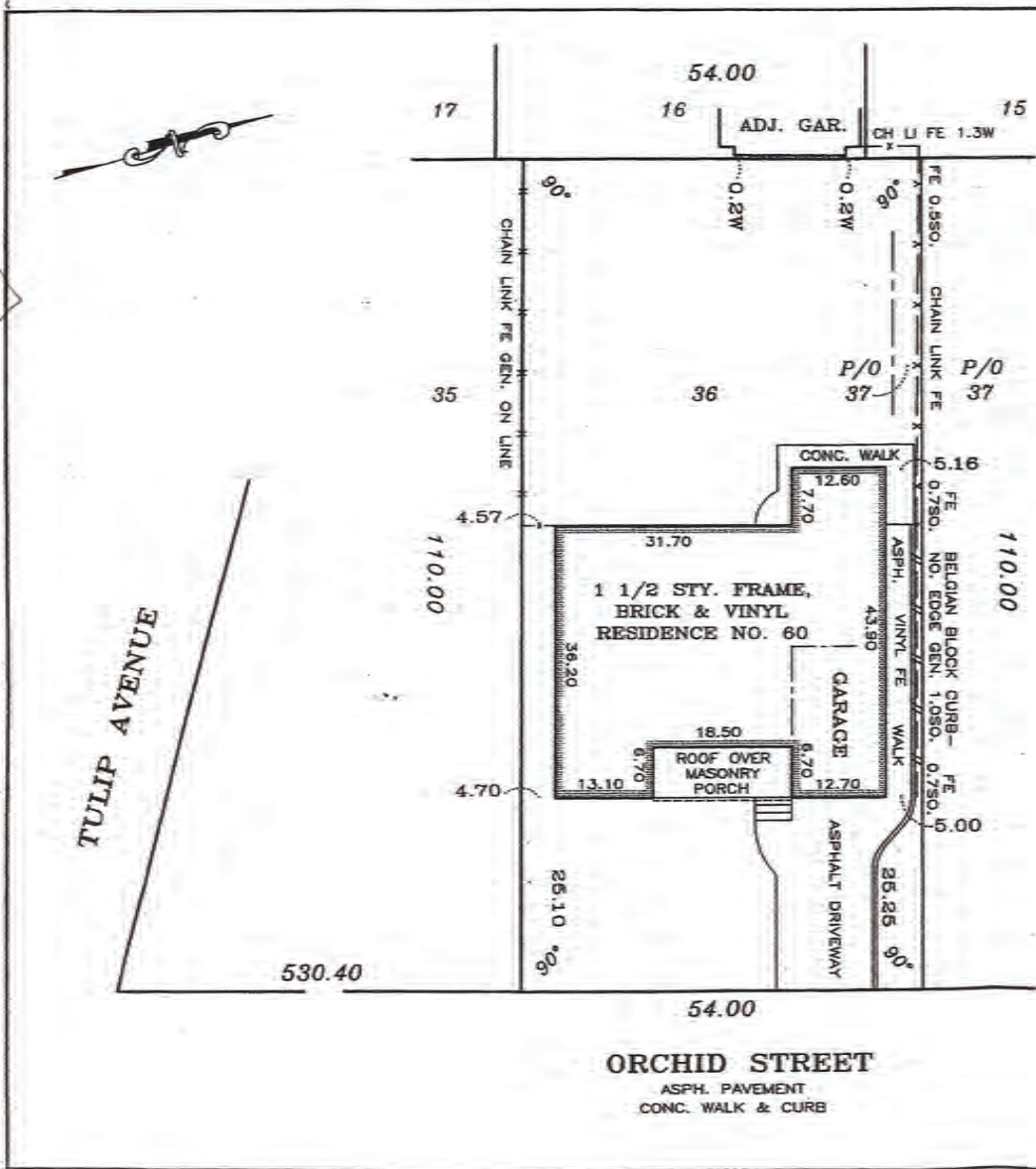
Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
4	8:50 p.m.	60	Orchid Street	2nd Story Addition and Alterations	Dennis and Holly McPhillips	John Viscardi, RA



60 Orchid Street (Aerial View)







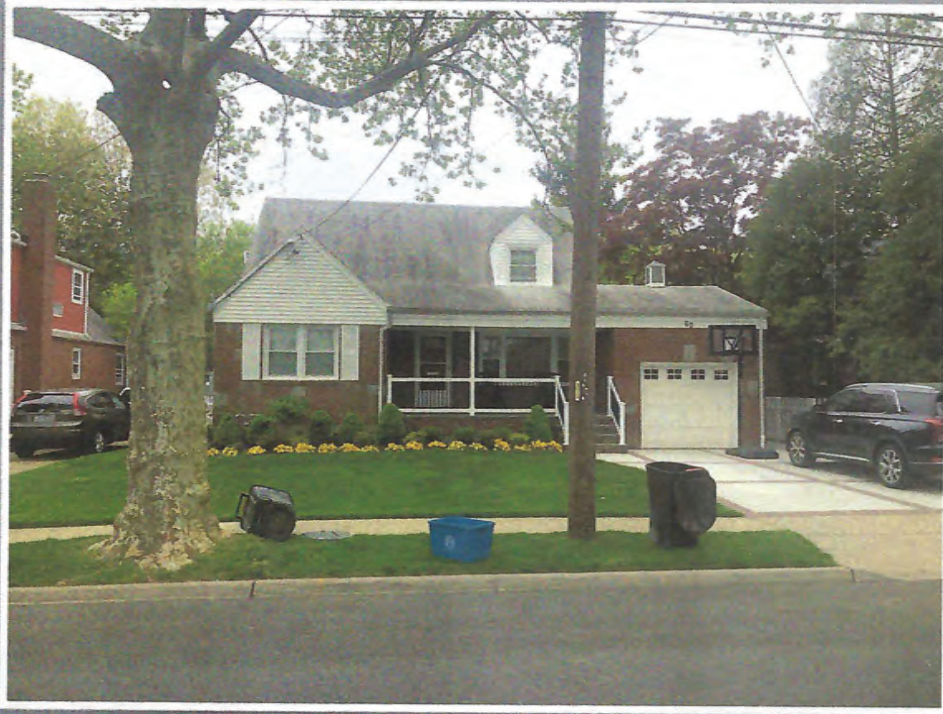
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THE OFFSETS OR DIMENSIONS SHOWN HEREON FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PATIOS, PLANTING AREAS, ADDITION TO BUILDINGS OR ANY OTHER CONSTRUCTION.

SURVEY OF: LOT 36 & P/O LOT 37
FILED MAP: "REVISED MAP OF HILLCREST, SECT. FILED MAY 18, 1928, MAP NO. 931
LOCATED: INC. VILLAGE OF FLORAL PARK, TOW. COUNTY OF NASSAU, STATE OF NY
SURVEYED: OCT. 3, 2011
TAX DESIG.: 32 - 260 - 36 & P/O 168
TITLE NO.: CTA-11-2038
CERT. TO: DENNIS C. McPHILLIPS
 HOLLY ANN M. McPHILLIPS
 CHICAGO TITLE INSURANCE COMPANY
 COACH TITLE INSURANCE AGENCY
 STERLING NATIONAL MORTGAGE COM.
 IT'S SUCCESSORS AND OR ASSIGNS

STATE OF NEW YORK
 JACK ALLISON HALL
 LIC. LAND SURVEYOR
 N.Y.S. LIC. No. 30979
 995 SUNRISE HWY., BABYLON.
 (631) 669-1933 / 636
 SCALE: 1"=20' JOB NO:

60 ORCHID STREET

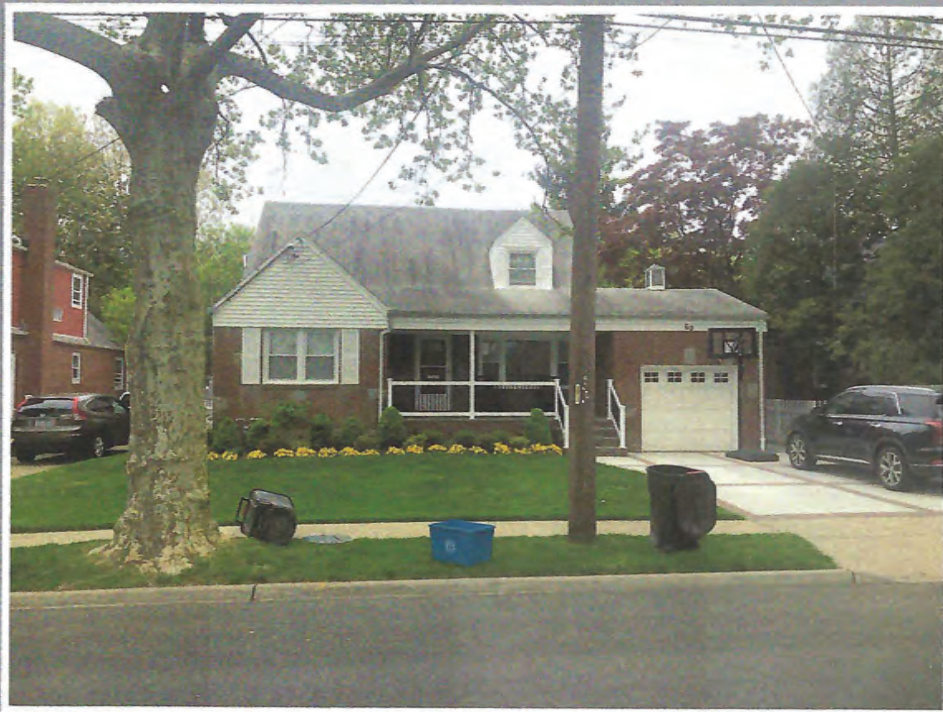


FRONT FACADE



LEFT SIDE FACADE

60 ORCHID STREET



FRONT FACADE



RIGHT SIDE FACADE

60 ORCHID STREET



REAR FACADE



REAR FACADE

60 ORCHID STREET



ADJACENT DWELLING NO. 52



ADJACENT DWELLING NO. 64



FRONT ELEVATION

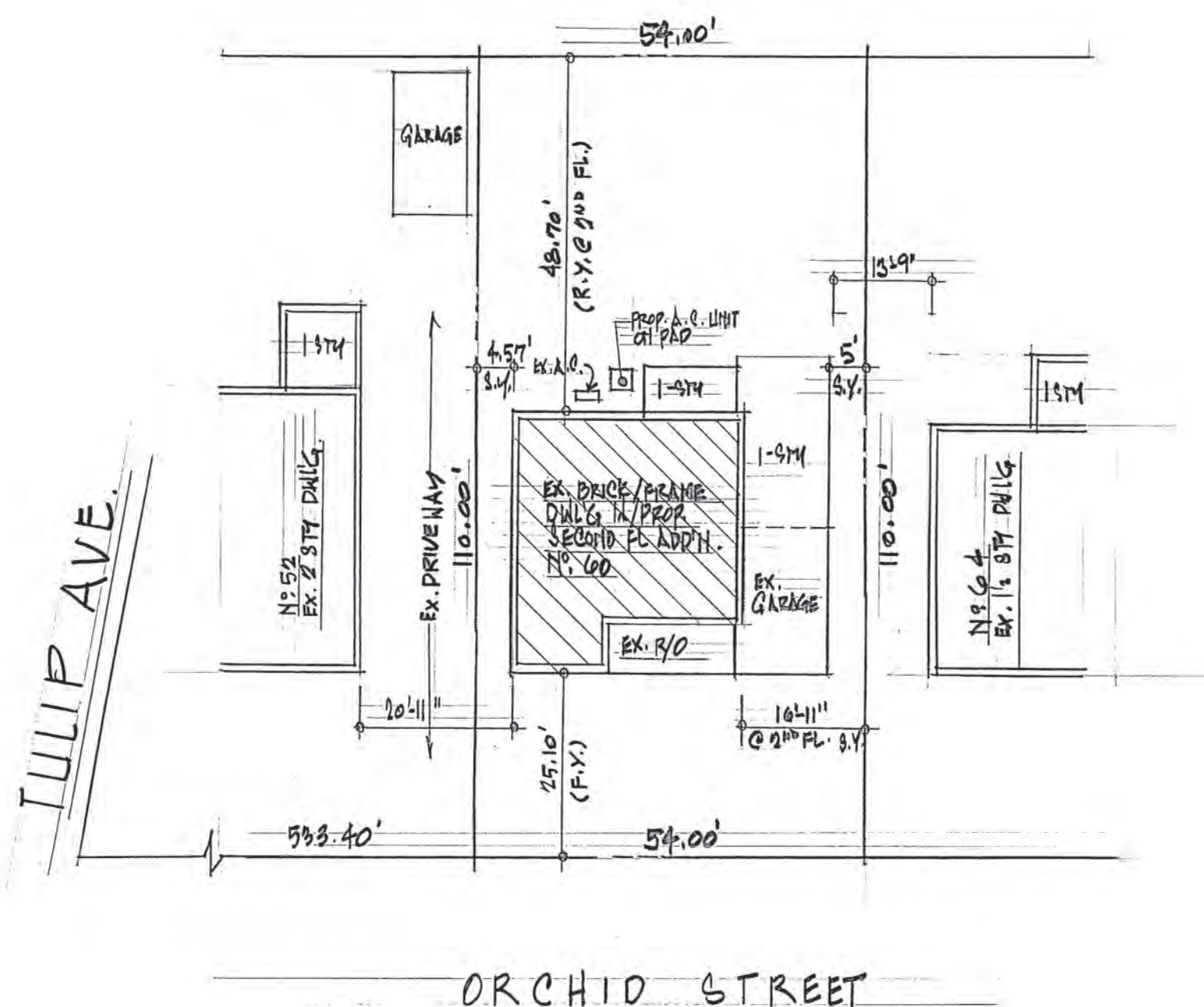
McPhillips R E S I D E N C E

60 Orchild Street • Village of Floral Park, New York

JMK Architectural Services, P.C

John VISCARDI, Architect

Joseph VISCARDI, Jr, Computer Rendering 2023

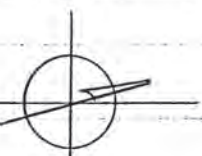


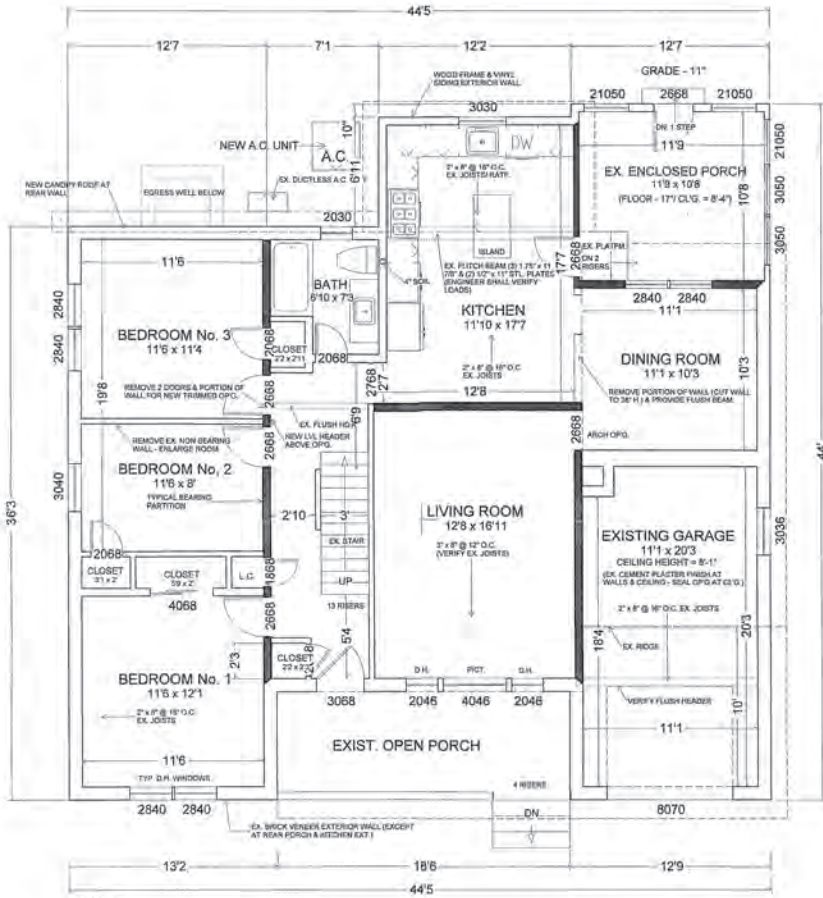
ORCHID STREET

PLOT PLAN

SCALE: 1" = 16'-0"

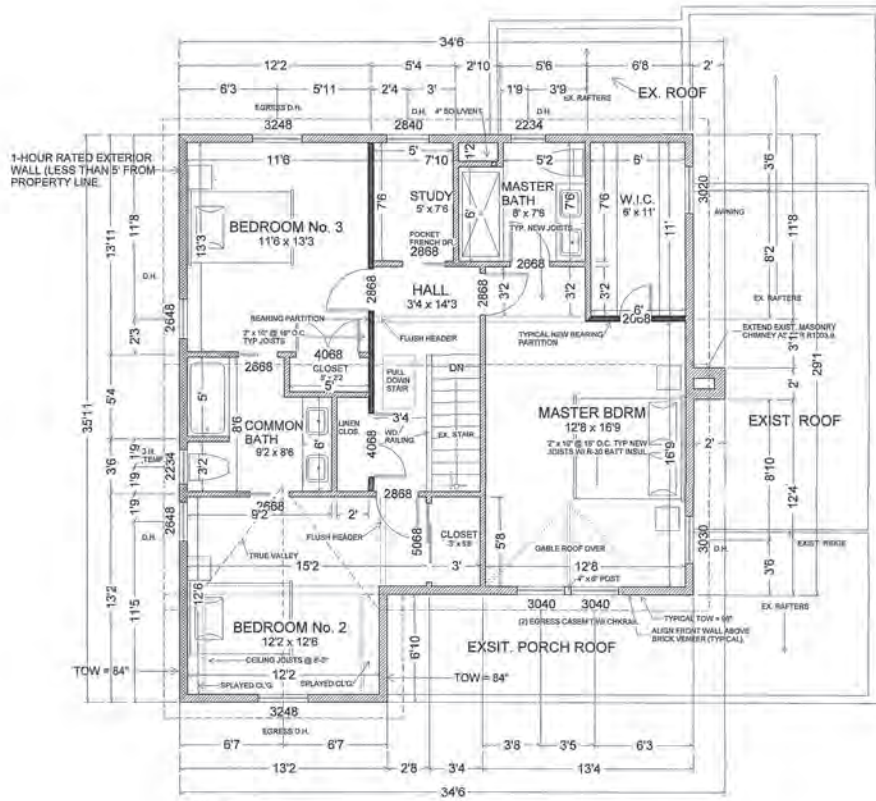
NORTH





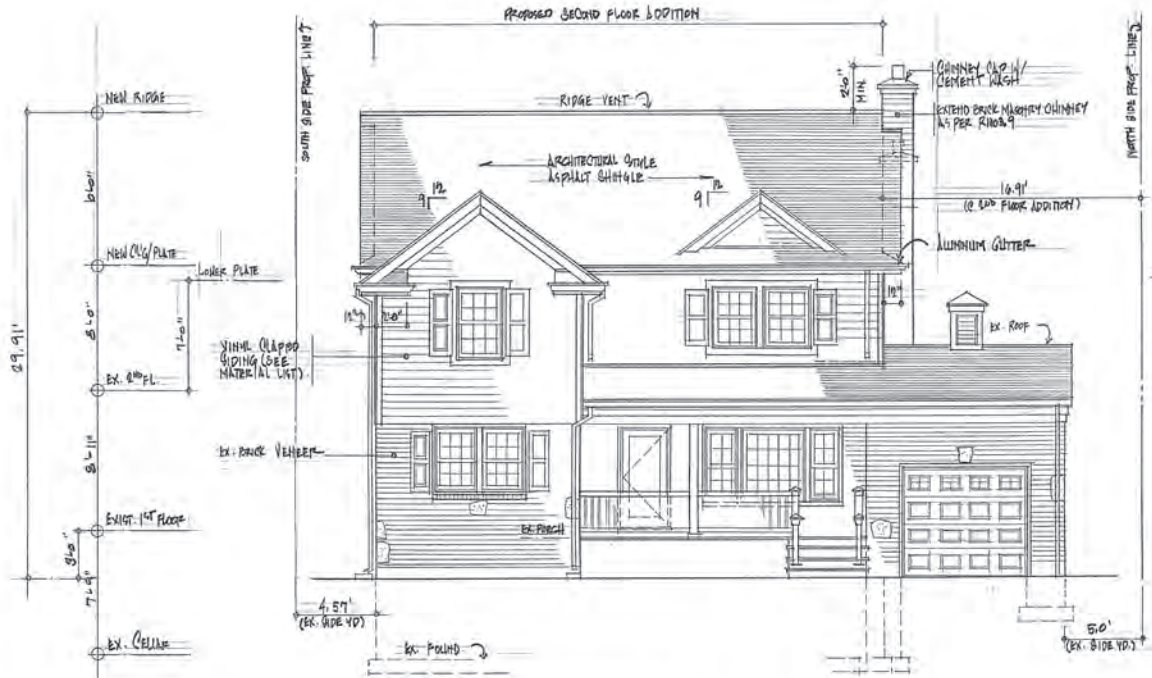
- NOTES:
1. FIRST FLOOR CEILING HEIGHT = 8'-2" & TOP OF WINDOW = 6'-8" (UNLESS OTHERWISE NOTED).
 2. CEILING JOISTS SIZE & DIRECTION AS PER PRIOR ARCHITECTS DRAWINGS.

New First Floor Plan
Scale: 1/4" = 1'-0"

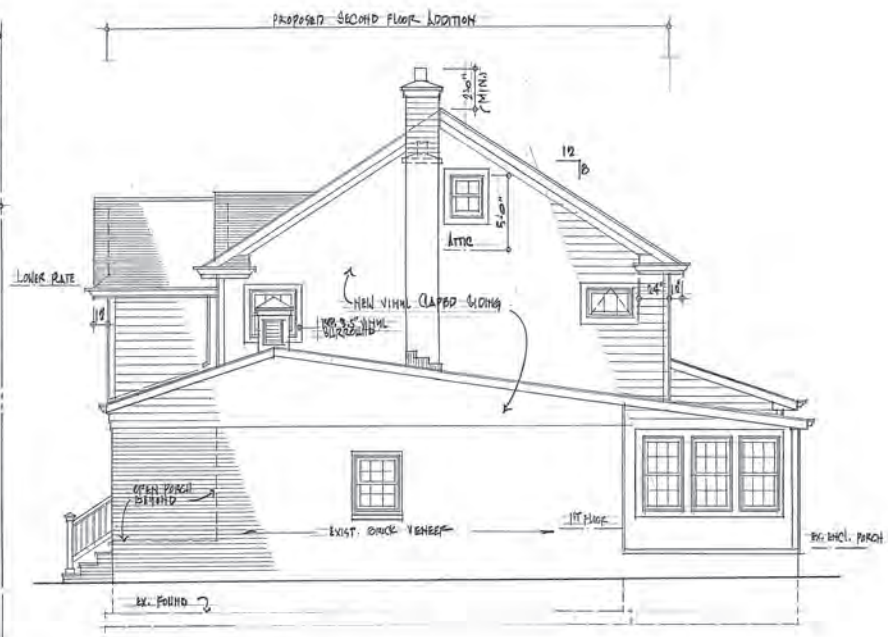


- NOTES:
1. SECOND FLOOR CEILING HEIGHT = 8'-0" & TOP OF WINDOW = 7'-0" (UNLESS OTHERWISE NOTED).
 2. TOW = TOP OF WALL PLATE.
 3. REMOVE EXISTING DWELLING ROOF, EXISTING SECOND FLOOR JOISTS TO REMAIN.

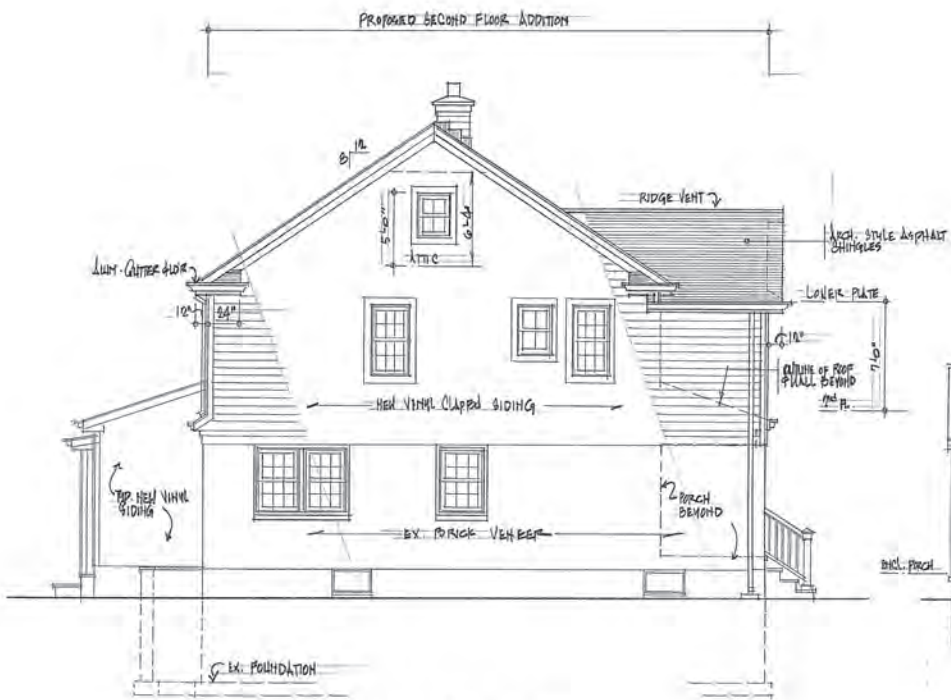
New Second Floor Plan
Scale: 1/4" = 1'-0"



FRONT ELEVATION (EAST)
SCALE: 1/4"=1'-0"

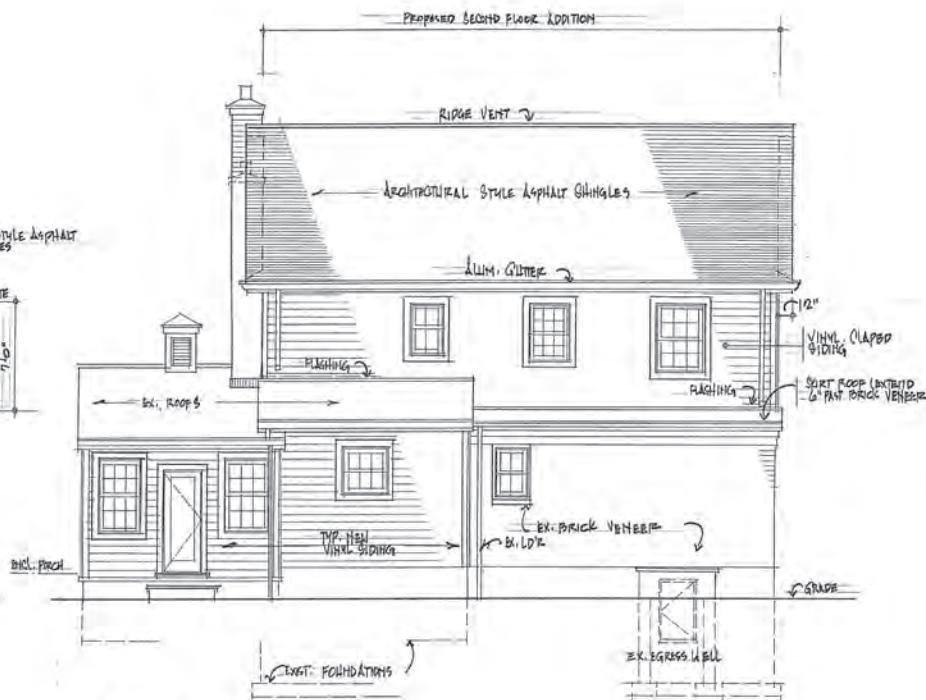


RIGHT SIDE ELEVATION (NORTH)
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



Specification Material Listing

PREMISES: MC PHILLIPS RESIDENCE
60 ORCHARD STREET - VILLAGE OF FLORAL PARK

ROOF SHINGLES:

- ARCHITECTURAL STYLE ASPHALT ROOF SHINGLES
- MANUFACTURER: GAF TIMBERLINE HIGH DEFINITION SHINGLES
- COLOR: CHARCOAL

SIDING:

- VINYL COMPOSITION SIDING
- CERTAINTEED - CEDAR BOARD 7" CLAPBOARD INSULATED SIDING
- COLOR - COLONIAL WHITE

SHUTTERS

- VINYL RAISED PANEL
- COLOR - BLACK

BRICK MASONRY:

- EXIST. FACADE AT FIRST FLOOR TO REMAIN

WINDOWS/DOORS:

- ANDERSEN '400 SERIES' VINYL CLAD WITH GRILLES (AS PER ELEVATIONS)
- DOUBLE HUNG, CASEMENTS AND AWNING
- COLOR - WHITE

GARAGE DOORS :

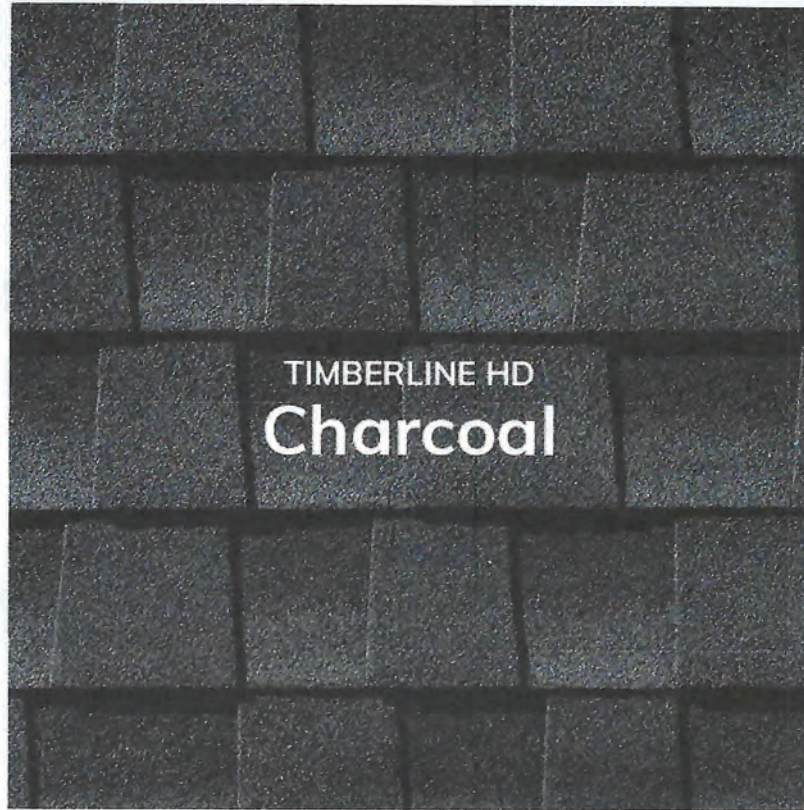
- EXIST. TO REMAIN.

FRONT DOOR:

- EXIST. TO REMAIN

TRIM/MOULDINGS/GUTTERS:

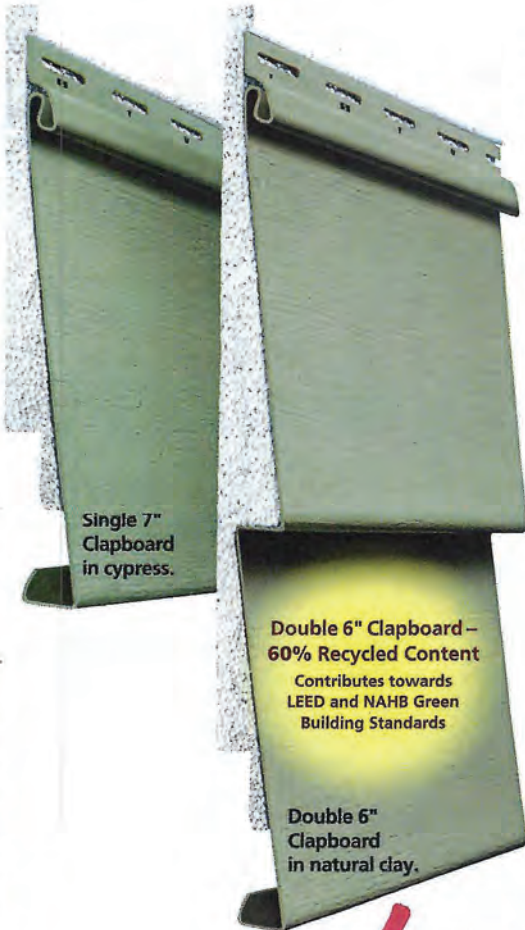
- ALL WINDOWS SHALL HAVE 3 1/2" WIDE VINYL FRAME (COLOR - WHITE).
- ALL TRIMWORK, VINYL FACIAS AND SOFFITS (COLOR - WHITE).
- GUTTERS 5" AND LEADER (COLOR - WHITE).



CedarBoards™ XL has the same great benefits as traditional length CedarBoards, plus it reduces seams.

CedarBoards™ XL Double 6" and Single 7" Clapboard - 16 Feet 8 Inches

Traditional Siding Panel - 12 Feet 6 inches



Long on Looks

With traditional 12' siding panels, seams appear every two to three feet. CedarBoards™ XL's longer length panels can significantly reduce seams.

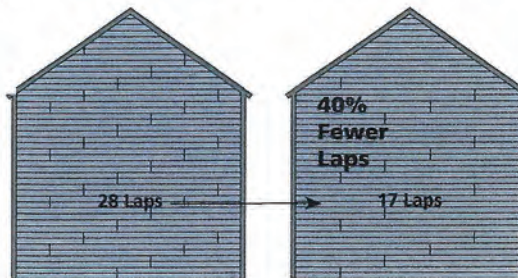


Long on Style

Available in Double 6" and Single 7" wide-board style with a straight, flat face for the look of wood planks. Also works with traditional length CedarBoards panels.

The Difference is Seamlessly Clear

Two Story Wall, 20' Wide



With 12'6" Panel

With 16'8" Panel

- Autumn Red* (D6 only)
 - Granite Gray
 - Oxford Blue
 - Cypress
 - Natural Clay
 - Savannah Wicker
 - Sterling Gray
 - Light Maple
 - Desert Tan
 - Heritage Cream
 - Sandstone Beige
 - Snow
 - Colonial White
- * DELUXE COLOR

Raised Panel

Raised Panel shutters offer a handsome, classic look for a variety of historic or modern home styles. The clean elegance and artistic depth of the panels and curves dramatically catch sunlight and impart alluring shadow. Popular two-panel and three-panel designs bring deep texture and solid, artistic appeal. A wealth of options is available for added sophistication, limited only by your imagination.



Standard



Single Panel



Extra Panel



Flat Panel



Custom Rail Location



Arch or Radius Top



V-groove Flat Panel



Single Panel with Vertical Cut Profile



Rabbeted Edge with Beading

Colors

Colors are representative only and vary from the actual product.
For accurate color selection please see a paint color chart.



Black 632



Midnight Sky 639



Roycraft Copper Red 668



Roycraft Pewter 663



Charleston Green 653



Deep Sea Blue 637



Board & Batten Red 650



Pewter 646



Rookwood Shutter Green 654



Tempest Blue 666



Federal Brown 635



Roycraft Mist Gray 664



Roycraft Bottle Green 655



Hamilton Blue 667



Polished Mahogany 657



Chelsea Gray 662



Evergreen 638



Harbor 645



Rookwood Med. Brown 658



Hammered Silver 661



Rookwood Dark Green 656



Cascade 647



Walnut 641



Sand 642



Forest Green 633



Plum Creek 643



Craftsman Brown 659



Weathered Shingle 660



Pine 644



Bordeaux 640



White 631



DOUBLE-HUNG WINDOWS



400 SERIES WOODWRIGHT® WINDOWS

Woodwright® windows help replicate the look of traditional architecture. Their thick, sloped sills and historically accurate grille patterns express old-world character. To help match existing interiors, they're available in a variety of wood species and with a range of hardware and grille options, including custom grilles. And the all-new, easy tilt-release lock system makes cleaning easy. **For more information, see page 59.**



Woodwright® windows give you the option to use a variety of graceful arches that can add an uncommon elegance.



Unequal Arch



Arch



Springline™



400 SERIES TILT-WASH WINDOWS

Year after year, the Andersen® 400 Series tilt-wash window is our best-selling double-hung window — and for good reason. A new, taller sill stop increases performance to PG40 while still maintaining egress on our most popular sizes. It's extremely energy efficient and offers a wide array of decorative and performance options. **For more information, see page 87.**



StormWATCH
PROTECTION

This product is available with Stormwatch® protection. Visit andersenwindows.com/coastal for more details.



400 SERIES WOODWRIGHT® INSERT WINDOWS

Woodwright® insert windows give all the advantages of Woodwright full-frame windows, with faster and easier installation, less mess and fewer disruptions. In most cases, you can even keep the original trim and preserve the character of your customers' homes. And the all-new, easy tilt-release lock system makes cleaning easy. **Installation materials included.** **For more information, see page 79.**



400 SERIES TILT-WASH INSERT WINDOWS

All the features of our best-selling double-hung window are now available in an insert window that's faster and easier to install. **Installation materials included.** **For more information, see page 101.**



200 SERIES TILT-WASH WINDOWS

200 Series tilt-wash double-hung windows come in our most popular sizes and with our most requested options. They feature low-maintenance exteriors and real wood interiors. **For more information, see page 221.**



NARROLINE® WINDOW CONVERSION KIT

For homes with Andersen® Narroline® windows that were made after 1967, our quick conversion kit lets you turn them into tilt-wash double-hung windows with High-Performance Low-E4® glass. **For more information, see page 99.**

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
5	9:00 p.m.	47	Bellmore Street	2nd Story Front Addition and Alteration	Ian Munro	Christopher Dowdell



47 Bellmore Street (Aerial View)



THE EXISTENCE OF RIGHTS OF WAY AND/OR EASEMENTS OF RECORD IF ANY, NOT SHOWN ARE NOT GUARANTEED.

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COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

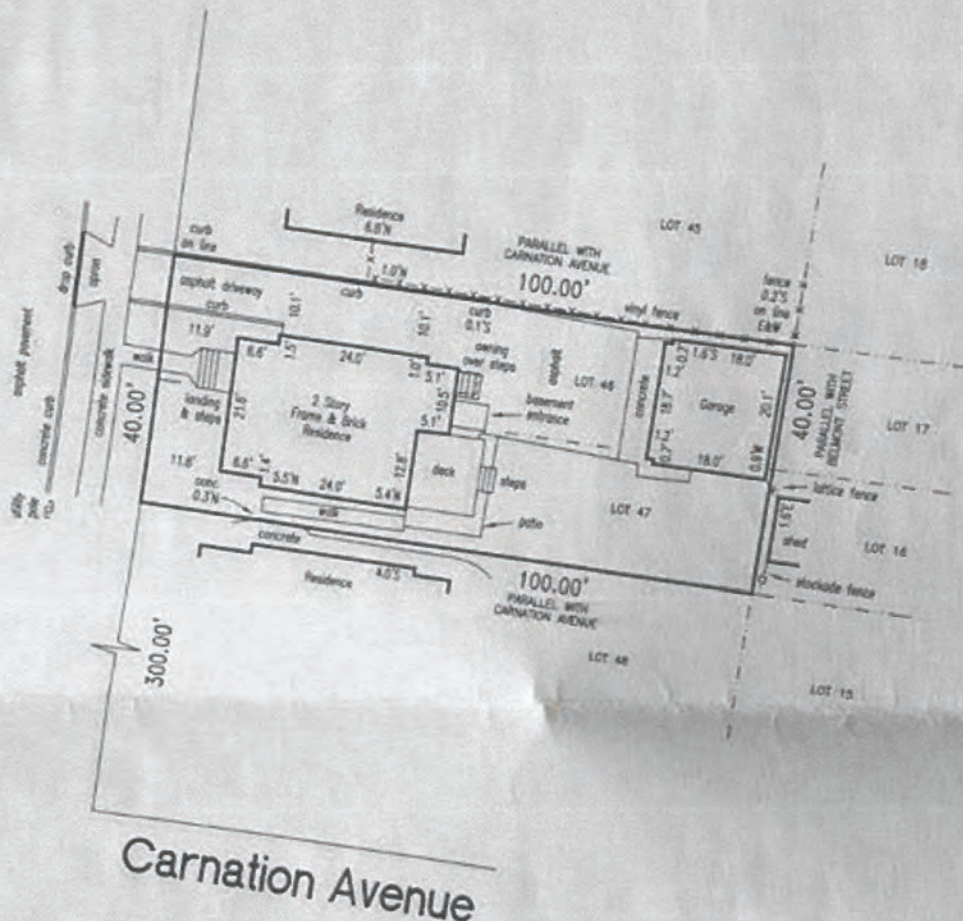
GUARANTEES INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES ARE NOT TRANSFERABLE.

Area= 4,000 s.f.

Premises known as:

47 Bellmore Street, Floral Park

Belmont Street
(Bellmore Street)



Certified to:

IAN MUNRO AND JOANNA MUNRO
WFG NATIONAL TITLE INSURANCE COMPANY
TGI TITLE GUARANTEE INC. d/b/a U.S. LAND TITLE SERVICES
(USNY06241925581)
TEACHERS FEDERAL CREDIT UNION, ISAQA

Michael W. Minto, L.S.P.C.

LICENSED PROFESSIONAL LAND SURVEYOR
NEW YORK STATE LICENSE NUMBER 050871

87 Woodview Lane
Centereach, N.Y. 11720

PHONE/FAX: (631) 580-1202

CELLULAR: (631) 766-9714

EMAIL: mikemintolspc@gmail.com



Survey of Lots 46 and 47, Block 14

MAP OF PROPERTY OF FLORAL PARK VILLA COMPANY
FILED MAY 8, 1907 AS MAP NO. 20

situate in the Incorporated

Village of Floral Park

Town of Hempstead

Nassau County, New York

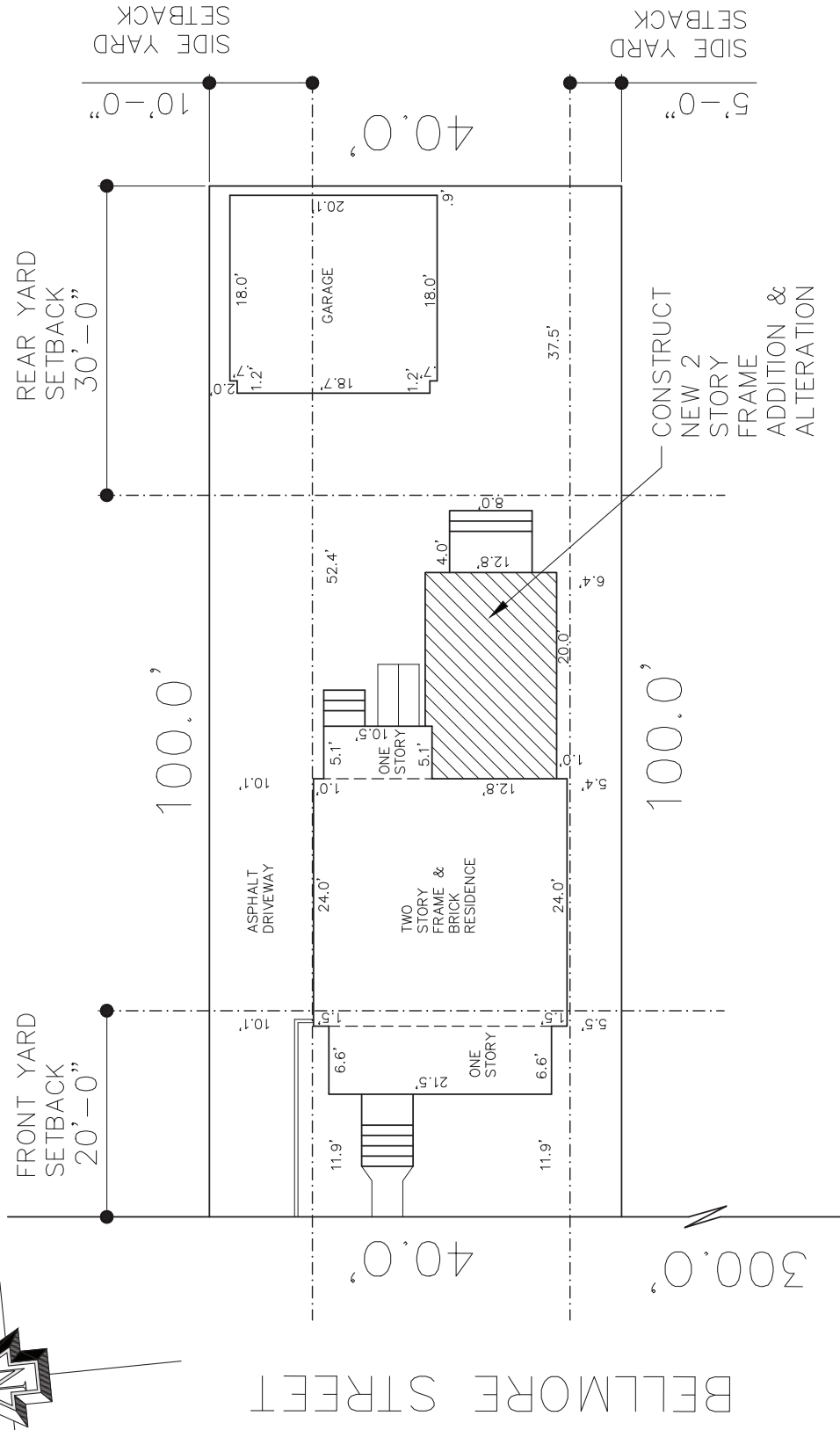
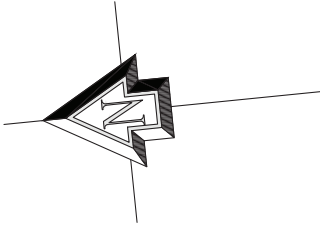
Section 32 Block 226 Lot 46

Scale 1" = 20' Surveyed August 6, 2019

GRAPHIC SCALE

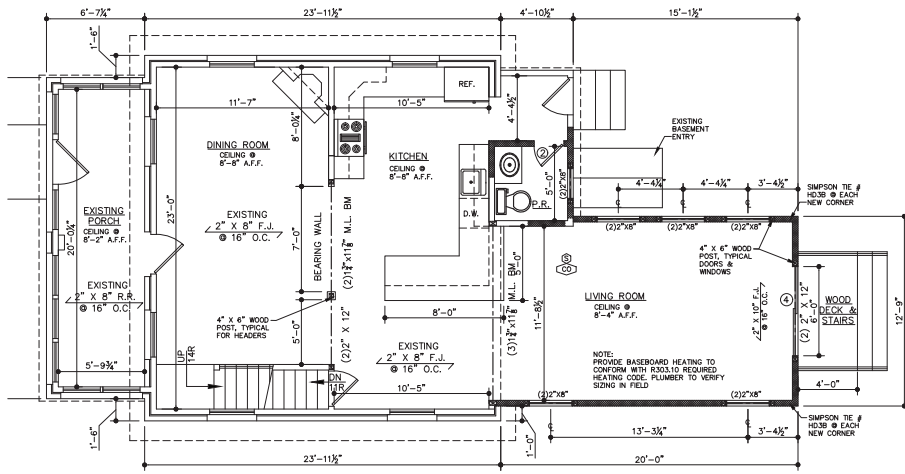


(IN FEET)
1 inch = 20 ft.



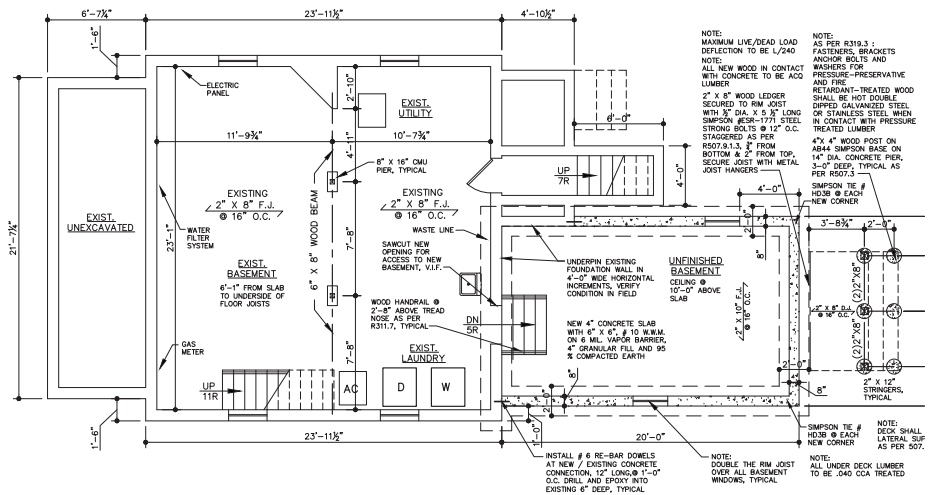
SITE PLAN

SCALE: 1" = 10'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



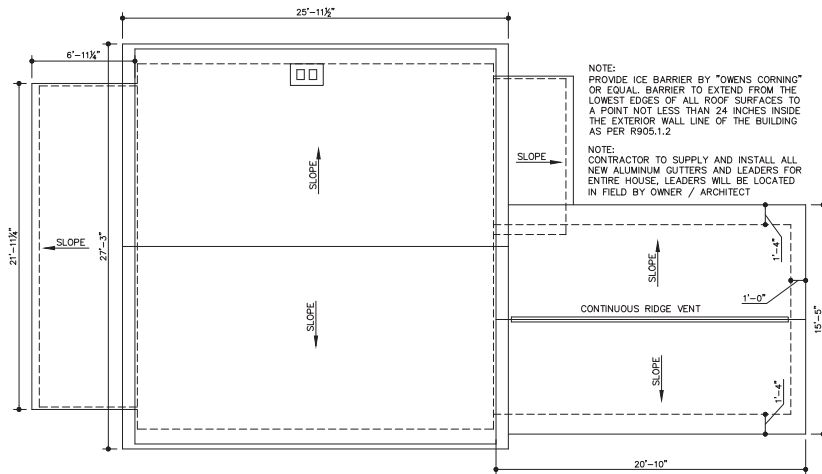
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

(12'-0" DOOR SCHEDULE

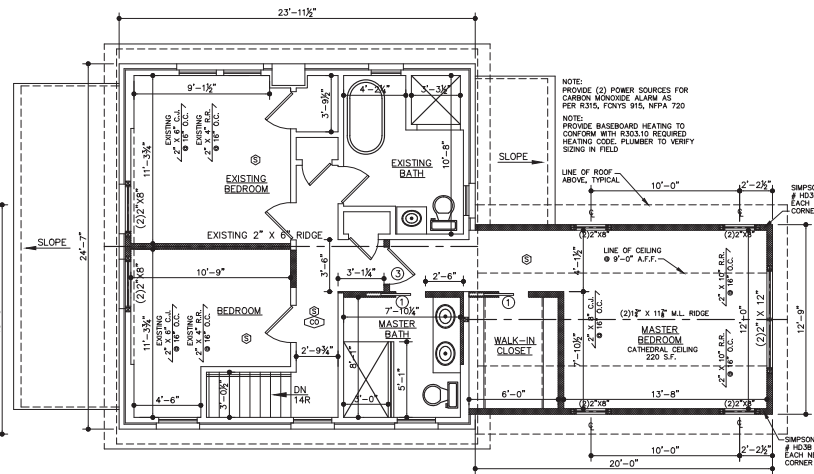
NO.	MAT.	WIDTH	HEIGHT	FRAME	SADDLE	REMARKS
1	WOOD	2'-0"	6'-8"	WOOD	MARBLE @ BATH	POCKET DOOR, UNDERCUT 1" @ BATH
2	WOOD	2'-0"	6'-8"	WOOD	MARBLE @ BATH	UNDERCUT 1" @ BATH
3	WOOD	2'-6"	6'-8"	WOOD	MARBLE @ BATH	

DOOR NOTES:
 - ALL INTERIOR DOORS TO BE SHAKER STYLE
 - ALL CLOSET DOORS TO BE HOLLOW CORE
 - ALL ENTRY DOORS TO BE SOLID CORE
 NOTE:
 INSTALL SADDLES AND/OR TRANSITION STRIPS AT ALL CHANGES IN FLOOR MATERIAL, LOCATE CENTERED IN DOOR SUCH THAT WHEN DOOR IS CLOSED, MATERIAL ON OPPOSITE SIDE CAN NOT BE SEEN



ROOF PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



NO.	DATE	ISSUES/REVISIONS
03	5APR24	ISSUED FOR BID & APB
02	24MAR24	PRELIMINARY DESIGN
01	3MAR24	ZONING ANALYSIS

Bobby K
 Architects
 NEW YORK

COMMERCIAL RESIDENTIAL PLANNING CORPORATE INTERIOR DESIGN
 45 COMMONWEALTH BLVD. BELLEROSSE VILLAGE NY 11001
 516.375.1473 Fax 516.375.1473
 E-mail r.kay@bobbyk.com
 Internet www.bobbyk.com

DWG. TITLE			
FLOOR PLANS			
JOB NO.	DATE	PROJ. DIR.	CPD
2024-005	12FEB24	R.K.	CPD
DRAWN BY	SCALE:	SEE DRAWING	
CPD			
DWG. NO.			
A-1			

MUNRO RESIDENCE
 47 BELMORE STREET
 FLORAL PARK, NY 11001



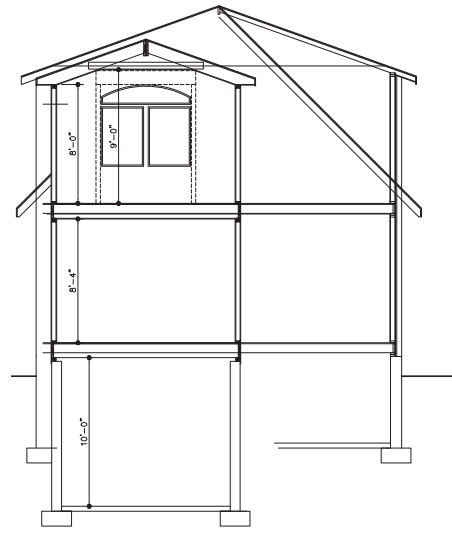
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



STUDY SECTION

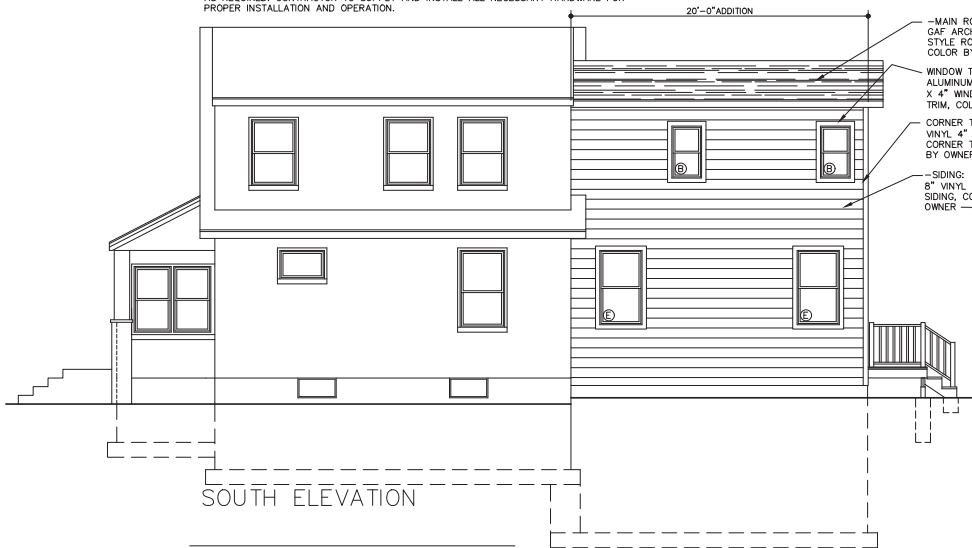
SCALE: 1/4" = 1'-0"

		ROUGH OPENING		WINDOW SCHEDULE							
AMT.	TYPE	OPERATION	MATERIAL	WIDTH	HEIGHT	MANUFACT.	HDR. HT.	COLOR	MODEL #	GLASS AREA	VENT AREA
1	A	DBL HUNG	VINYL	1'-11"	3'-1"	ANDERSEN	6'-8"	BY OWNER	TW3046	10.31 SF	5.73 SF
4	B	DBL HUNG	VINYL	1'-11"	3'-5"	ANDERSEN	6'-8"	BY OWNER	TW1832	3.32 SF	2.03 SF
2	C	DBL HUNG	VINYL	2'-11"	4'-1"	ANDERSEN	6'-8"	BY OWNER	TW28310	7.48 SF	4.22 SF
1	D	FIXED	VINYL	6'-0"	1'-4"	ANDERSEN	6'-8"	BY OWNER	AFW6006	4.4 SF	1.1 SF
5	E	DBL HUNG	VINYL	2'-11"	5'-1"	ANDERSEN	6'-8"	BY OWNER	TW210410	10.45 SF	5.83 SF
3	F	AWNING	VINYL	3'-0"	2'-1"	ANDERSEN	TBD	BY OWNER	A31	3.5 SF	1.4 SF

WINDOW NOTE:
ALL NEW WINDOWS TO BE BY 'ANDERSEN' OR APPROVED EQUAL, VINYL CLAD, LOW E GLAZING, MODEL NUMBERS AS INDICATED ON ELEVATIONS. PROVIDE SCREENS AND EXTENSION JAMBS, AS REQUIRED. CONTRACTOR TO SUPPLY AND INSTALL ALL NECESSARY HARDWARE FOR PROPER INSTALLATION AND OPERATION.

WINDOW NOTE:
ALL NEW WINDOWS TO BE BY 'ANDERSEN' OR APPROVED EQUAL, VINYL CLAD, LOW E GLAZING, MODEL NUMBERS AS INDICATED ON ELEVATIONS. PROVIDE SCREENS AND EXTENSION JAMBS, AS REQUIRED. CONTRACTOR TO SUPPLY AND INSTALL ALL NECESSARY HARDWARE FOR PROPER INSTALLATION AND OPERATION.

TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT											
CLIMATE ZONE	FENESTRATION U-F-FACTOR	SKYLIGHT U-F-FACTOR	GLAZED FENESTRATION U-F-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL FLOOR R-VALUE	BSM ¹ WALL R-VALUE	SLAB R-VALUE	ROOF DEPTH	R-VALUE	
1	NR	0.75	0.25	38	13	3/4	13	0	0		
2	0.40	0.65	0.25	38	13	4/8	13	0	0		
3	0.35	0.55	0.25	38	20 OR 13+5h	8/13	19	5/13	0		
4 EXCEPT MARINE 4	0.32	0.55	0.40	49	20 OR 13+5h	8/13	19	10/13	10, 2 FT.		
5 AND MARINE 4	0.32	0.55	NR	49	20 OR 13+5h	15/17	30	15/19	10, 2 FT.		
6	0.32	0.55	NR	49	20+5 OR 13+10h	15/20	30	15/19	10, 4 FT.		
7 AND 8	0.32	0.55	NR	49	20+5 OR 13+10h	19/21	38	15/19	10, 4 FT.		



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



03	5APR24	ISSUED FOR BID & ARB
02	24MAR24	PRELIMINARY DESIGN
01	3MAR24	ZONING ANALYSIS
NO.	DATE	ISSUES/REVISIONS



COMMERCIAL RESIDENTIAL PLANNING CORPORATE INTERIOR DESIGN
45 COMMONWEALTH BLVD. BELLEROSSE VILLAGE NY 11001
516.375.1473 Fax 516.375.1473
E-mail r.key@bkbny.com
Internet www.bkbny.com

DWG. TITLE			
FLOOR PLANS			
JOB NO.	DATE	PROJ. DR.	CPD
2024-005	12FEB24	R.K.	SEE DRAWING
DRAWN BY	SCALE:		
CPD	1/4" = 1'-0"		
DWG. NO.			
A-2			

MUNRO RESIDENCE
47 BELMORE STREET
FLORAL PARK, NY 11001

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
6	9:10 p.m.	45	East Poplar Street	2nd Story Addition	Jon and Meredith Liberatore	Phillip Giordano, RA



45 East Poplar Street (Aerial View)





EXISTING PHOTOGRAPH - FRONT (WEST) ELEVATION



EXISTING PHOTOGRAPH - REAR (EAST) ELEVATION



EXISTING PHOTOGRAPH - SIDE (NORTH) ELEVATION



EXISTING PHOTOGRAPH - SIDE (SOUTH) ELEVATION



EXISTING PHOTOGRAPH - ADJACENT PROPERTY:
39 EAST POPLAR STREET (NORTH)



EXISTING PHOTOGRAPH - ADJACENT PROPERTY:
11 CYPRESS STREET (SOUTH)



PHOTOS

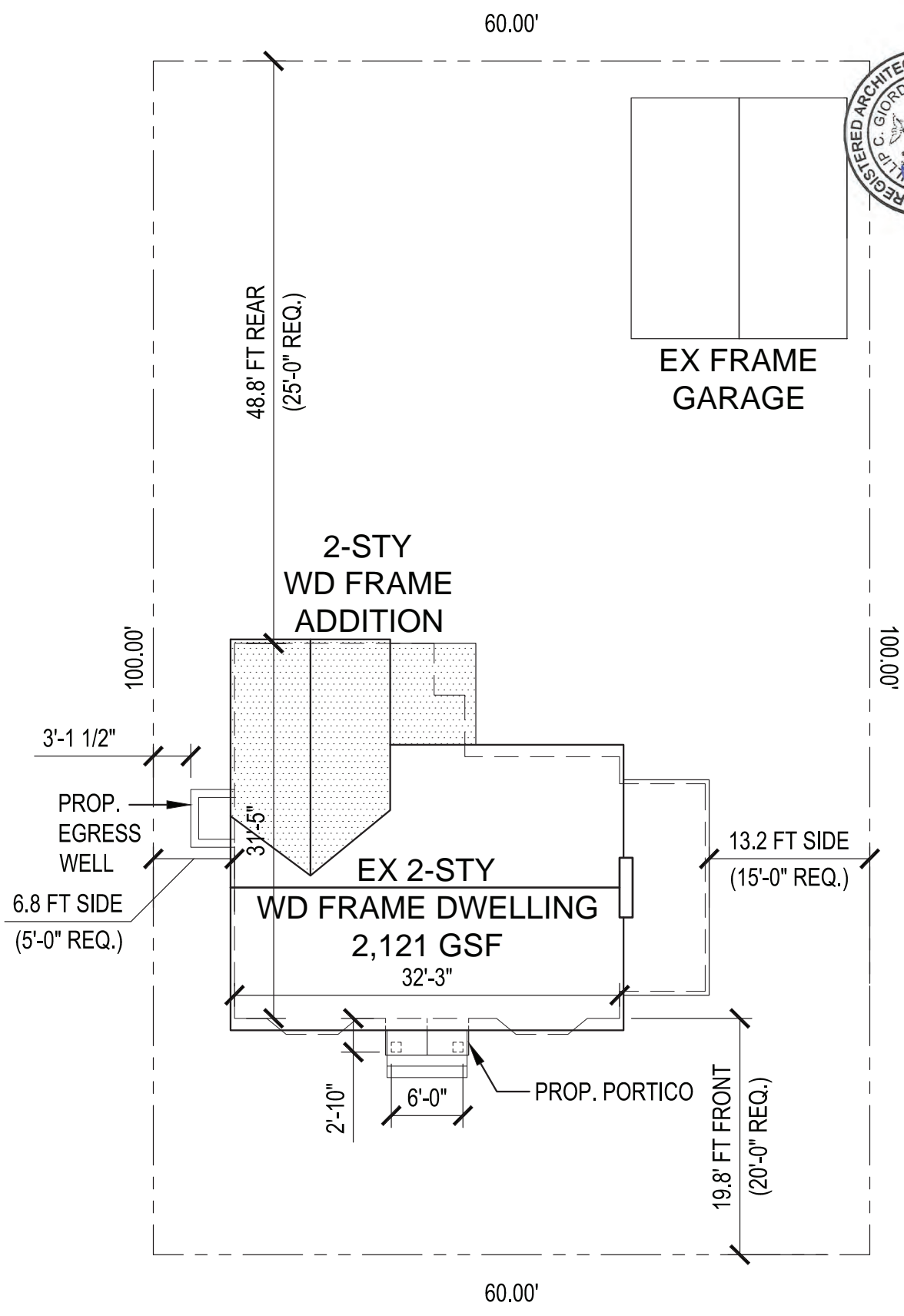
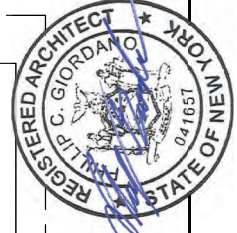
Phillip Giordano, RA

LIBERATORE RESIDENCE - ADDITION

45 EAST POPLAR STREET, FLORAL PARK

SCALE: NTS

05/06/2024



LIBERATORE RESIDENCE - ADDITION
45 EAST POPLAR STREET, FLORAL PARK

EAST POPLAR STREET

ZONING DATA

ADDRESS: 45 EAST POPLAR STREET, FLORAL PARK, NY 11001
 SEC-BLK-LOT 32-235-49,50,51
 DISTRICT: RESIDENCE R1
 LOT AREA: 6,000 SF (0.137 ACRES)

	<u>REQUIRED/ALLOWED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
USE:	N/A	SINGLE FAMILY RESIDENCE	SINGLE FAMILY RESIDENCE
MIN. LOT AREA:	4,000 SF	6,000 SF	NO CHANGE
MIN. FRONTAGE:	40 FT	60 FT	NO CHANGE
MIN. LOT DEPTH:	100 FT	100 FT	NO CHANGE
HEIGHT:	35 FT / 2.5 STY MAX	26.25 FT / 2 STY	NO CHANGE
BUILDING COVERAGE:	30% MAX (1,800 SF)	14.67 % (880 SF)	17% (1,020 SF)
SETBACKS			
FRONT	20 FT MIN	19.8 FT	NO CHANGE
SIDE(SINGLE):	5 FT MIN	6.8 FT	NO CHANGE
SIDE (TOTAL):	15 FT MIN	20 FT	NO CHANGE
REAR:	20% / 25 FT WHICH IS GREATER	58.3 FT	48.8 FT
HABITABLE AREA:	1,200 SF MIN	1,861 SF	2,121 SF
PARKING:	1 GARAGE + 1 SPACE	1 GARAGE + 1 SPACE	NO CHANGE

PROGRAM ANALYSIS:

	<u>BASEMENT</u>	<u>1ST FLOOR</u>	<u>2ND FLOOR</u>	<u>TOTAL:</u>
SQUARE FOOTAGE:	258 SF (PARTIAL)	1,020 SF	843 SF	2,121 SF
BEDROOMS:	0	0	3	3 (NO CHANGE)
BATHROOMS:	1	.5	1	2.5 (NO CHANGE)



ZONING DATA

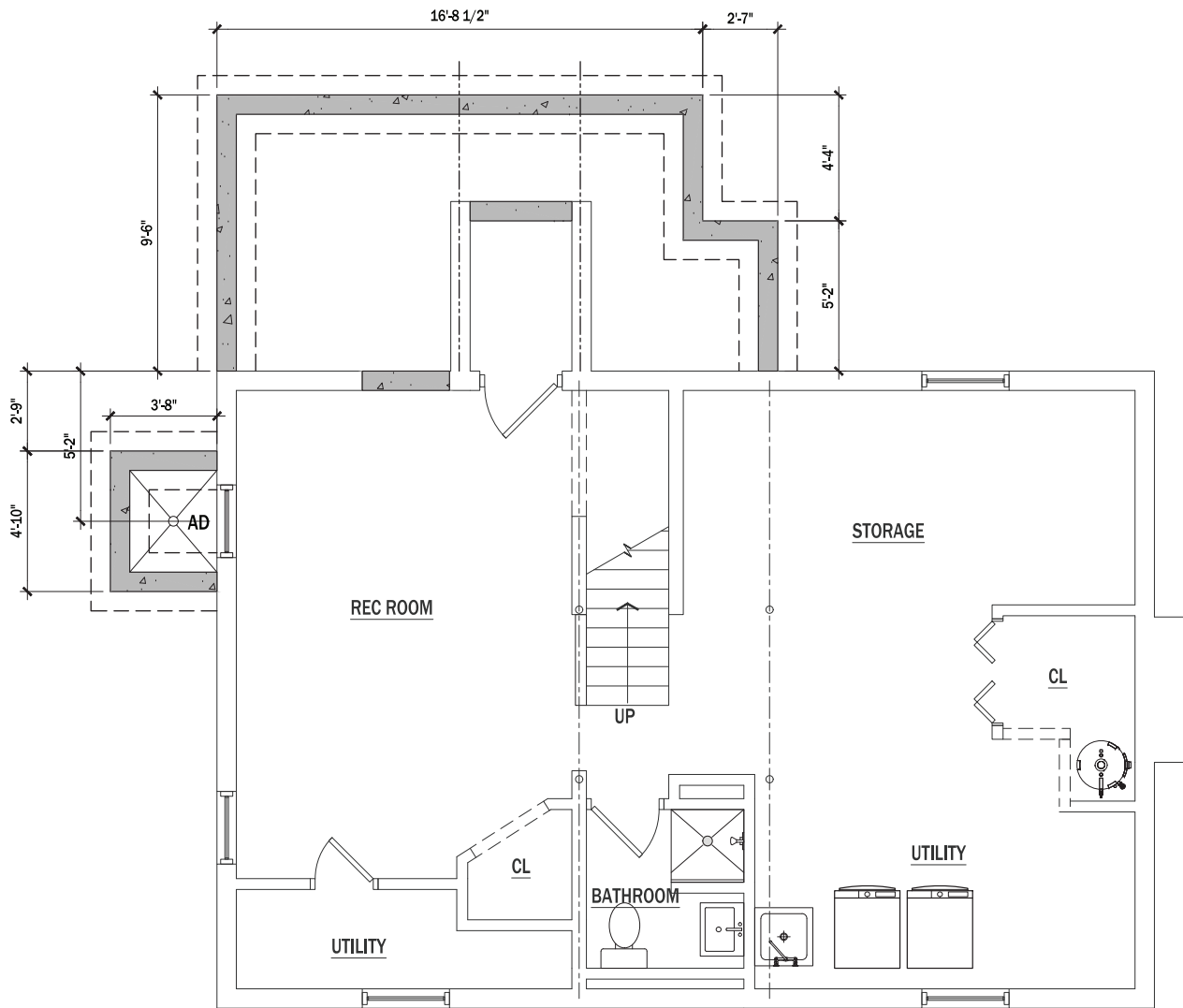
Phillip Giordano, RA

LIBERATORE RESIDENCE - ADDITION

45 EAST POPLAR STREET, FLORAL PARK

SCALE: NTS

05/06/2024



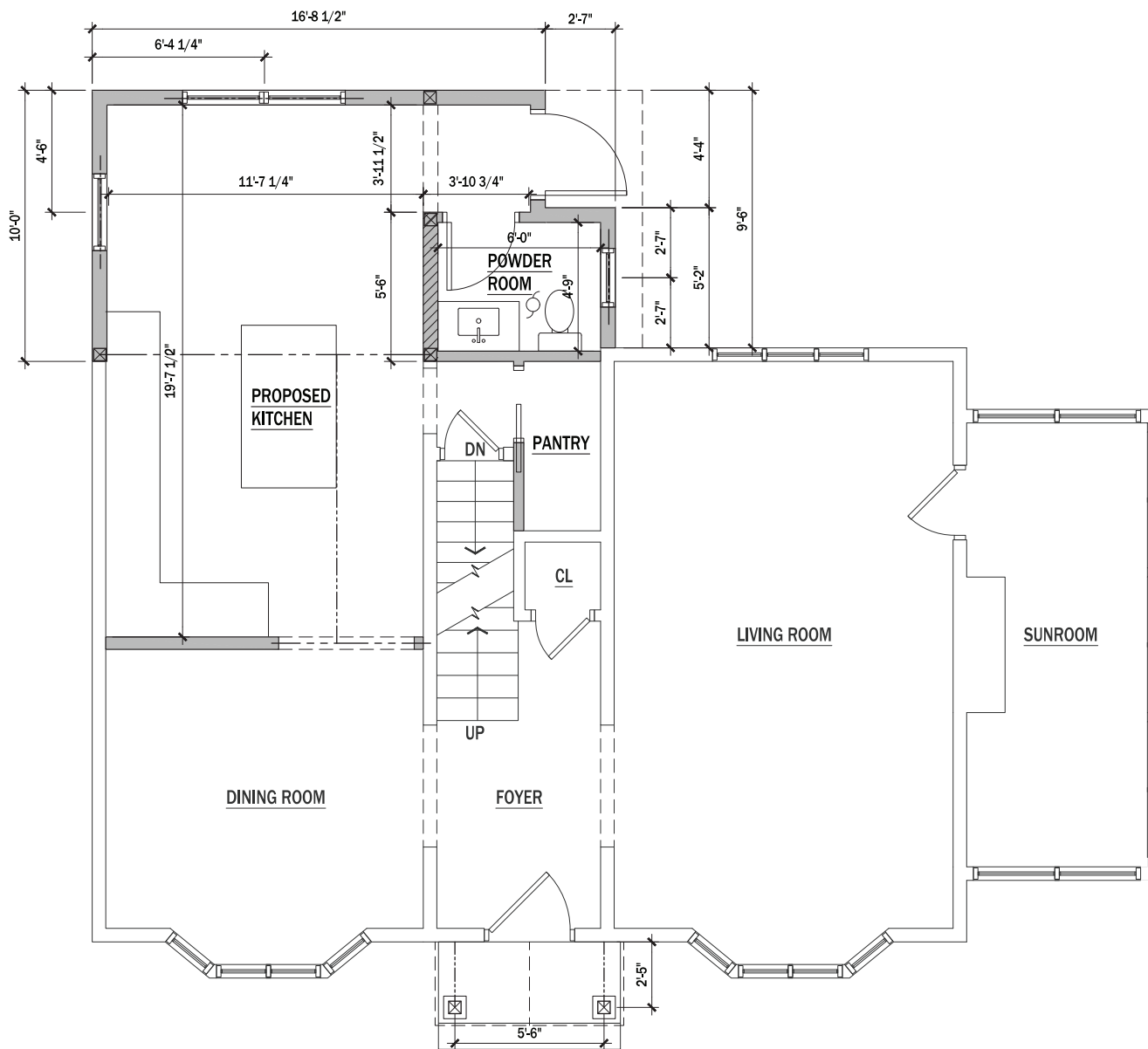
BASEMENT PLAN

Phillip Giordano, RA

LIBERATORE RESIDENCE - ADDITION

45 EAST POPLAR STREET, FLORAL PARK

SCALE: 1/4"=1'-0"
05/06/2024



1ST FLOOR PLAN

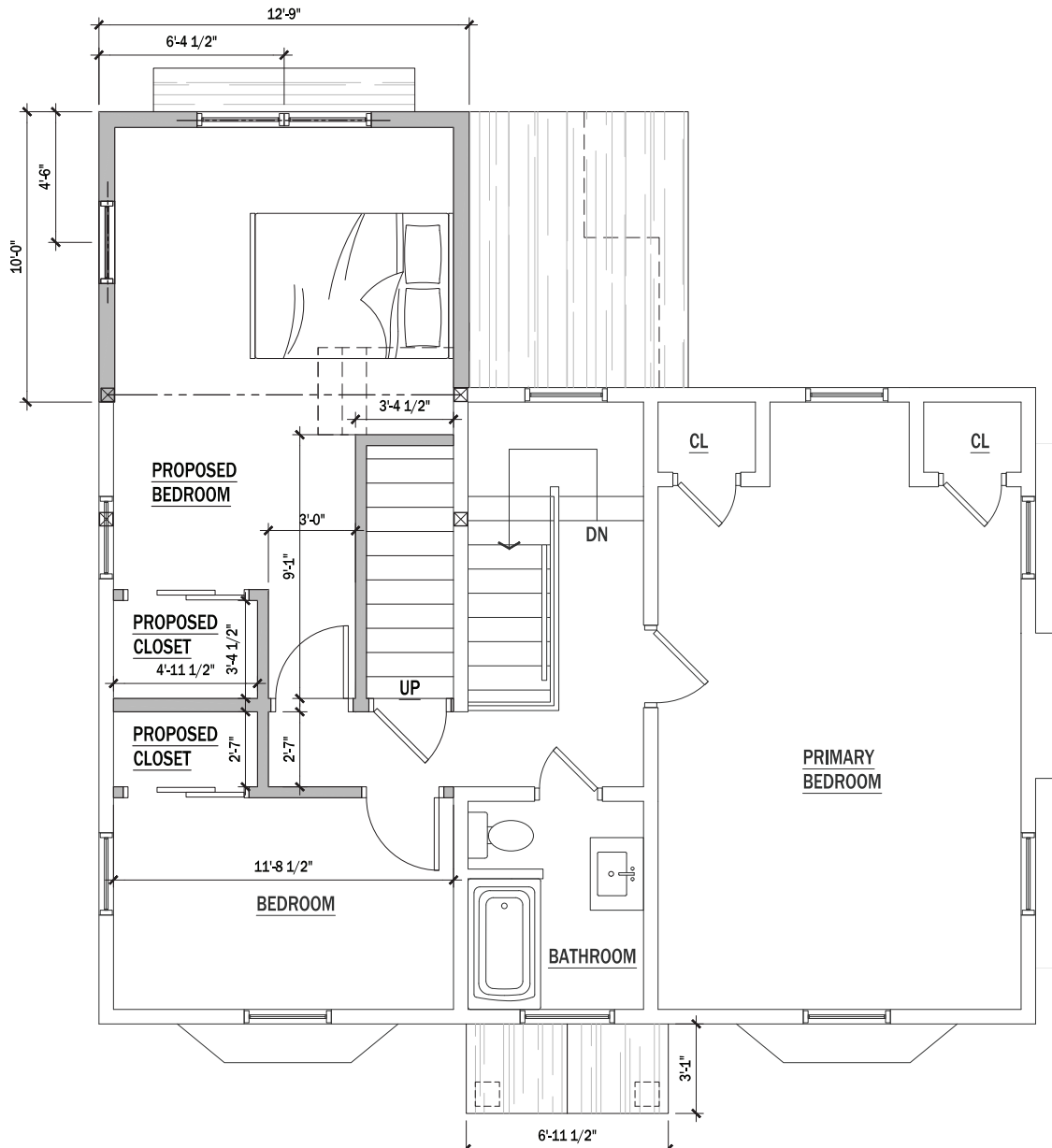
Phillip Giordano, RA

LIBERATORE RESIDENCE - ADDITION

45 EAST POPLAR STREET, FLORAL PARK

SCALE: 1/4"=1'-0"

05/06/2024



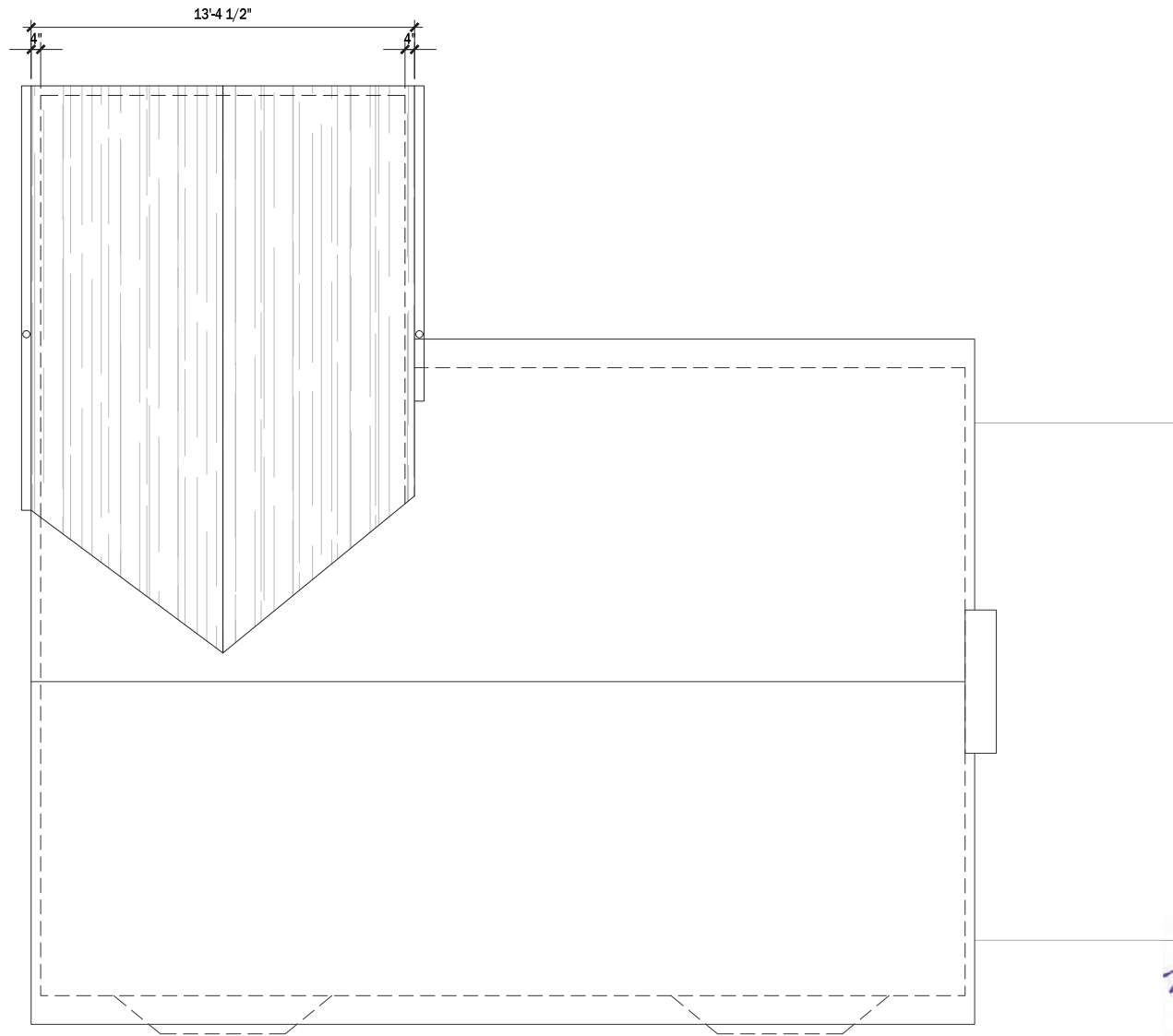
2ND FLOOR PLAN

Phillip Giordano, RA

LIBERATORE RESIDENCE - ADDITION
45 EAST POPLAR STREET, FLORAL PARK



SCALE: 1/4"=1'-0"
05/06/2024



ROOF PLAN

Phillip Giordano, RA

LIBERATORE RESIDENCE - ADDITION

45 EAST POPLAR STREET, FLORAL PARK

SCALE: 1/4"=1'-0"
05/06/2024



FRONT ELEVATION

Phillip Giordano, RA

LIBERATORE RESIDENCE - ADDITION

45 EAST POPLAR STREET, FLORAL PARK

SCALE: 1/4"=1'-0"

05/06/2024



SIDE ELEVATION (SOUTH)

Phillip Giordano, RA

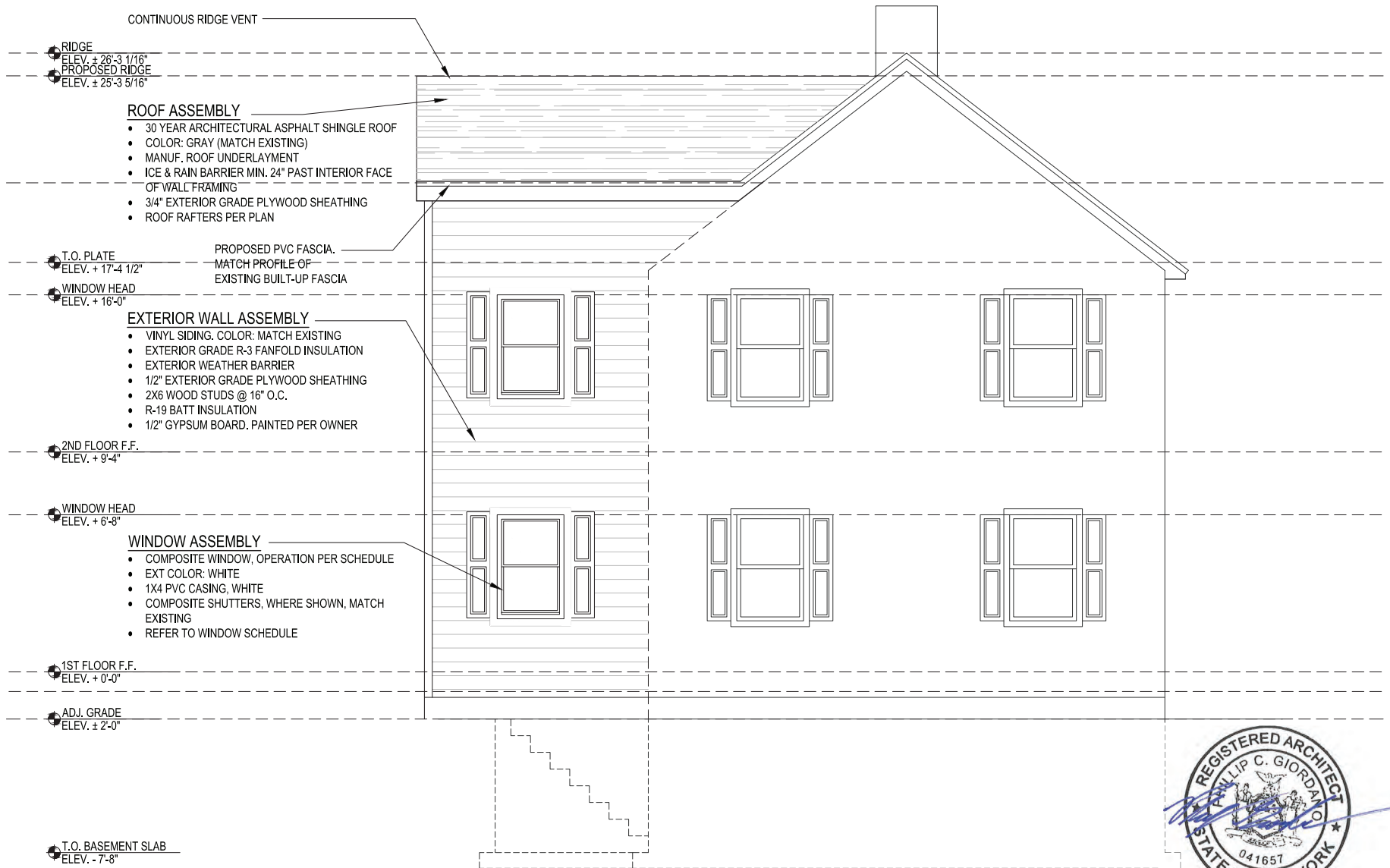
LIBERATORE RESIDENCE - ADDITION

45 EAST POPLAR STREET, FLORAL PARK



SCALE: 1/4"=1'-0"

05/06/2024



SIDE ELEVATION (NORTH)

Phillip Giordano, RA

LIBERATORE RESIDENCE - ADDITION

45 EAST POPLAR STREET, FLORAL PARK

SCALE: 1/4"=1'-0"

05/06/2024



REAR ELEVATION

Phillip Giordano, RA

LIBERATORE RESIDENCE - ADDITION

45 EAST POPLAR STREET, FLORAL PARK

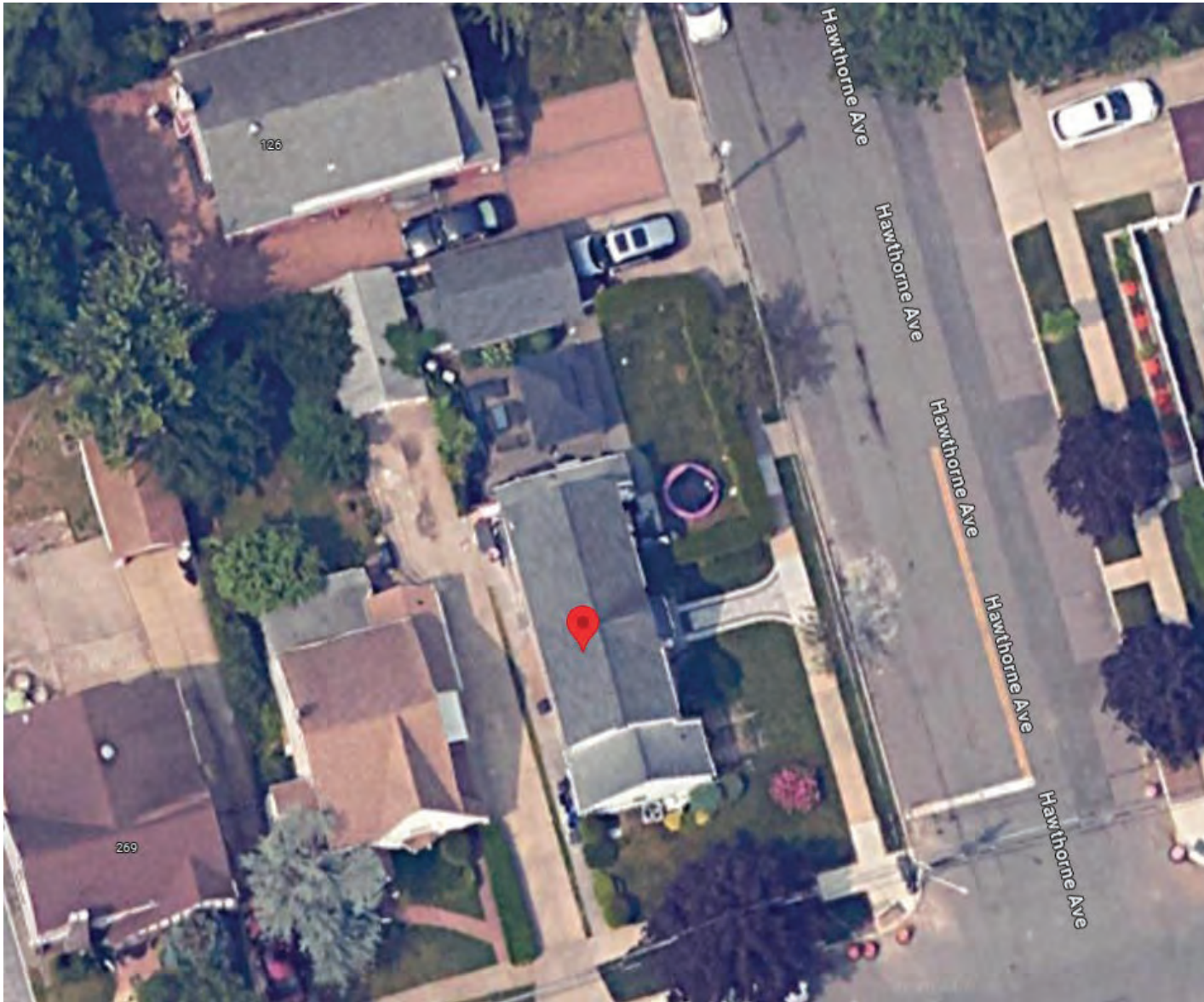
SCALE: 1/4"=1'-0"

05/06/2024

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
7	9:20 p.m.	124	Hawthorne Avenue	Solar	Marc and Dawn Windheuser	Sunation

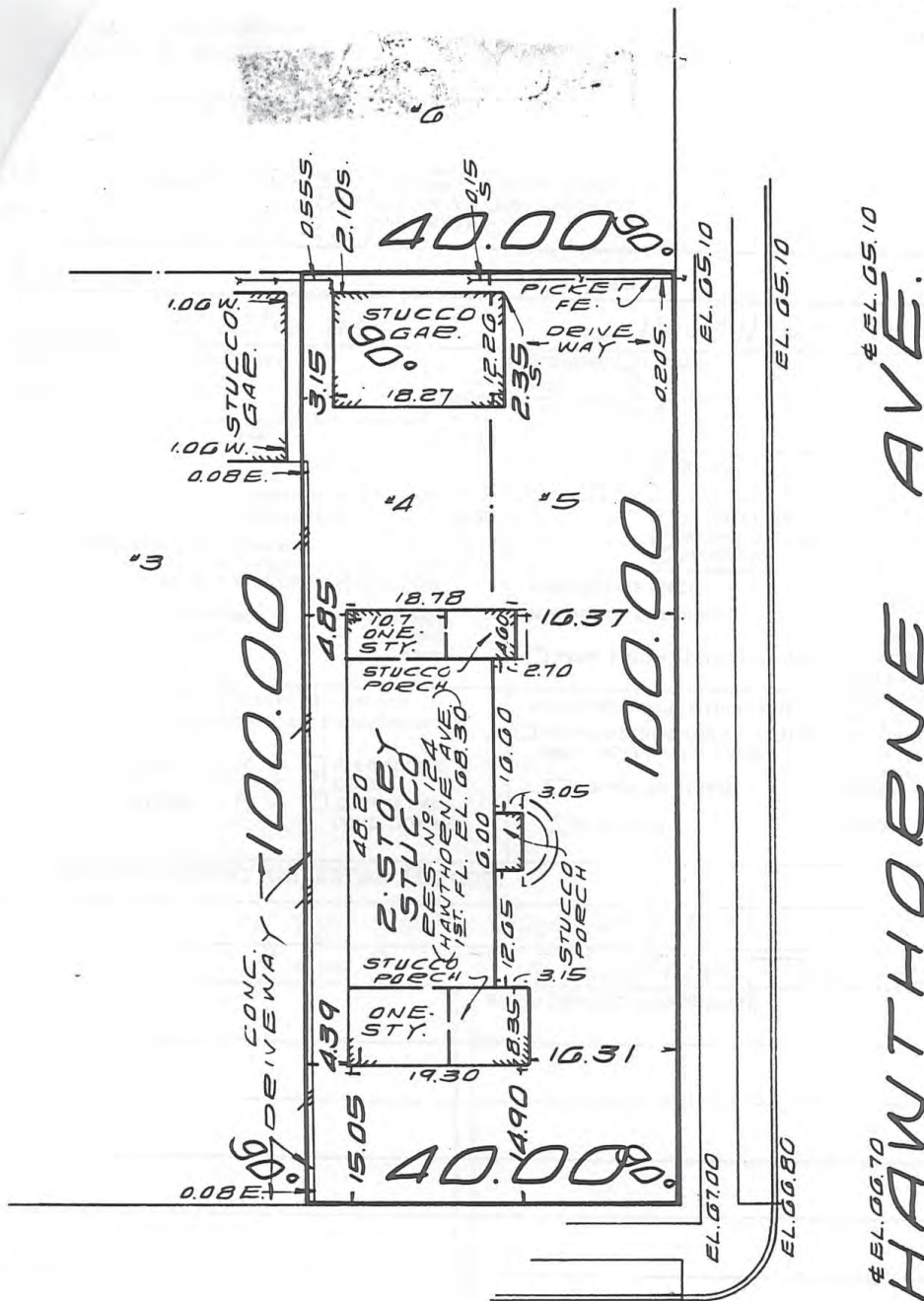


124 Hawthorne Avenue (Aerial View)



Windheuser Residence, 124 Hawthorne Ave, Floral Park
Subject house and neighboring houses





WHITTIER AVE.

NOTE:
 EXISTING GRADE IS LEGAL GRADE.
 ELEVATIONS RELATIVE UTILITIES INCLUDE
 WATER ELECTRICITY & PAVED ROADS.
 ROADS ARE MAINTAINED BY THE

LOTS 4&5

KRAUSE LAND SURVEYORS

BLOCK "43"

HEINZ B. KRAUSE

ARTHUR HERMANN

SECTION "A"

FLD. 5-B-06

N.Y.S. LIC. 37721

N.Y.S. LIC. 43745

MAP OF FLOBAL PARK HOMES, No. 53 CASE

P. O. BOX 112, 789 OLD COUNTRY ROAD

SITUATED AT FLOBAL PARK, NASSAU COUNTY, N.Y.

WESTBURY, N. Y. 11590

516-333-0868

GUARANTEED TO Metropolitan Title Guaranty Co., *Geo. B. Krause*

V.A., F.H.A., Jackson Heights Federal

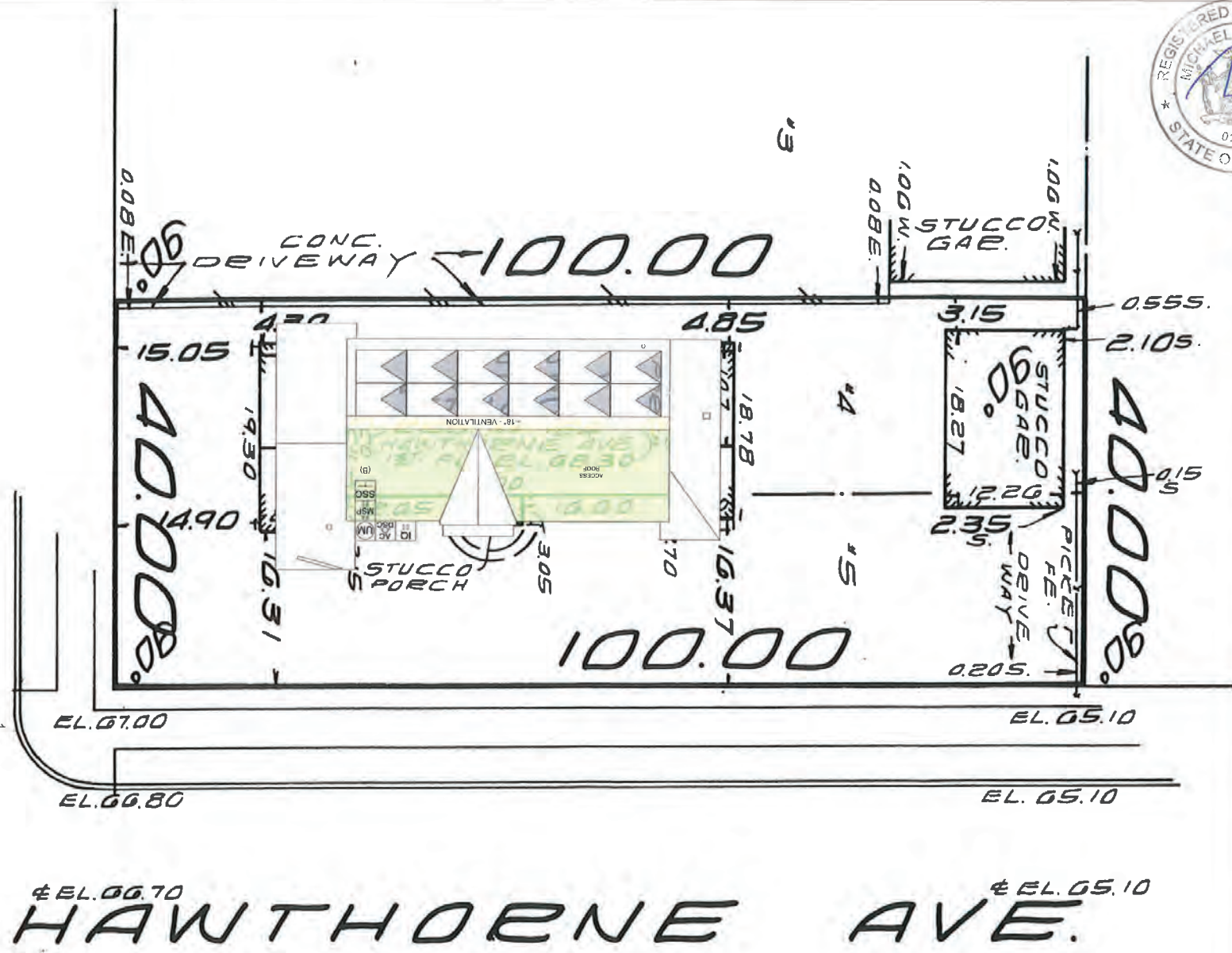
DATE JAN. 14, 1975

Savings & Loan Association.

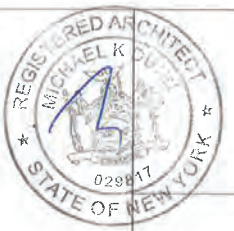
DR. K. CH. K.

SCALE 1" = 10'

WHITTIER AVE.



EL. 06.70 HAWTHORNE AVE. EL. 05.10



SUNation Solar Systems
 171 Remington Blvd.
 Ronkonkoma, New York 11779
 (631)-750-9454

NYSDORA
 INSTALLER
 NUMBER **4355**

JOB NUMBER
24103

SITE INFORMATION

Windheuser Residence
 124 Hawthorne Ave, Floral Park, NY 11001

Drawn By: J. DellaRocca - 04/25/2024

A3-1
 PLOT PLAN



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NYSDORA
INSTALLER
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JOB NUMBER
24103

SITE INFORMATION

Windheuser Residence
124 Hawthorne Ave, Floral Park, NY 11001
Drawn By: J. DellaRocca - 04/25/2024

3/16" = 1'-0"

A2-1
ELEVATION





WEST ELEVATION
(BACK OF HOUSE)



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JOB NUMBER

24103

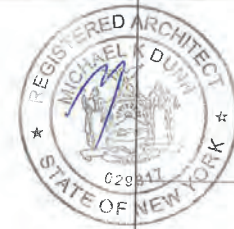
SITE INFORMATION

Wincheuser Residence
124 Hawthorne Ave, Floral Park, NY 11001

Drawn By: J. DellaRocca - 04/25/2024

3/16" = 1'-0"

A2-2
ELEVATION



ROOF #1

SOUTH ELEVATION
(SIDE YARD)



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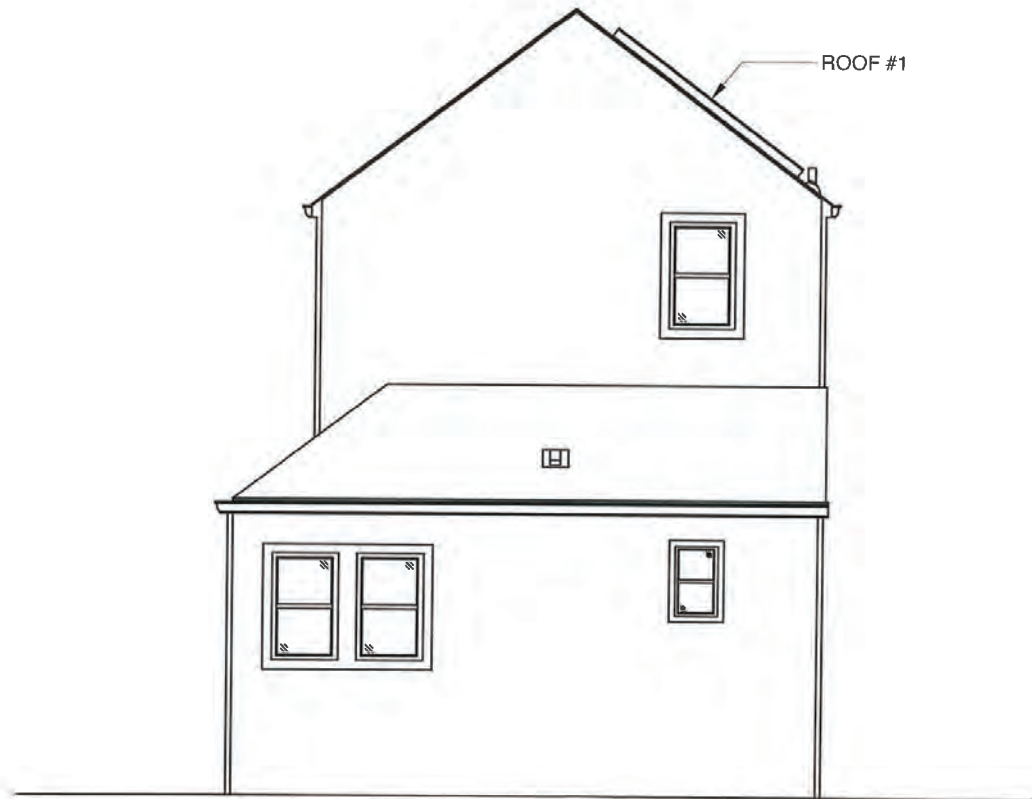
JOB NUMBER
24103

SITE INFORMATION

Windheuser Residence
124 Hawthorne Ave, Floral Park, NY 11001
Drawn By: J. DellaRocca - 04/25/2024

1/4" = 1'-0"

A2-3
ELEVATION



NORTH ELEVATION
(BACK OF HOUSE)



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INSTALLER
NUMBER **4355**

JOB NUMBER
24103

SITE INFORMATION

Windheuser Residence
124 Hawthorne Ave, Floral Park, NY 11001

Drawn By: J. DellaRocca - 04/25/2024

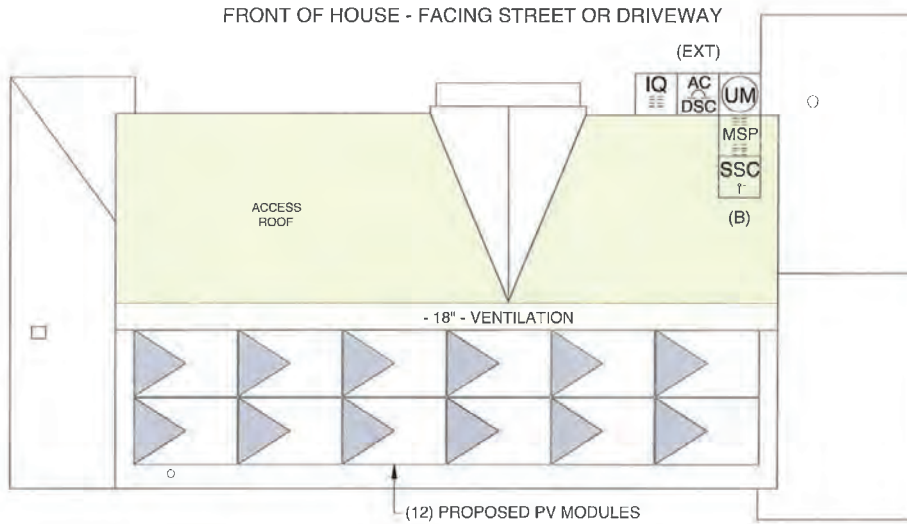
1/4" = 1'-0"

A2-4
ELEVATION

PLAN KEY	
PV1-0	COVER SHEET
A1-1	PARTIAL ROOF PLAN
A1-4	ROOF ACCESS PLAN
A2-1	EAST ELEVATION
A2-2	WEST ELEVATION
A2-3	SOUTH ELEVATION
A2-4	NORTH ELEVATION
A3-1	PLOT PLAN
S1-1	STRUCTURE
E1-1	ONE-LINE DIAGRAM
E2-1	PV LABELS
G1-1	PV PHOTOS

- ☐ - UTILITY METER
- ☐ - SERVICE DISCONNECT
- ☐ - SUPPLY SIDE CONNECTION
- ☐ - AUTOMATIC TRANSFER SWITCH
- ☐ - GAS METER
- ☐ - MAIN SERVICE PANEL
- ☐ - SUB PANEL
- ☐ - WIRELESS ROUTER
- ☐ - INVERTER
- ☐ - 120V/240V IQ COMBINER
- ☐ - PANEL PHOTOVOLTATIC STRUCTURE
- ☐ - ELECTRIC VEHICLE CHARGER
- ☐ - ENPHASE ENVUOY
- ☐ - SENSE CONSUMPTION MONITOR
- ☐ - AC DISCONNECT
- ☐ - TESLA GATEWAY
- ☐ - TESLA POWERWALL
- ☐ - ENPHASE IQ3 SYSTEM CONTROLLER
- ☐ - ENPHASE IQ3 LOAD CONTROLLER
- ☐ - 120V/240V IQ 3 BATTERY
- ☐ - ENPHASE IQ 3 BATTERY
- ☐ - GENERATION PANEL
- ☐ - BACKUP LOADS CENTER
- ☐ - VENT PIPE
- ☐ - PATTERIOR LOCATION
- ☐ - 1ST FLOOR LOCATION
- ☐ - BASEMENT LOCATION
- ☐ - GARAGE LOCATION

PROPOSED PV SYSTEM	
Module Type / Qty:	(12) REC420AAPureR
Module Dimension:	68.1" x 44" x 1.2"
Module Weight / PSF:	47.4 lbs / 2,277.5108121096 PSF
Micro Inverter:	(12) Enphase IQ7X-96-2-US
System DC Rating:	5.04 kW
System AC Rating:	3.7728 kW/AC
Aurora Estimated AC Production:	5,736 kWh/yr



FULL HOUSE ROOF PLAN
SCALE: N.T.S.

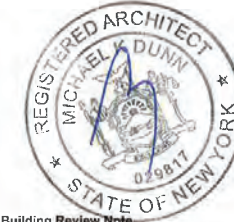
PROPOSED RESIDENTIAL PHOTOVOLTAIC SYSTEM

SUNATION SOLAR SYSTEMS
171 REMINGTON BOULEVARD
RONKONKOMA, NEW YORK 11779

NYSERDA
INSTALLER
NUMBER **4355**

Windheuser Residence
124 Hawthorne Ave, Floral Park, NY 11001

Drawn By: J. DellaRocca - 04/25/2024



Building Review Note

Town building examiner has received the enclosed document for minimum acceptable plan submittal requirements of the town as specified in the building and/or Residential Code of the State of New York. This review does not guarantee compliance with that code, that responsibility is guaranteed under the seal and signature of the New York State licensed design professional of record. That seal and signature has been interpreted as an attestation that, to the best of the licensee's belief and information the work in this document is:

- Accurate
- Conforms with governing codes applicable at the time of submission
- Conforms with reasonable standards of practice and with view to the safeguarding of life, health, property and public welfare is the responsibility of the licensee.

Structural Statement

- The existing structure is adequate to support the new loads imposed by the photovoltaic module system including uplift and shear. The existing rafter sizes and dimensions conform to RC-NYS 2020 table R802.4.1(2) - Rafter Spans.

PV Notes

1. This PV system has been designed to meet all current and applicable fire prevention setback pathways per 2020 NYS Residential Code. Proper ground clearance, roof access points, access pathways and ventilation systems shall be provided where necessary. An in depth description of each applicable code reference and exception for any codes is depicted on the PV-1 plate of this drawing package.
2. Roof shall have no more than a single layer of roof covering in addition to the solar equipment.
3. Installation of solar equipment shall be flush-mounted, parallel to and no more than 8-inches above the surface of the roof.
4. Weight of the installed system shall not exceed more than 5-psf
5. Any plumbing vents are not to be cut or covered for solar equipment installation. Any relocation or modification of the vent requires a plumbing permit and inspection.

This PV system has been designed to meet the minimum design standard for building and other structures of the ASCE 7-16 and the 2020 New York State Residential Code.

PV1-0
COVER PAGE

JOB# 24103



REVISION # N/A
REVISED BY N/A

SOLAR ENERGY SYSTEMS

(NY) R324.6 Roof access and pathways. Roof access, pathways and setback requirements shall be provided in accordance with Sections R324.6.1 through R324.6.2.1. Access and minimum spacing shall be required to provide emergency access to the roof, to provide pathways to specific areas of the roof, provide for smoke ventilation opportunity areas and to provide emergency egress from the roof.

Exceptions:

1. Detached, nonhabitable structures, including but not limited to detached garages, parking shade structures, carports, solar trellises and similar structures, shall not be required to provide roof access.
2. Roof access, pathways and setbacks need to be provided where the *building official* has determined that rooftop operations will not be employed.
3. These requirements shall not apply to roofs with slopes of two units vertical in 12 units horizontal (17-percent slope) or less

[NY] R324.6.1 Pathways. Not fewer than two pathways, on separate roof planes from lowest roof edge to ridge and not less than 36 inches (914 mm) wide, shall be provided on all buildings. Not fewer than one pathway shall be provided on the street or driveway side of the roof. For each roof plane with a photovoltaic array, a pathway not less than 36 inches (914 mm) wide shall be provided from the lowest roof edge to the ridge on the same roof plane as the photovoltaic array, on an adjacent roof plane, or straddling the same and adjacent roof planes. Pathways shall be over areas capable of supporting fire fighters accessing the roof. Pathways shall be located in areas with minimal obstructions such as vent pipes, conduit, or mechanical equipment. Pathways on opposing roof slopes shall not be located along the same plane as the truss, rafter, or other such framing system that supports the pathway.

Exception:

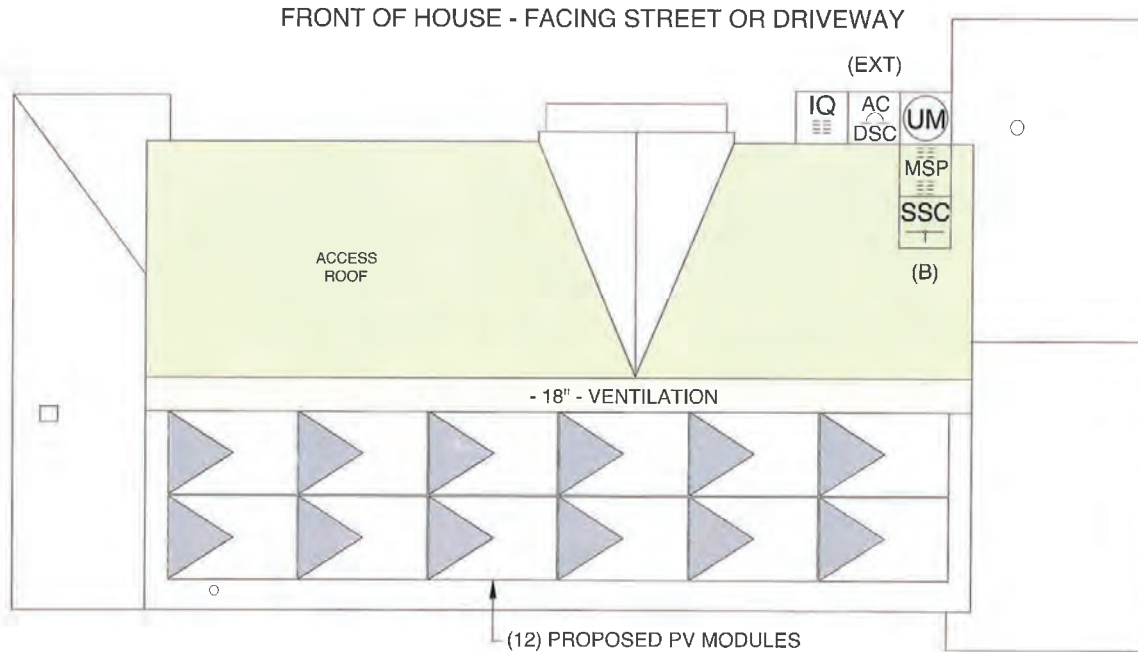
1. Access pathways shall not be required on roof slopes containing photovoltaic modules, panels, or an array where the opposing or adjacent roof slope is an *access roof*.

Access Roof - A roof surface that:

1. Can be accessed from the ground by the fire service.
2. Is capable of providing fire service access to the ridge or peak of an opposing or adjacent roof surface that contains photovoltaic modules, panels, or an array.
3. Is relatively free of vents, skylights, conduits, mechanical equipment and other such obstructions.
4. Does not contain photovoltaic modules, panels or an array, or is a single ridge roof where the maximum edge to edge width of the photovoltaic panel system does not exceed 33 percent of the ridge length.

[NY] R324.6.2 - Setback at ridge. Photovoltaic arrays shall not be located less than 18 inches (457 mm) from a horizontal ridge.

[NY] R324.6.2.2 - Emergency escape and rescue opening. Panels and modules installed on dwellings shall not be placed on the portion of the roof that is below and emergency escape and rescue opening. A pathway not less than 36 inches (914 mm) wide shall be provided to the emergency escape and rescue opening.



SUNATION ENERGY
 SUNation Solar Systems
 171 Remington Blvd.
 Ronkonkoma, New York 11779
 (631)-750-9454

NYSERDA INSTALLER NUMBER **4355**

JOB NUMBER
24103

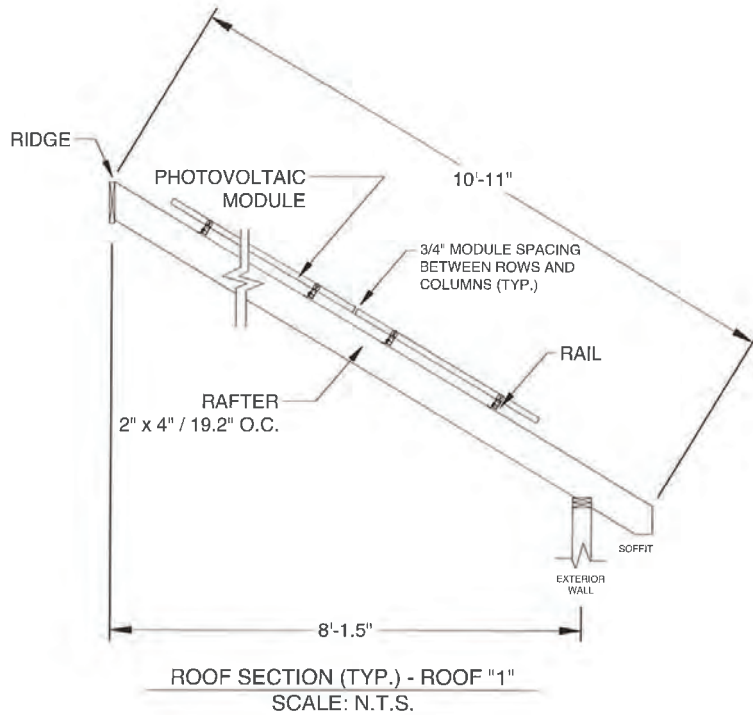
SITE INFORMATION

Windhouse Residence
 124 Hawthorne Ave., Floral Park, NY 11001
 Drawn By: J. DellaRocca - 04/25/2024

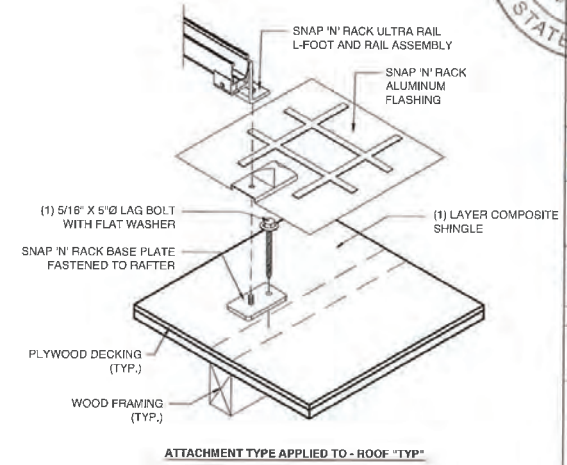


3/16" = 1'-0"

A1-4
 ROOF ACCESS PLAN



Typical Attachment Method



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INSTALLER
NUMBER **4355**

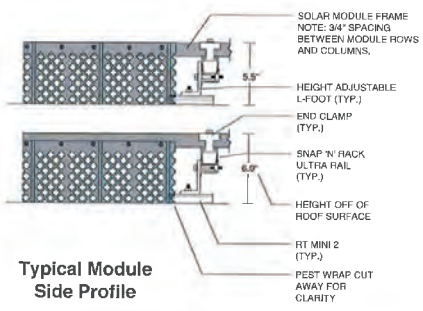
JOB NUMBER
24103

SITE INFORMATION

Wincheuser Residence
124 Hawthorne Ave, Floral Park, NY 11001

Drawn By: J. DellaRocca - 04/25/2024

Roof #	Rafter Size / Spacing	Max Span	Material	Layers	Sheathing
1	2" x 4" / 19.2" O.C.	8'-1.5"	Composite Shingles	1	Tongue and Groove



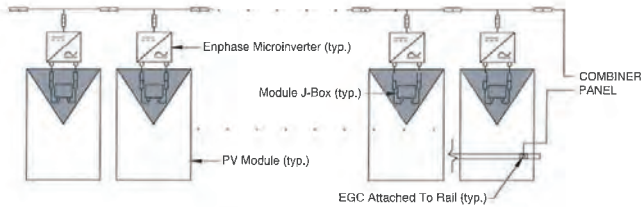
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA - TABLE R301.2(1)

WIND DESIGN					SUBJECT TO DAMAGE									
GROUND SNOW LOAD	SPEED (MPH.)	TOPOGRAPHIC EFFECTS	SPECIAL WIND ZONE	WIND BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	WINTER DESIGN TEMPERATURE	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMPERATURE	
20 PSF	140	II	NO	2	B	SEVERE	3'-0"	MODERATE TO HEAVY	15 DEG	N/A	SEE PLANS EXAMINER	695	51	

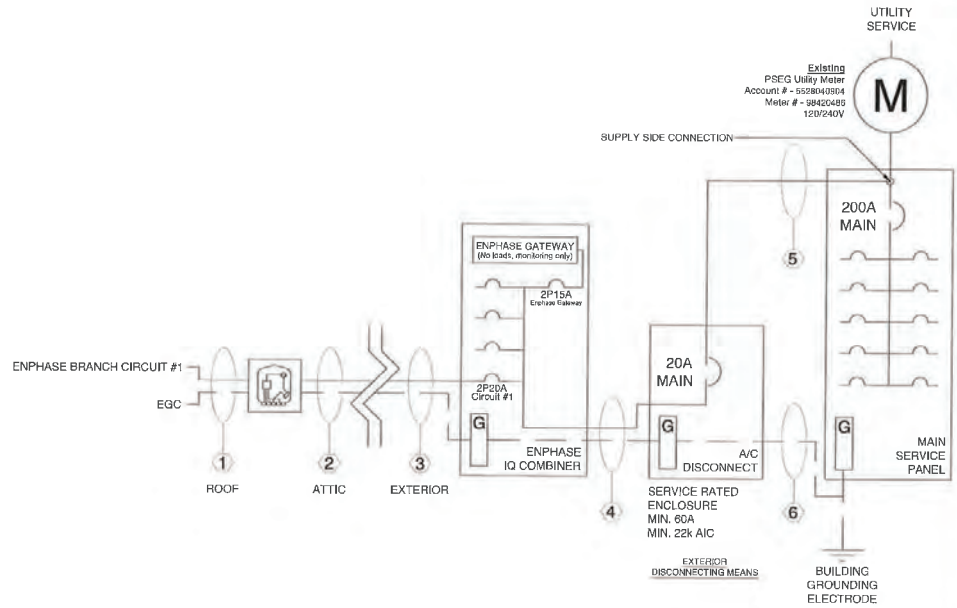
S1-1
STRUCTURE



Enphase A/C Branch Circuit (typ.)



CONDUIT AND CONDUCTOR SCHEDULE						
TAG	CONDUCTOR			CONDUIT		RUN
	TYPE	GAUGE	QUANTITY	TYPE	SIZE	LENGTH
1	Enphase Q-Cable	12	2	N/A	N/A	15'
2	Type NM	10	2	N/A	N/A	30'
3	THWN-2	10	2	PVC SCH. 80	1.25"	15'
	EGC	10	1	PVC SCH. 80	1.25"	15'
4	THWN-2	10	3	PVC SCH. 80	1.25"	10'
	EGC	10	1	PVC SCH. 80	1.25"	10'
5	THWN-2	10	3	PVC SCH. 80	1.25"	10'
6	GEC	8	1	N/A	N/A	10'



Circuit #	PV Module	Qty.	Micro-Inverter	Qty.	Maximum AC Operating Current
1	REC420AAPureR	12	Enphase IQ7X-96-2-US	12	15.72 A
Maximum AC Operating Current (Total)					15.72 A



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171 Remington Blvd.
Ronkonkoma, New York 11779
(631)-750-9454

NYSERDA
INSTALLER
NUMBER **4355**

JOB NUMBER
24103

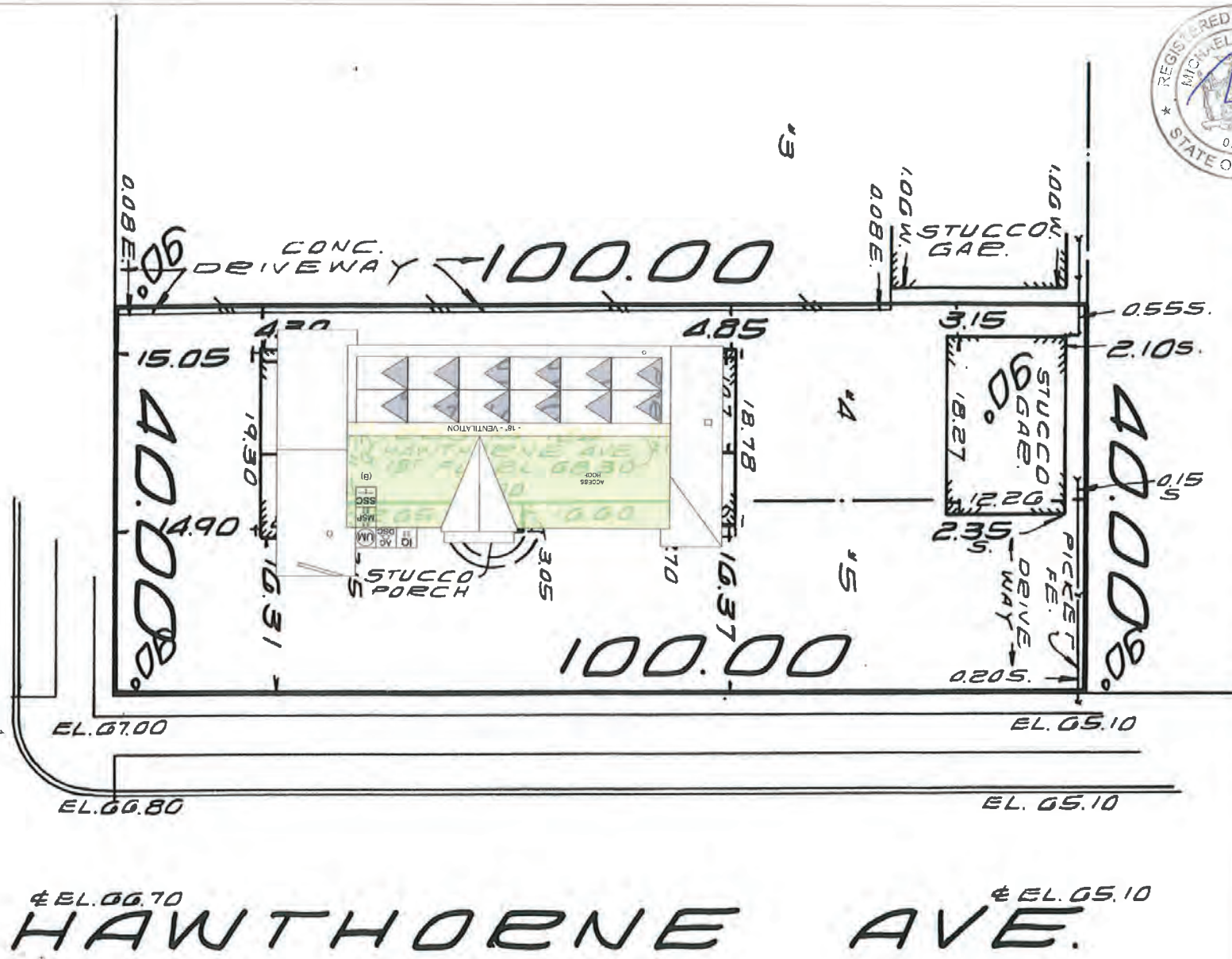
SITE INFORMATION

Windheuser Residence
124 Hawthorne Ave, Floral Park, NY 11001

Drawn By: J. DellaRocca - 04/25/2024

E1-1
ONE-LINE DIAGRAM

WHITTIER AVE.



HAWTHORNE AVE.



SUNation Solar Systems
 171 Remington Blvd.
 Ronkonkoma, New York 11779
 (631)-750-9454

NYSERDA
 INSTALLER
 NUMBER **4355**

JOB NUMBER
24103

SITE INFORMATION

Windheuser Residence
 124 Hawthorne Ave, Floral Park, NY 11001

Drawn By: J. DellaRocca - 04/25/2024

A3-1
 PLOT PLAN



ARRAY LOCATION(S)
VIA GROUND



ARRAY LOCATION(S)
VIA ROOF



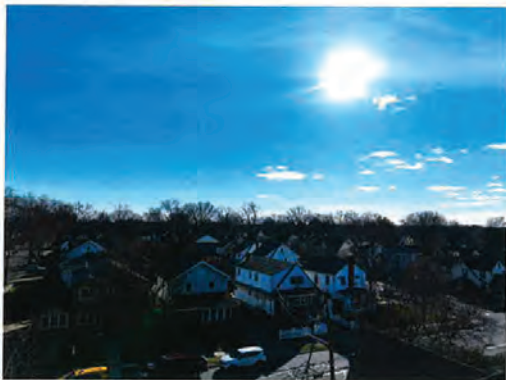
SATELLITE IMAGE



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NYSDORA
INSTALLER
NUMBER **4355**

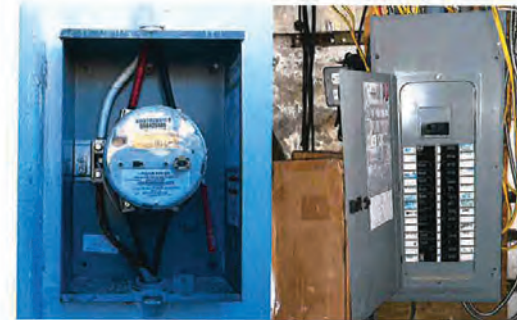
JOB NUMBER
24103



SOUTH VIEW
VIA ROOF



PROPOSED PV EQUIPMENT
LOCATION



EXISTING UTILITY METER
AND MDP

SITE INFORMATION

Windheuser Residence
124 Hawthorne Ave, Floral Park, NY 11001

Drawn By: J. DellaRocca - 04/25/2024

SOLAR'S MOST TRUSTED



REC ALPHA PURE-R SERIES

PRODUCT SPECIFICATIONS



COMPACT PANEL SIZE

9 A MODULE CURRENT
COMPATIBLE WITH MLPE

410
19.7
21.2%

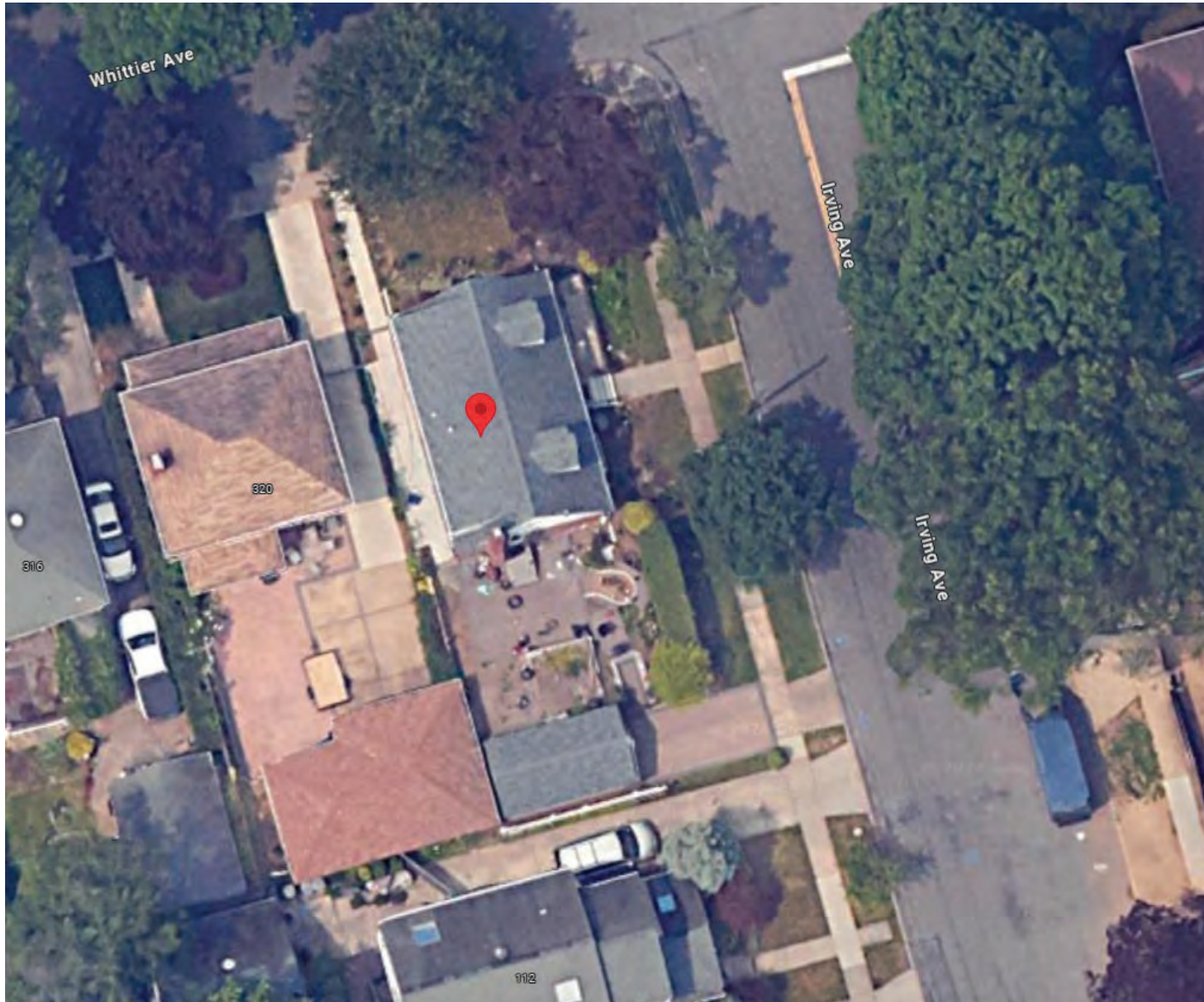
WP
 $\frac{W}{FT^2}$
EFFICIENCY



Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
8	9:25 p.m.	116	Irving Avenue	Solar	Mary Tina Sugumar	LI Power Solutions



116 Irving Avenue (Aerial View)



MARY SUGUMAR

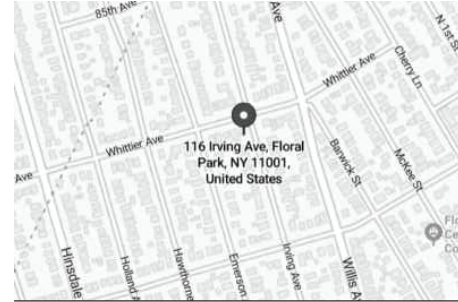
AHJ
VILLAGE OF FLORAL PARK

UTILITY
LONG ISLAND POWER AUTHORITY

SCOPE OF WORK

(N) 5.88KW DC ROOF MOUNTED PV SYSTEM
(14) REC SOLAR REC420AA PURE-R MODULES
(14) ENPHASE IQ7X-96-2-US MICROINVERTERS
(01) ENPHASE IQ 4/4C COMBINER PANEL

VICINITY MAP



CODES AND STANDARDS WITH AMENDMENTS

2020 BCNYS
2020 FCNYS
2020 RCNYS
2017 NEC

ENVIRONMENTAL

WIND SPEED: 130 MPH
SNOW LOAD: 20 PSF
EXPOSURE CATEGORY: B

GENERAL NOTES

PROJECT NOTES:

- THIS PHOTOVOLTAIC (PV) SYSTEM SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE (NEC) ARTICLE 690, ALL MANUFACTURER'S LISTING AND INSTALLATION INSTRUCTIONS, AND THE RELEVANT CODES AS SPECIFIED BY THE AUTHORITY HAVING JURISDICTION'S (AHJ) APPLICABLE CODES.
- THE UTILITY INTERCONNECTION APPLICATION MUST BE APPROVED AND PV SYSTEM INSPECTED PRIOR TO PARALLEL OPERATION
- GROUND FAULT DETECTION AND INTERRUPTION (GFDI) DEVICE IS INTEGRATED WITH THE MICRO INVERTERS IN ACCORDANCE WITH NEC 690.41(B)
- ALL PV SYSTEM COMPONENTS; MODULES, UTILITY - INTERACTIVE INVERTERS, AND SOURCE CIRCUIT COMBINER BOXES ARE IDENTIFIED AND LISTED FOR USE IN PHOTOVOLTAIC SYSTEMS AS REQUIRED BY NEC 690.4: PV MODULES: UL1703, IEC61730, AND IEC61215, AND NFPA 70 CLASS C FIRE INVERTERS: UL 1741 CERTIFIED, IEEE 1547, 929, 519 COMBINER BOX(ES): UL 1703 OR UL 1741 ACCESSORY
- MAX DC VOLTAGE CALCULATED USING MANUFACTURER PROVIDED TEMP COEFFICIENT FOR VOC. IF UNAVAILABLE, MAX DC VOLTAGE CALCULATED ACCORDING TO NEC 690.7.
- ALL INVERTERS, PHOTOVOLTAIC MODULES, PHOTOVOLTAIC PANELS, AND SOURCE CIRCUIT COMBINERS INTENDED FOR USE IN A PHOTOVOLTAIC POWER SYSTEM WILL BE IDENTIFIED AND LISTED FOR THE APPLICATION PER 690.4. SHALL BE INSTALLED ACCORDING TO ANY INSTRUCTIONS FROM LISTING OR LABELING [NEC 110.3].
- ALL SIGNAGE TO BE PLACED IN ACCORDANCE WITH LOCAL BUILDING CODE. IF EXPOSED TO SUNLIGHT, IT SHALL BE UV RESISTANT. ALL PLAQUES AND SIGNAGE WILL BE INSTALLED AS REQUIRED BY THE NEC AND AHJ.

SHEET INDEX

PV-1	COVER SHEET
PV-2	SITE PLAN
PV-3	ATTACHMENT PLAN
PV-3.1	STRUCTURAL PLAN
PV-4	ELECTRICAL
PV-4.1	ELECTRICAL CALCULATIONS
PV-5	LABELS
PV-6	RESOURCE DOCUMENT
PV-6.1	RESOURCE DOCUMENT
PV-6.2	RESOURCE DOCUMENT
PV-6.3	RESOURCE DOCUMENT
PV-6.4	RESOURCE DOCUMENT
PV-6.5	RESOURCE DOCUMENT
PV-6.6	RESOURCE DOCUMENT
PV-6.7	RESOURCE DOCUMENT
PV-6.8	RESOURCE DOCUMENT

CONTRACTOR



LONG ISLAND POWER SOLUTION
2060 OCEAN AVE,
RONKONKOMA, NY, 11779
(631) 348-0001

PROJECT INFO & ADDRESS

MARY SUGUMAR
116 IRVING AVENUE,
FLORAL PARK,
NY 11001

SYSTEM SIZE

DC SIZE: 5.880 KW DC-(STC)



DRAWN BY	AB
DATE	4/3/2024
REVISION	

SIGNATURE

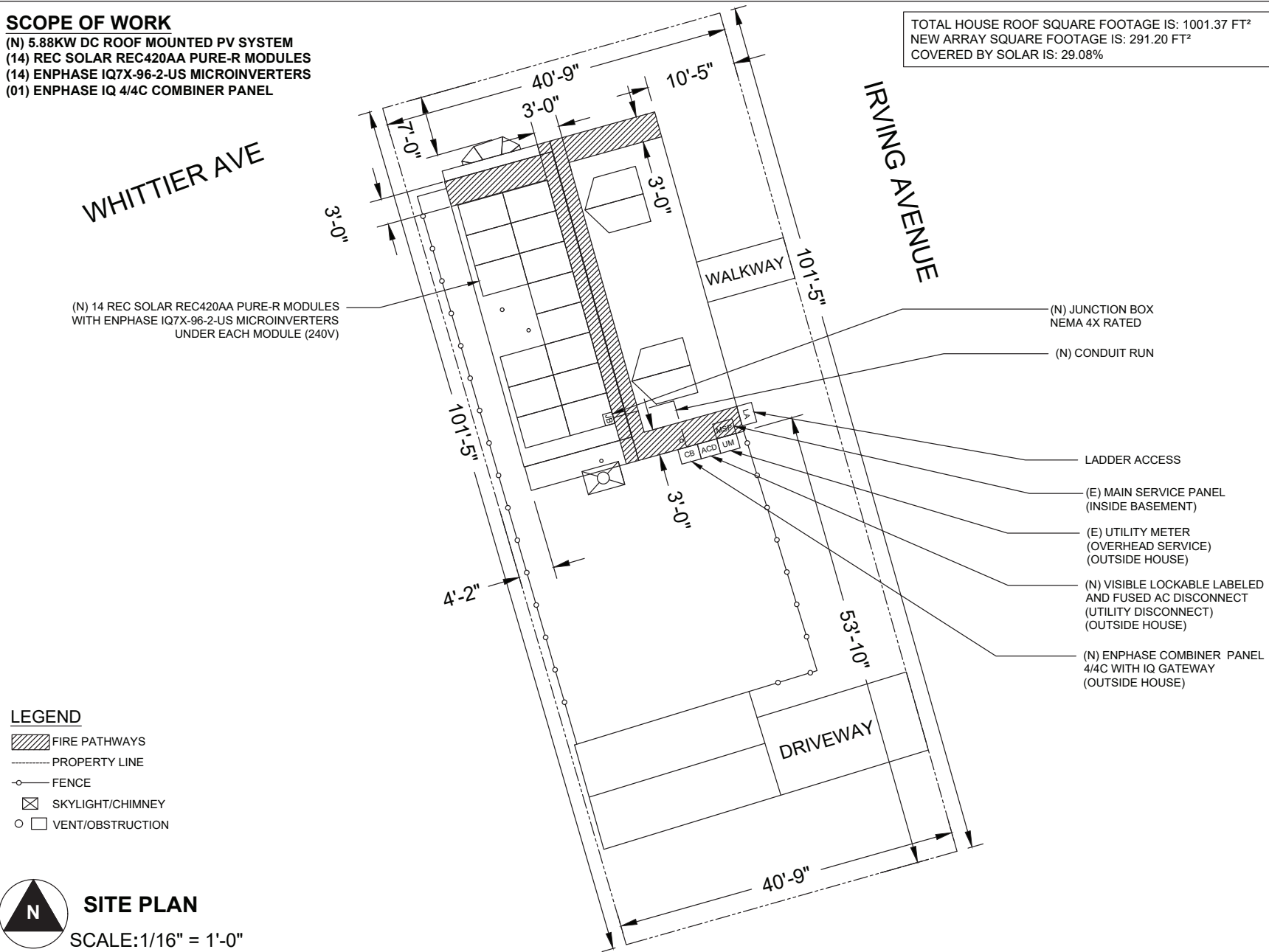
PV-1

COVER SHEET

SCOPE OF WORK

- (N) 5.88KW DC ROOF MOUNTED PV SYSTEM
- (14) REC SOLAR REC420AA PURE-R MODULES
- (14) ENPHASE IQ7X-96-2-US MICROINVERTERS
- (01) ENPHASE IQ 4/4C COMBINER PANEL

TOTAL HOUSE ROOF SQUARE FOOTAGE IS: 1001.37 FT²
 NEW ARRAY SQUARE FOOTAGE IS: 291.20 FT²
 COVERED BY SOLAR IS: 29.08%



CONTRACTOR

DOWER SOLUTIONS

LONG ISLAND POWER SOLUTION
 2060 OCEAN AVE,
 RONKONKOMA, NY, 11779
 (631) 348-0001

PROJECT INFO & ADDRESS
 MARY SUGUMAR
 116 IRVING AVENUE,
 FLORAL PARK,
 NY 11001

SYSTEM SIZE
 DC SIZE: 5.880 KW DC-(STC)







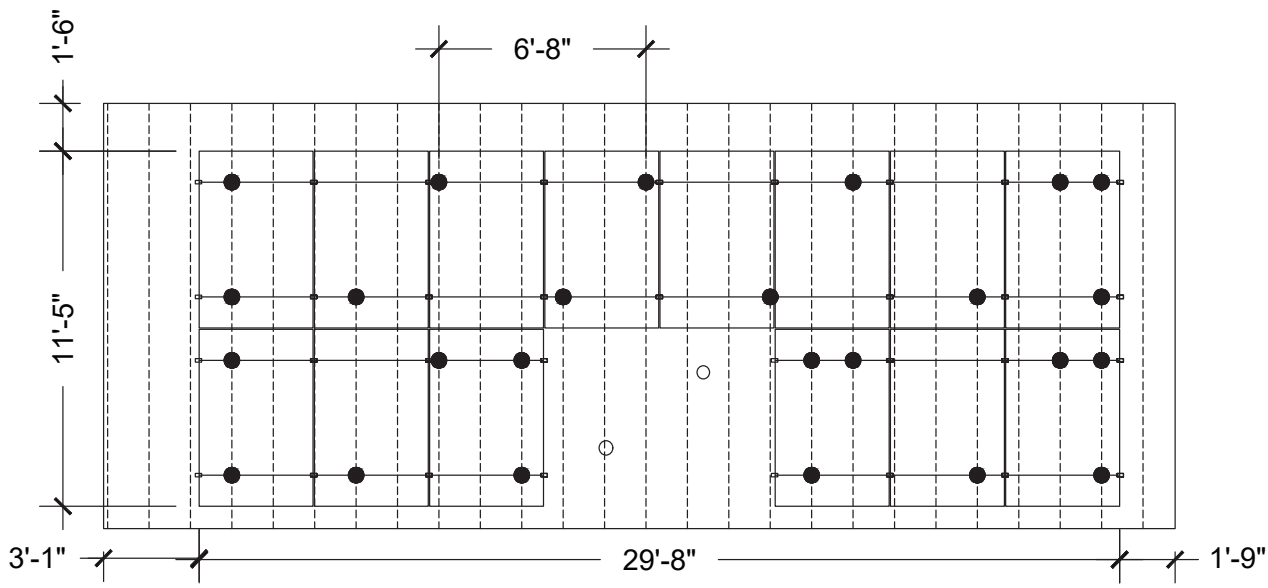
DRAWN BY	AB
DATE	4/3/2024
REVISION	
SIGNATURE	
PV-2	

SITE PLAN

ROOF SECTION(S)


ROOF 1	ROOF MATERIAL - COMPOSITE SHINGLE RAFTER SIZE - 2"X6" O.C. SPACING - 16" MODULES - 14
--------	---

-  - CLAMP
 -  - IRON RIDGE FLASHFOOT 2
 -  - IRONRIDGE XR-100 RAIL
 -  - RAFTER
- 25 - TOTAL MOUNT



ARRAY 1
 TILT- 18 DEG
 AZIMUTH - 254 DEG

CONTRACTOR



LONG ISLAND POWER SOLUTION
 2060 OCEAN AVE,
 RONKONKOMA, NY, 11779
 (631) 348-0001

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 116 IRVING AVENUE,
 FLORAL PARK,
 NY 11001

SYSTEM SIZE
 DC SIZE: 5.880 KW DC-(STC)



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DATE	4/3/2024
REVISION	
SIGNATURE	
PV-3	

1 | ATTACHMENT PLAN
 SCALE: 1/4"=1'-0"

ATTACHMENT PLAN

CONTRACTOR



LONG ISLAND POWER SOLUTION
2060 OCEAN AVE,
RONKONKOMA, NY, 11779
(631) 348-0001

PROJECT INFO & ADDRESS

MARY SUGUMAR
116 IRVING AVENUE,
FLORAL PARK,
NY 11001

SYSTEM SIZE
DC SIZE: 5.880 KW DC-(STC)

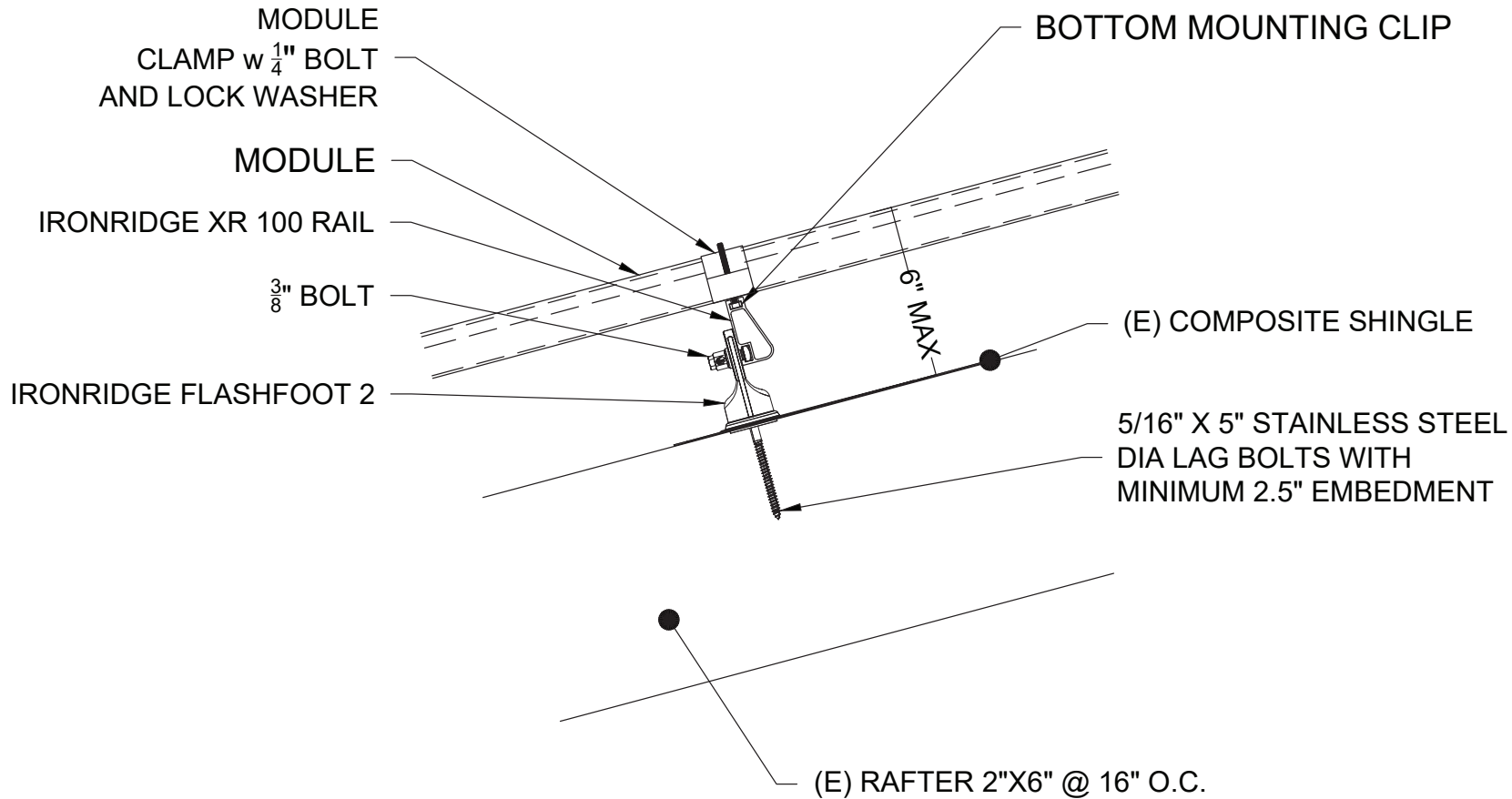


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DATE	4/3/2024
REVISION	

SIGNATURE

PV-3.1

STRUCTURAL PLAN

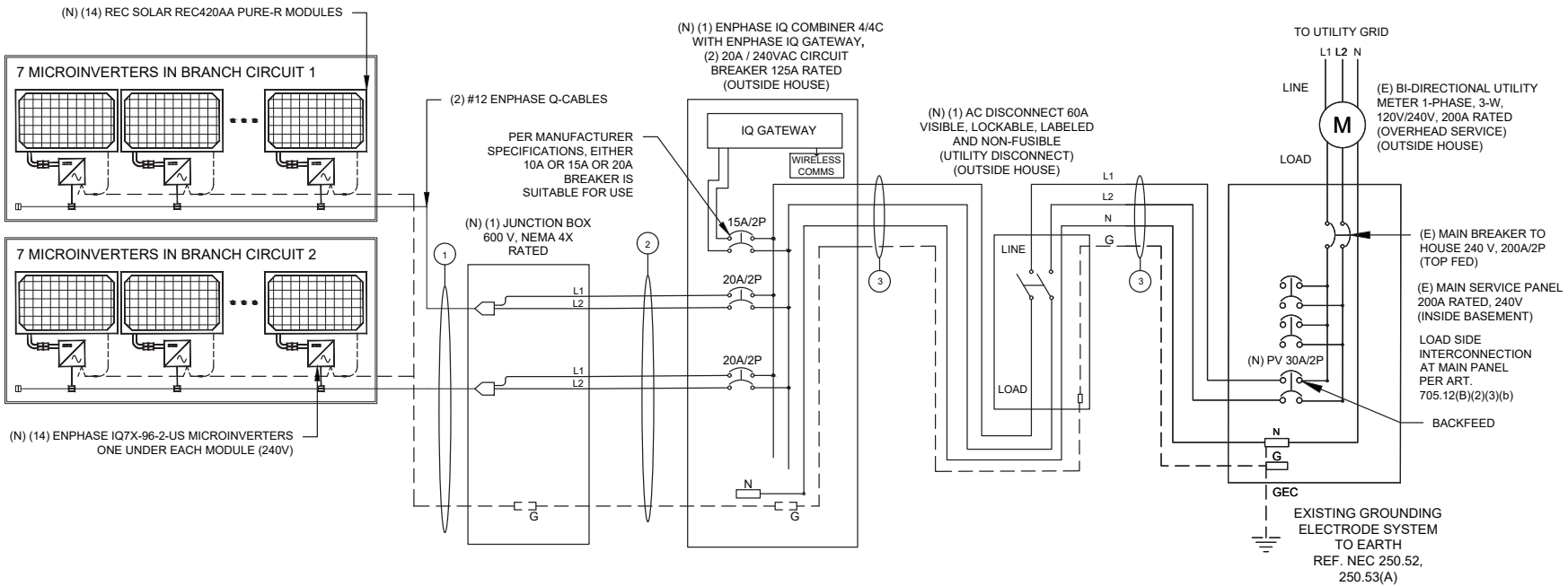


1 | STRUCTURAL PLAN
SCALE:NTS

SOLAR MODULE SPECIFICATIONS	
MANUFACTURER / MODEL #	REC SOLAR REC420AA PURE-R
VMP	50.0V
IMP	8.40A
VOC	59.4V
ISC	8.89A
TEMP. COEFF. VOC	-0.24%/°C
MODULE DIMENSION	68.1"L x 44.0"W x 1.2"D (In Inch)

INVERTER SPECIFICATIONS	
MANUFACTURER / MODEL #	ENPHASE IQ7X-96-2-US MICROINVERTER
MIN/MAX DC VOLT RATING	33V MIN/ 79.5V MAX
MAX INPUT POWER	460W
NOMINAL AC VOLTAGE RATING	240V/ 211-264V
MAX AC CURRENT	1.31A
MAX MODULES PER STRING	12 MODULES
MAX OUTPUT POWER	320 VA

NOTE:
 - ALL CONDUCTORS ARE COPPER UNLESS OTHERWISE NOTED.
 - SOLAR BREAKER LOCATED AT THE FURTHEST END OF BUSBAR FROM THE MAIN BREAKER OR FEEDER UNIT



PHASE CONDUCTOR QTY, SIZE AND TYPE PER CONDUIT				NEUTRAL QTY, SIZE AND TYPE PER CONDUIT			GROUND CONDUCTOR QTY, SIZE AND TYPE PER CONDUIT			CONDUIT SIZE	CONDUIT TYPE
1	2	AWG #12	Q-CABLE	NA	NA	NA	1	AWG #6	BARE, COPPER EGC	N/A	FREE AIR
2	4	AWG #10	THWN-2, COPPER	NA	NA	NA	1	AWG #8	THWN-2, COPPER EGC	1"	PVC
3	2	AWG #10	THWN-2, COPPER	1	AWG #10	THWN-2, COPPER	1	AWG #8	THWN-2, COPPER EGC	1"	PVC

CONTRACTOR

LONG ISLAND POWER SOLUTION
 2060 OCEAN AVE,
 RONKONKOMA, NY, 11779
 (631) 348-0001

PROJECT INFO & ADDRESS
 MARY SUGUMAR
 116 IRVING AVENUE,
 FLORAL PARK, NY 11001

SYSTEM SIZE
 DC SIZE: 5.880 KW DC-(STC)

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 DATE 4/3/2024
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 SIGNATURE
 PV-4
ELECTRICAL

PERCENT OF VALUES	NUMBER OF CURRENT CARRYING CONDUCTORS IN EMT
0.80	4-6
0.70	7-9
0.50	10-20

AMBIENT TEMPERATURE SPECS	
RECORD LOW TEMP	-14°
AMBIENT TEMP (HIGH TEMP 2%)	31°
CONDUIT HEIGHT	7/8"
ROOF TOP TEMP	53°
CONDUCTOR TEMPERATURE RATE	90°
MODULE TEMPERATURE COEFFICIENT OF Voc	-0.24%/°C

CONTRACTOR



LONG ISLAND POWER SOLUTION
2060 OCEAN AVE,
RONKONKOMA, NY, 11779
(631) 348-0001

PROJECT INFO & ADDRESS

MARY SUGUMAR
116 IRVING AVENUE,
FLORAL PARK,
NY 11001

SYSTEM SIZE

DC SIZE: 5.880 KW DC-(STC)



CALCULATIONS:

1. CURRENT CARRYING CONDUCTOR

(A) BEFORE IQ COMBINER PANEL

AMBIENT TEMPERATURE - (31)°C ...NEC 310.15(B)(3)(c)
 TEMPERATURE DERATE FACTOR - 0.94 ...NEC 310.15(B)(2)(a)
 GROUPING FACTOR - 0.8...NEC TABLE 310.15(B)(3)(a)

CONDUCTOR AMPACITY

= (INV O/P CURRENT) x 1.25 / A.T.F / G.F ...NEC 690.8(B)
 = [(7 x 1.31) x 1.25] / [0.94 x 0.8]
 = 15.24A

SELECTED CONDUCTOR - #10 THWN-2 ...NEC 310.15(B)(16)

(B) AFTER IQ COMBINER PANEL

TEMPERATURE DERATE FACTOR - 0.94
 GROUPING FACTOR - 1

CONDUCTOR AMPACITY

= (TOTAL INV O/P CURRENT) x 1.25 / 0.94 / 1 ...NEC 690.8(B)
 = [(14 x 1.31) x 1.25] / [0.94 x 1]
 = 24.39 A

SELECTED CONDUCTOR - #10 THWN-2 ...NEC 310.15(B)(16)

2. PV OVER CURRENT PROTECTION ...CEC 690.9(B)

= TOTAL INVERTER O/P CURRENT x 1.25

= (14 x 1.31) x 1.25 = 22.93 A

SELECTED OCPD = 30 A ...NEC 240.6

3. 120% RULE FOR BACKFEED

...NEC 705.12(B)(2)(3)(b)

MCB + PV BREAKER <= (1.2 x BUS BAR RATING)
 RATING RATING RATING)
 (200 + 30) <= 1.2 x 200A
 230.00 <= 240.00 HENCE OK

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REVISION	

SIGNATURE

PV-4.1

ELECTRICAL CALCULATIONS

1 **WARNING**
ELECTRIC SHOCK HAZARD
 IF A GROUND FAULT IS INDICATED NORMALLY GROUNDED CONDUCTORS MAY BE UNGROUNDED AND ENERGIZED

2 **WARNING**
ELECTRIC SHOCK HAZARD
 THE DC CONDUCTORS OF THIS PHOTOVOLTAIC SYSTEM ARE UNGROUNDED AND MAY BE ENERGIZED

3 **WARNING**
ELECTRIC SHOCK HAZARD
 DO NOT TOUCH TERMINALS. DO NOT TOUCH TERMINALS ON BOTH LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION

4 **WARNING - Electric Shock Hazard**
 No user serviceable parts inside
 Contact authorized service provider for assistance

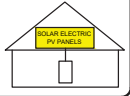
5 **WARNING: DUAL POWER SOURCE**
 SECOND SOURCE IS PHOTOVOLTAIC SYSTEM

6 **WARNING: PHOTOVOLTAIC POWER SOURCE**

7 **WARNING**
 INVERTER OUTPUT CONNECTION DO NOT RELOCATE THIS OVERCURRENT DEVICE

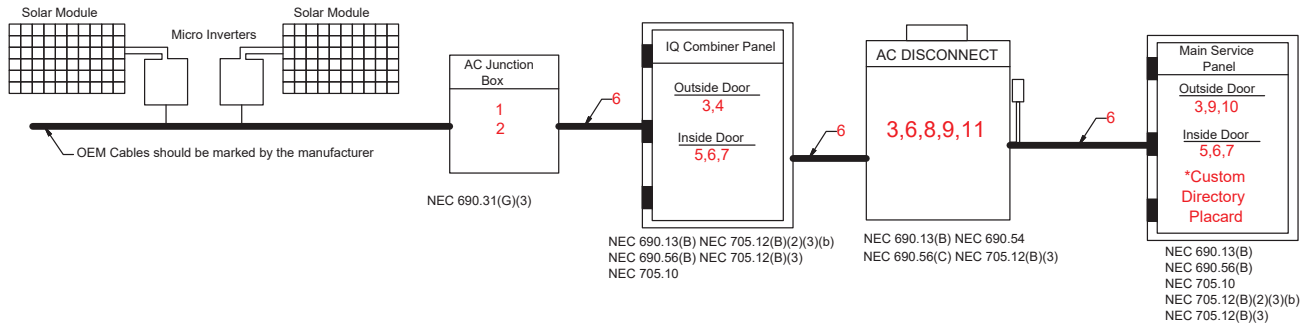
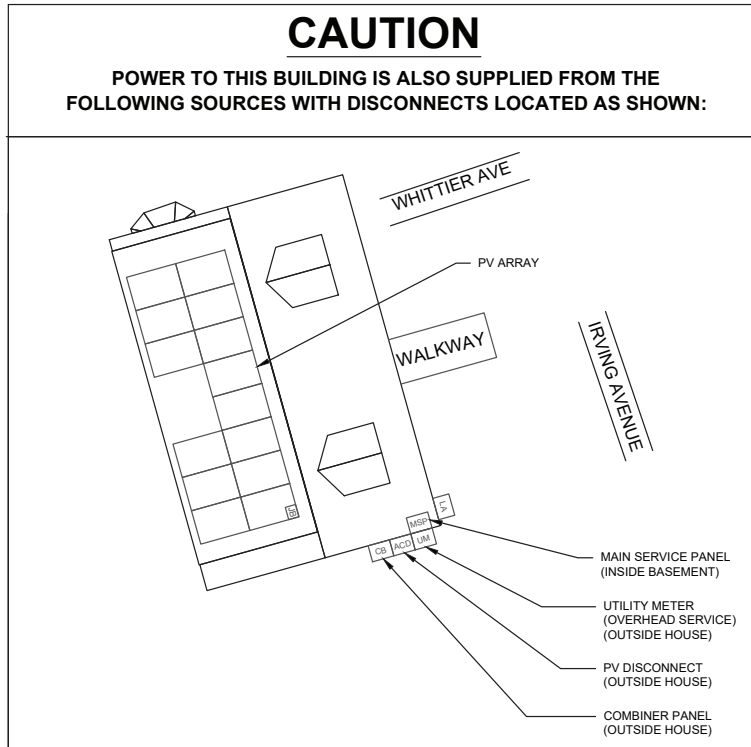
8 **CAUTION: SOLAR ELECTRIC SYSTEM CONNECTED**

9 **SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN**
 TURN RAPID SHUTDOWN SWITCH TO THE "OFF" POSITION TO SHUT DOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN THE ARRAY



10 **CAUTION: SOLAR CIRCUIT**

11 **PHOTOVOLTAIC SYSTEM AC DISCONNECT**
 RATED AC OUTPUT CURRENT 18.34 AMPS
 NOMINAL OPERATING AC VOLTAGE 240 VOLTS



CONTRACTOR


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 2060 OCEAN AVE,
 RONKONKOMA, NY, 11779
 (631) 348-0001

PROJECT INFO & ADDRESS
 MARY SUGUMAR
 116 IRVING AVENUE,
 FLORAL PARK,
 NY 11001

SYSTEM SIZE
 DC SIZE: 5.880 KW DC-(STC)

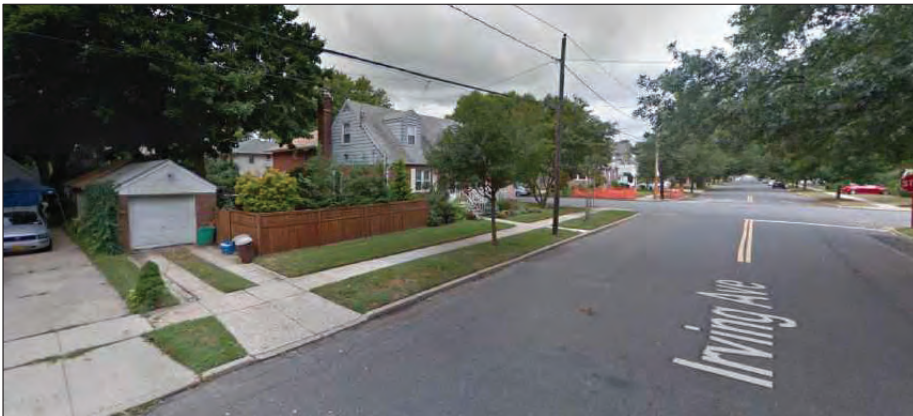


DRAWN BY	AB
DATE	4/3/2024
REVISION	
SIGNATURE	
PV-5	
LABELS	



FRONT OF HOUSE

PANELS ARE LOCATED ON THE BACK ROOF, NOT
VISIBLE FROM FRONT OF HOME



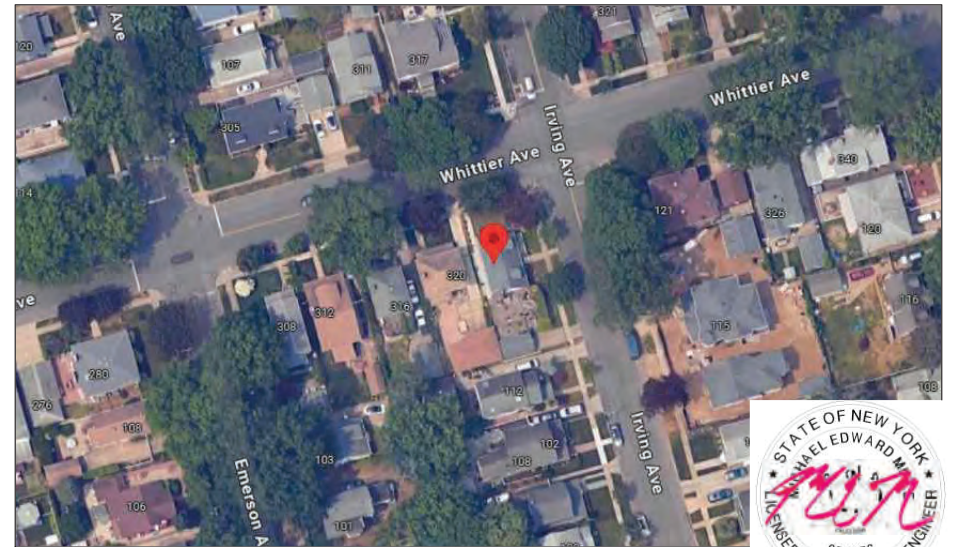
VIEW FROM LEFT SIDE OF HOUSE

PANELS ARE LOCATED ON THE BACK ROOF, NOT
VISIBLE FROM FRONT OF HOME



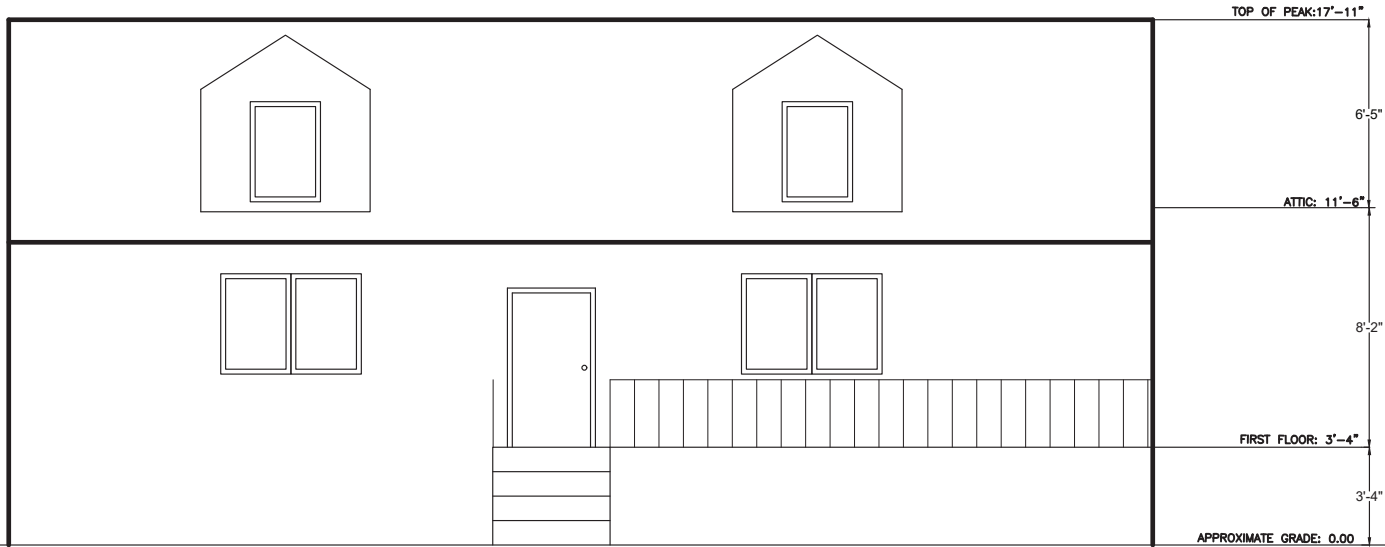
VIEW FROM RIGHT/BACK SIDE OF HOUSE

DUE TO LOW SLOPE OF ROOF, PANELS ARE
NOT VISIBLE FROM STREET



AERIAL MAP

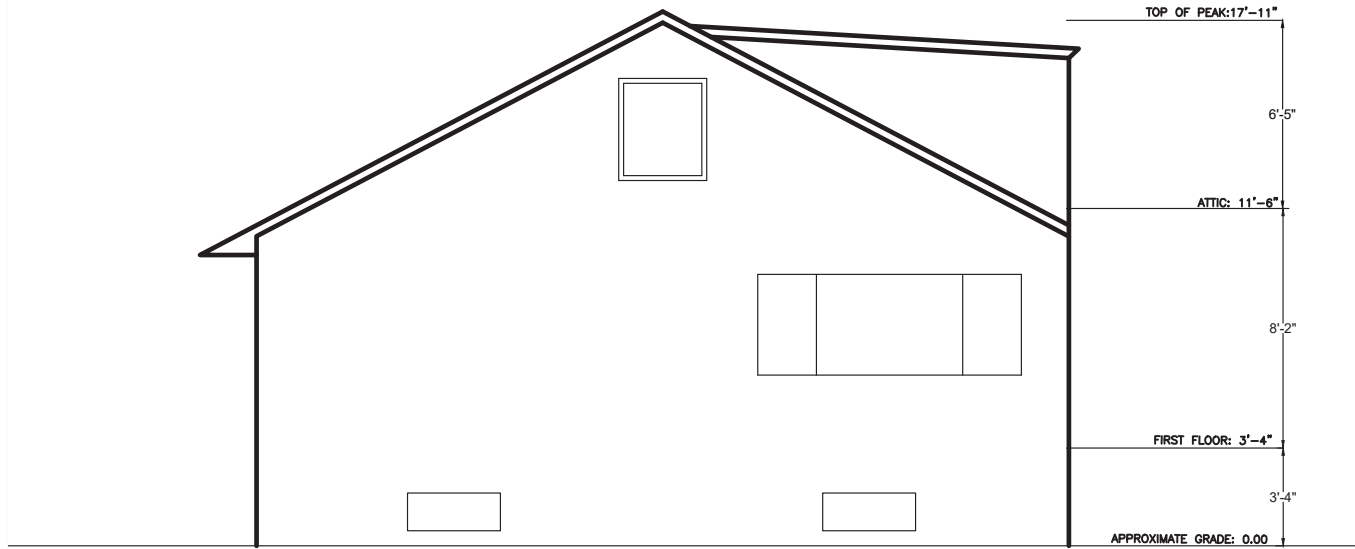




EAST ELEVATION

SCALE: $\frac{1}{4}'' = 1'-0''$

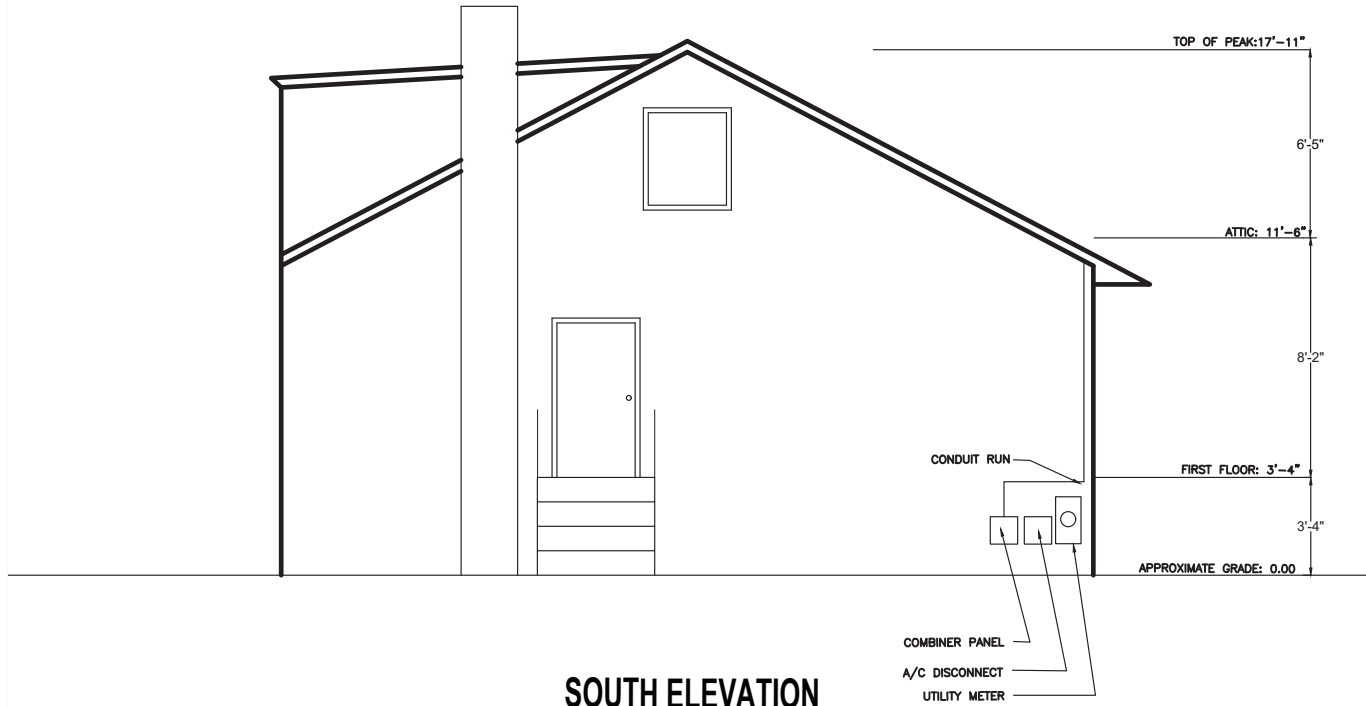




NORTH ELEVATION

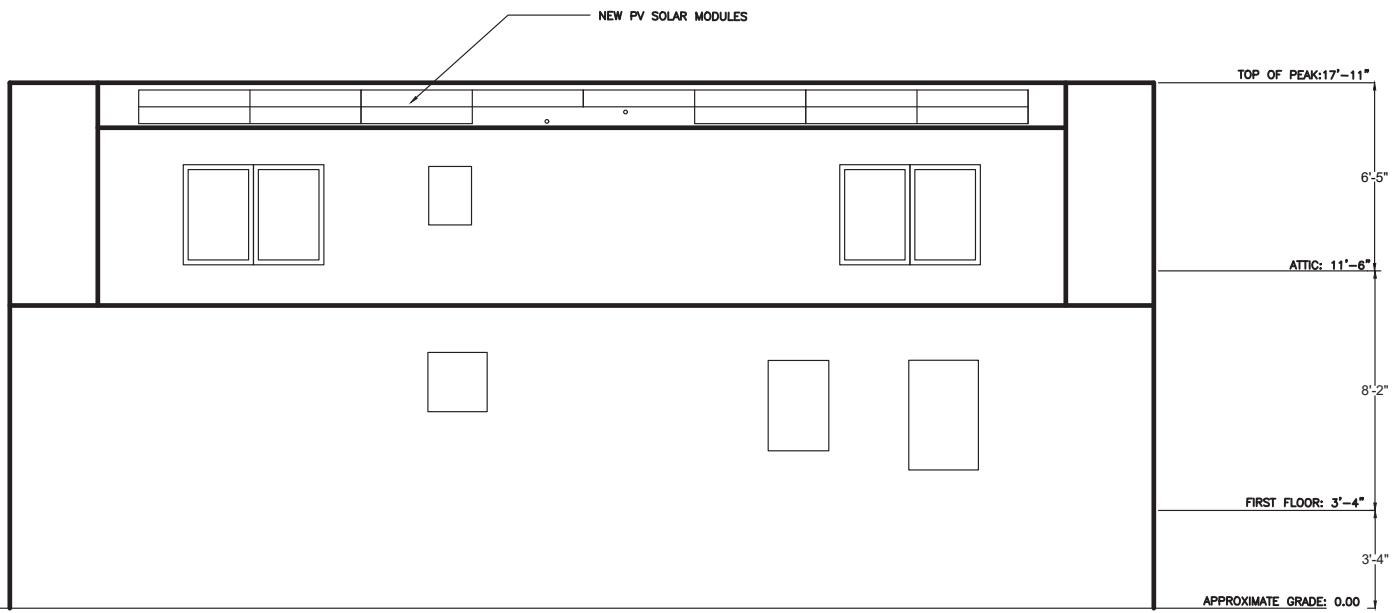
SCALE: $\frac{1}{4}" = 1'-0"$





SOUTH ELEVATION
SCALE: 1/4"=1'-0"





WEST ELEVATION

SCALE: 1/4"=1'-0"



SOLAR'S MOST TRUSTED



REC ALPHA PURE-R SERIES PRODUCT SPECIFICATIONS

COMPACT PANEL SIZE

9 A PANEL CURRENT
COMPATIBLE WITH MLPE

430 WP
223 W/M²



ELIGIBLE



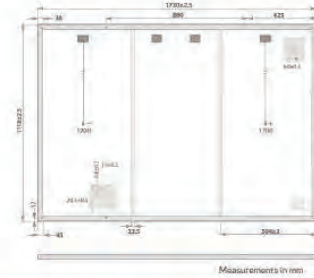
EXPERIENCE

PERFORMANCE

REC ALPHA PURE-R SERIES PRODUCT SPECIFICATIONS



GENERAL DATA	
Cell type:	8D half-cut REC heterojunction cells with lead-free, gapless technology
Glass:	3.2 mm solar glass with anti-reflective surface treatment in accordance with EN 12150
Backsheet:	Highly resistant polymer (black)
Frame:	Anodized aluminum (black)
Junction box:	4-part, 4 bypass diodes, lead-free IP68 rated, in accordance with IEC 62730
Connectors:	Stäubli MC4 PV-KST4/KST4 (4 mm ²) in accordance with IEC 62852, IP68 only when connected
Cable:	4 mm ² solar cable, 1.7 + 1.7 m in accordance with EN 50618
Dimensions:	1730 x 1118 x 30 mm (1.93 m ²)
Weight:	21.5 kg
Origin:	Made in Singapore



ELECTRICAL DATA		Product Code*: RECxxxAA Pure-R		
Power Output - P _{max} (Wp)	410	420	430	430
Watt Class Sorting (W)	0/+10	0/+10	0/+10	0/+10
Nominal Power Voltage - V _{mp} (V)	49.4	50.0	50.5	50.5
Nominal Power Current - I _{mp} (A)	8.30	8.40	8.52	8.52
Open Circuit Voltage - V _{oc} (V)	59.2	59.4	59.7	59.7
Short Circuit Current - I _{sc} (A)	8.81	8.89	8.97	8.97
Power Density (W/m ²)	212	218	223	223
Panel Efficiency (%)	21.2	21.8	22.3	22.3
Power Output - P _{max} (Wp)	312	320	327	327
Nominal Power Voltage - V _{mp} (V)	46.6	47.1	47.6	47.6
Nominal Power Current - I _{mp} (A)	6.70	6.78	6.88	6.88
Open Circuit Voltage - V _{oc} (V)	55.8	56.0	56.3	56.3
Short Circuit Current - I _{sc} (A)	7.12	7.35	7.24	7.24

*Values at standard test conditions (STC: air mass AM1.5, irradiance 1000 W/m², temperature 25°C), based on a production spread with a tolerance of P_{max}, V_{oc} & I_{sc} ±3% within one watt class. Nominal module operating temperature (NMOT: air mass AM1.5, irradiance 800 W/m², temperature 20°C, wind speed 1 m/s). *Where xxx indicates the nominal power class (P_{max}) at STC above.

MAXIMUM RATINGS		WARRANTY		
Operational temperature:	-40 ~ +85°C		Standard	REC ProTrust
System voltage:	1000 V	Installed by an REC Certified Solar Professional	No	Yes
Test load (front):	+7000 Pa (713 kg/m ²)	System Size	All	<25kW 25-500kW
Test load (rear):	-4000 Pa (407 kg/m ²)	Product Warranty (yrs)	20	25 25
Series fuse rating:	25 A	Power Warranty (yrs)	25	25 25
Reverse current:	25 A	Labor Warranty (yrs)	0	25 10
	*See installation manual for mounting instructions. Design load = Test load / 1.5 (safety factor)	Power in Year 1	98%	98% 98%
		Annual Degradation	0.25%	0.25% 0.25%
		Power in Year 25	92%	92% 92%

*See warranty documents for details. Conditions apply.

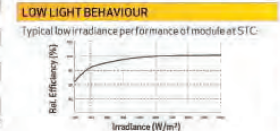
CERTIFICATIONS (PENDING)	
IEC 61215-2:2016, IEC 61730:2016, UL 61730	
IEC 62804 PID	
IEC 61701 Salt Mist	
IEC 62716 Ammonia Resistance	
ISO 11925-2 Ignitability (EN 13501 Class E)	
IEC 62782 Dynamic Mechanical Load	
IEC 61215-2:2016 Halotest (35min)	
IEC 62321 Lead-free test to RoHS EU 863/2015	
ISO 14001, ISO 9001, IEC 45001, IEC 62941	



TEMPERATURE RATINGS*	
Nominal Module Operating Temperature:	44°C (±2°C)
Temperature coefficient of P _{max} :	-0.26%/°C
Temperature coefficient of V _{oc} :	-0.24%/°C
Temperature coefficient of I _{sc} :	0.04%/°C

*The temperature coefficients stated are linear values

DELIVERY INFORMATION	
Panels per pallet:	33
Panels per 40 ft GP/high cube container:	858 (26 pallets)



Founded in 1996, REC Group is an international pioneering solar energy company dedicated to empowering consumers with clean, affordable solar power. As Solar's Most Trusted, REC is committed to high quality, innovation, and a low carbon footprint in the solar materials and solar panels it manufactures. Headquartered in Norway with operational headquarters in Singapore, REC also has regional hubs in North America, Europe, and Asia-Pacific.



CONTRACTOR



LONG ISLAND POWER SOLUTION
2060 OCEAN AVE,
RONKONKOMA, NY, 11779
(631) 348-0001

PROJECT INFO & ADDRESS
MARY SUGUMAR
116 IRVING AVENUE,
FLORAL PARK,
NY 11001

SYSTEM SIZE
DC SIZE: 5.880 KW DC-(STC)

DRAWN BY	AB
DATE	4/3/2024
REVISION	
SIGNATURE	

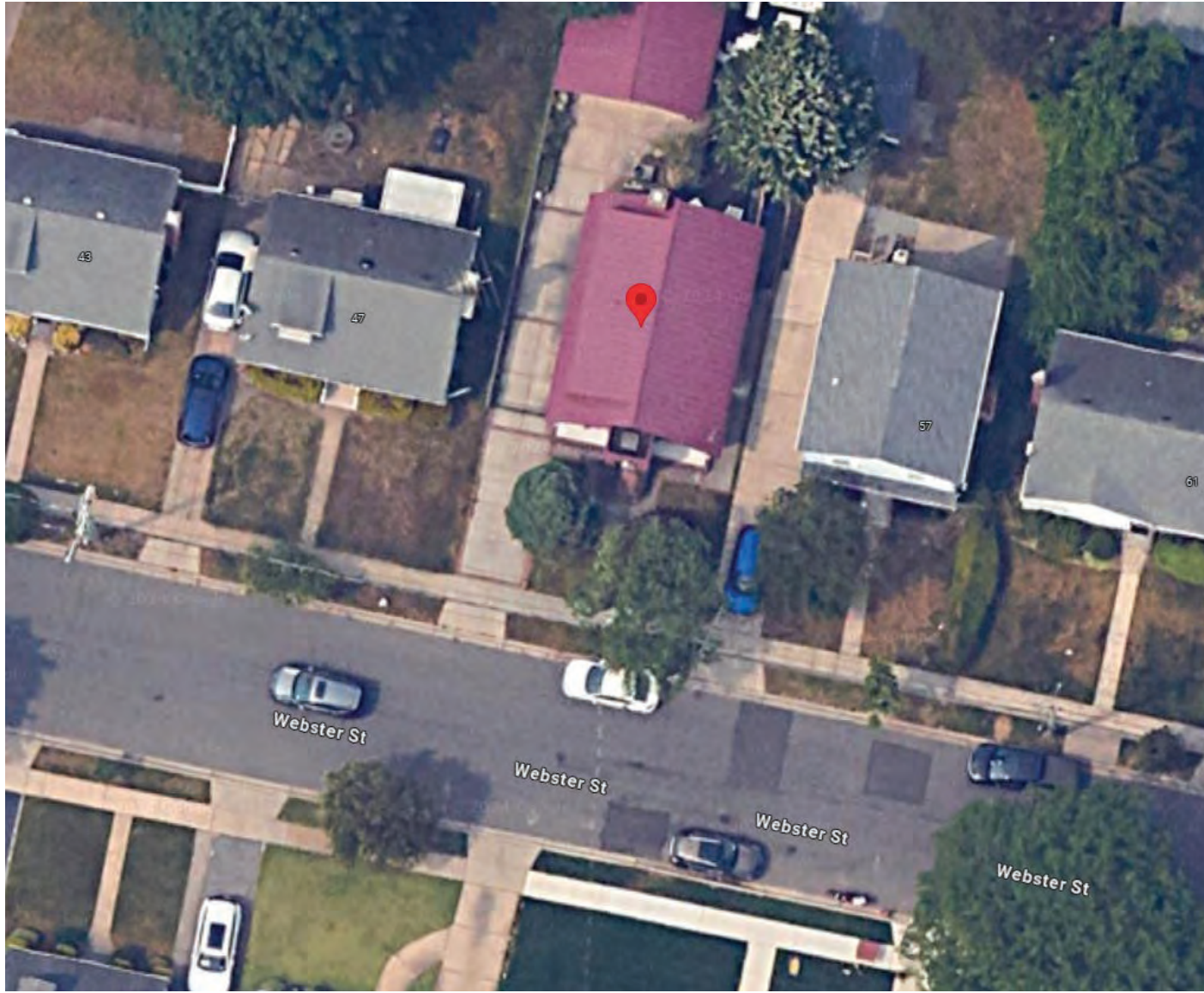
PV-6
RESOURCE DOCUMENT

Specifications subject to change without notice. Ref: PMA-DC-12-05-Rev-A-04-22

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
9	9:30 p.m.	53	Webster Street	Solar	Matthew Bode	LI Power Solutions



53 Webster Street (Aerial View)



MATT BODE

AHJ
VILLAGE OF FLORAL PARK

UTILITY
LONG ISLAND POWER
AUTHORITY

CODES AND STANDARDS WITH AMENDMENTS

2020 BCNYS
2020 FCNYS
2020 RCNYS
2017 NEC

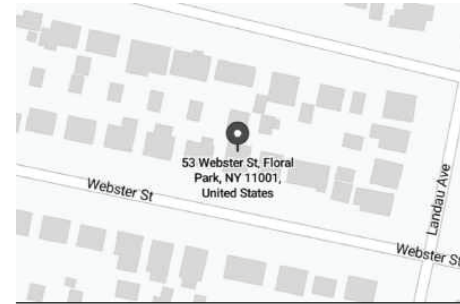
ENVIRONMENTAL

WIND SPEED: 130 MPH
SNOW LOAD: 20 PSF
EXPOSURE CATEGORY: B

SCOPE OF WORK

(N) 13.86KW DC ROOF MOUNTED PV SYSTEM
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(33) ENPHASE IQ7X-96-2-US MICROINVERTERS
(01) ENPHASE IQ 4/4C COMBINER PANEL

VICINITY MAP



CONTRACTOR



LONG ISLAND POWER
SOLUTION
2060 OCEAN AVE,
RONKONKOMA, NY, 11779
(631) 348-0001

PROJECT INFO & ADDRESS

MATT BODE
53 WEBSTER ST,
FLORAL PARK,
NY 11001

SYSTEM SIZE

DC SIZE: 13.860 KW DC-(STC)

GENERAL NOTES

PROJECT NOTES:

- THIS PHOTOVOLTAIC (PV) SYSTEM SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE (NEC) ARTICLE 690, ALL MANUFACTURER'S LISTING AND INSTALLATION INSTRUCTIONS, AND THE RELEVANT CODES AS SPECIFIED BY THE AUTHORITY HAVING JURISDICTION'S (AHJ) APPLICABLE CODES.
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- MAX DC VOLTAGE CALCULATED USING MANUFACTURER PROVIDED TEMP COEFFICIENT FOR VOC. IF UNAVAILABLE, MAX DC VOLTAGE CALCULATED ACCORDING TO NEC 690.7.
- ALL INVERTERS, PHOTOVOLTAIC MODULES, PHOTOVOLTAIC PANELS, AND SOURCE CIRCUIT COMBINERS INTENDED FOR USE IN A PHOTOVOLTAIC POWER SYSTEM WILL BE IDENTIFIED AND LISTED FOR THE APPLICATION PER 690.4. SHALL BE INSTALLED ACCORDING TO ANY INSTRUCTIONS FROM LISTING OR LABELING [NEC 110.3].
- ALL SIGNAGE TO BE PLACED IN ACCORDANCE WITH LOCAL BUILDING CODE. IF EXPOSED TO SUNLIGHT, IT SHALL BE UV RESISTANT. ALL PLAQUES AND SIGNAGE WILL BE INSTALLED AS REQUIRED BY THE NEC AND AHJ.

METER NO: 98613759

SHEET INDEX

PV-1	COVER SHEET
PV-2	SITE PLAN
PV-3	ATTACHMENT PLAN
PV-3.1	STRUCTURAL PLAN
PV-4	ELECTRICAL
PV-4.1	ELECTRICAL CALCULATIONS
PV-5	LABELS
PV-6	RESOURCE DOCUMENT
PV-6.1	RESOURCE DOCUMENT
PV-6.2	RESOURCE DOCUMENT
PV-6.3	RESOURCE DOCUMENT
PV-6.4	RESOURCE DOCUMENT
PV-6.5	RESOURCE DOCUMENT
PV-6.6	RESOURCE DOCUMENT
PV-6.7	RESOURCE DOCUMENT
PV-6.8	RESOURCE DOCUMENT



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DATE	3/21/2024
REVISION	

SIGNATURE

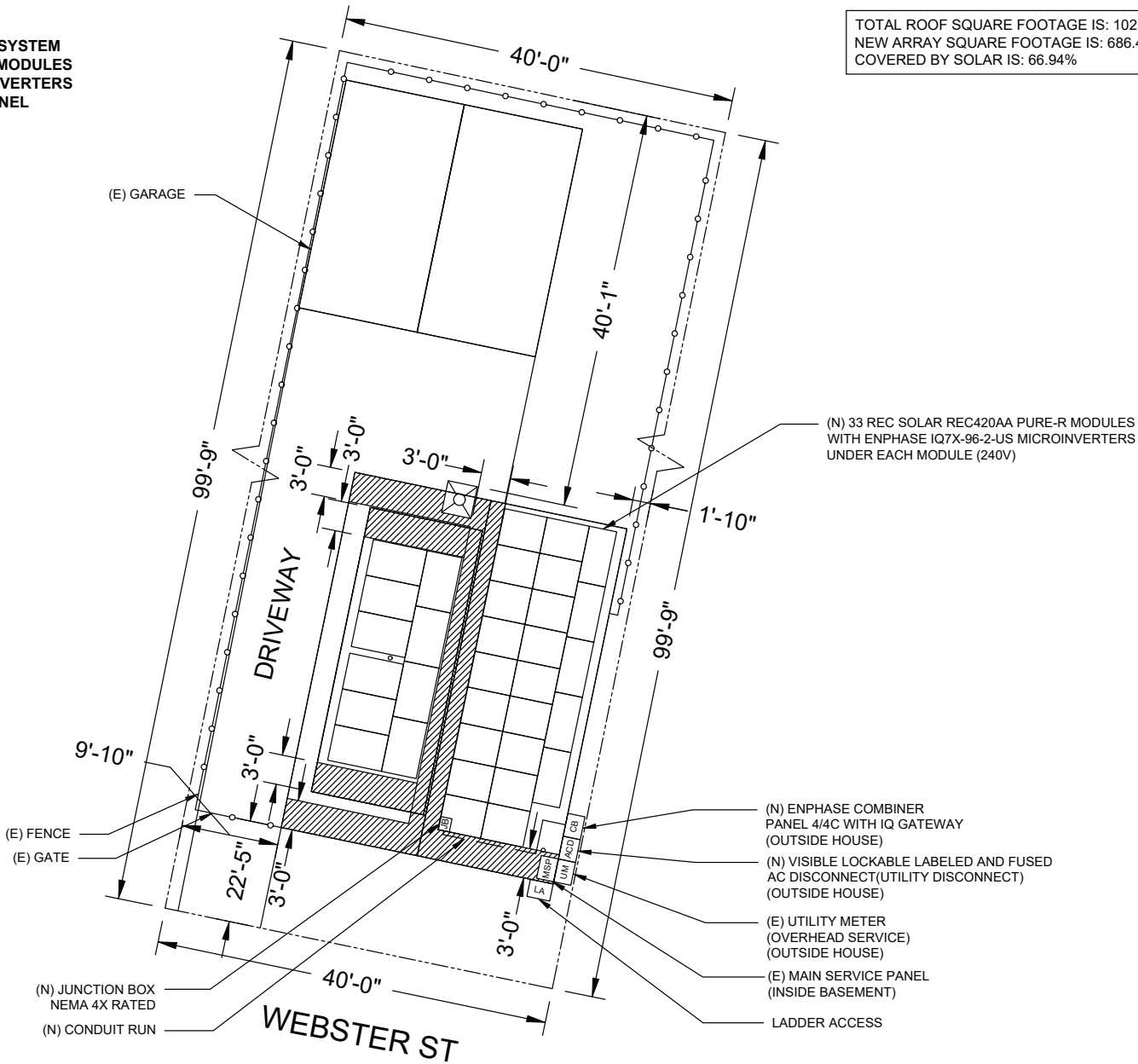
PV-1

COVER SHEET

SCOPE OF WORK

- (N) 13.86KW DC ROOF MOUNTED PV SYSTEM
- (33) REC SOLAR REC420AA PURE-R MODULES
- (33) ENPHASE IQ7X-96-2-US MICROINVERTERS
- (01) ENPHASE IQ 4/4C COMBINER PANEL

TOTAL ROOF SQUARE FOOTAGE IS: 1025.46 FT²
 NEW ARRAY SQUARE FOOTAGE IS: 686.40 FT²
 COVERED BY SOLAR IS: 66.94%



LEGEND

- FIRE PATHWAYS
- PROPERTY LINE
- FENCE
- SKYLIGHT/CHIMNEY
- VENT/OBSTRUCTION



SITE PLAN

SCALE: 1/16" = 1'-0"

CONTRACTOR



LONG ISLAND POWER SOLUTION
 2060 OCEAN AVE,
 RONKONKOMA, NY, 11779
 (631) 348-0001

PROJECT INFO & ADDRESS

MATT BODE
**53 WEBSTER ST,
 FLORAL PARK,
 NY 11001**

SYSTEM SIZE

DC SIZE: 13.860 KW DC-(STC)



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DATE	3/21/2024
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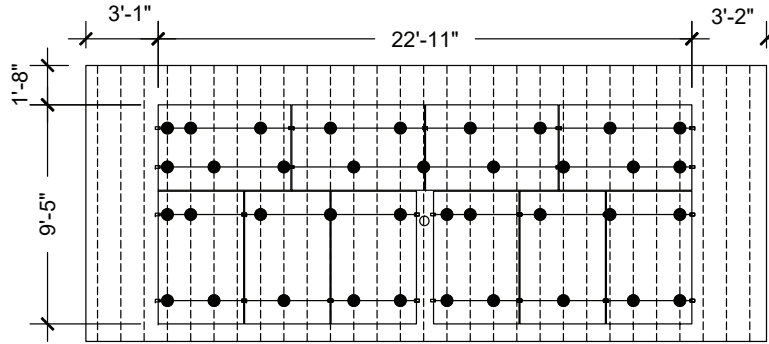
SIGNATURE

PV-2

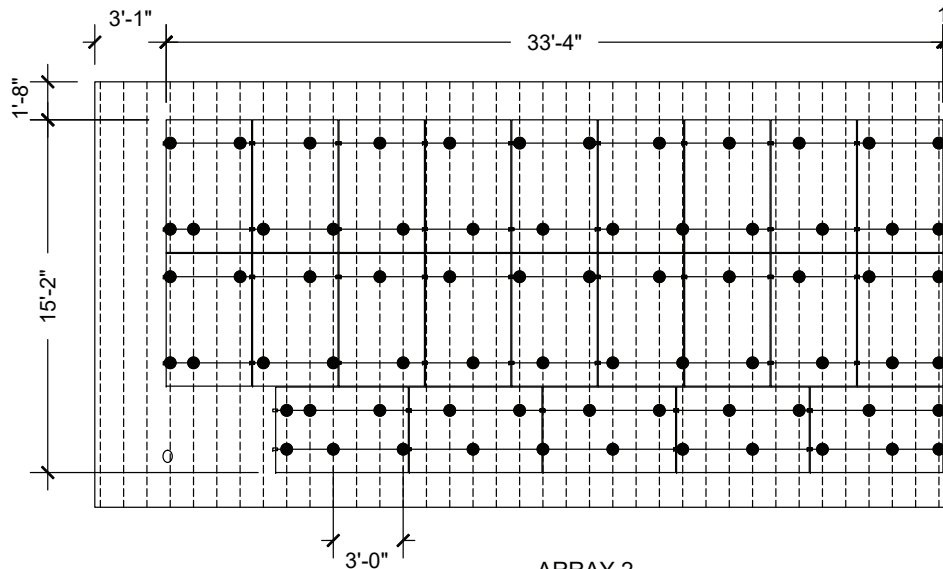
SITE PLAN

ROOF SECTION(S)





ROOF 1	ROOF MATERIAL - STANDING METAL SEAM RAFTER SIZE - 2"X6" O.C. SPACING - 16" MODULES - 10
ROOF 2	ROOF MATERIAL - STANDING METAL SEAM RAFTER SIZE - 2"X6" O.C. SPACING - 16" MODULES - 23



ARRAY 1
TILT - 13 DEG
AZIMUTH - 282 DEG



ARRAY 2
TILT - 40 DEG
AZIMUTH - 102 DEG

-  - CLAMP
-  - S-5-E
-  - IRONRIDGE XR-100 RAIL
-  - RAFTER

110 - TOTAL MOUNT

1 | ATTACHMENT PLAN

SCALE: 3/16"=1'-0"

CONTRACTOR



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53 WEBSTER ST,
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NY 11001

SYSTEM SIZE

DC SIZE: 13.860 KW DC-(STC)

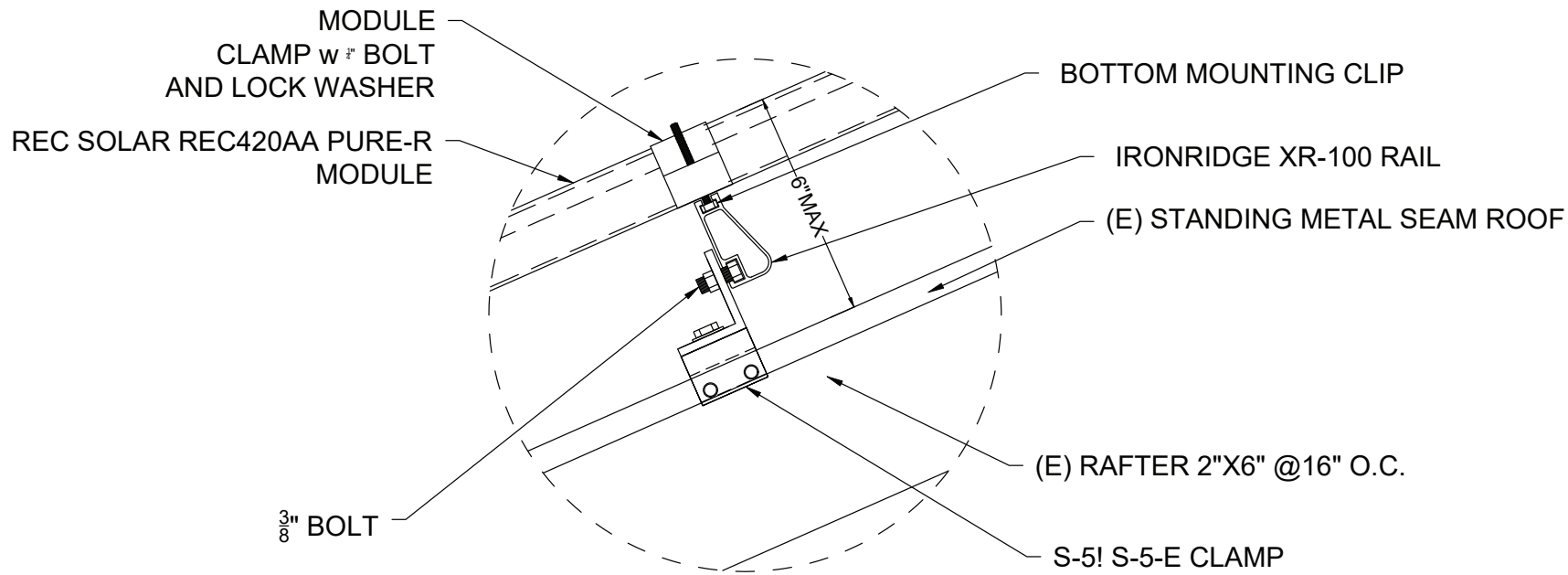


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PV-3

ATTACHMENT PLAN



CONTRACTOR



LONG ISLAND POWER SOLUTION
 2060 OCEAN AVE,
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PROJECT INFO & ADDRESS

MATT BODE
 53 WEBSTER ST,
 FLORAL PARK,
 NY 11001

SYSTEM SIZE
 DC SIZE: 13.860 KW DC-(STC)



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REVISION	

SIGNATURE

PV-3.1

STRUCTURAL PLAN

1 | STRUCTURAL PLAN
SCALE:NTS

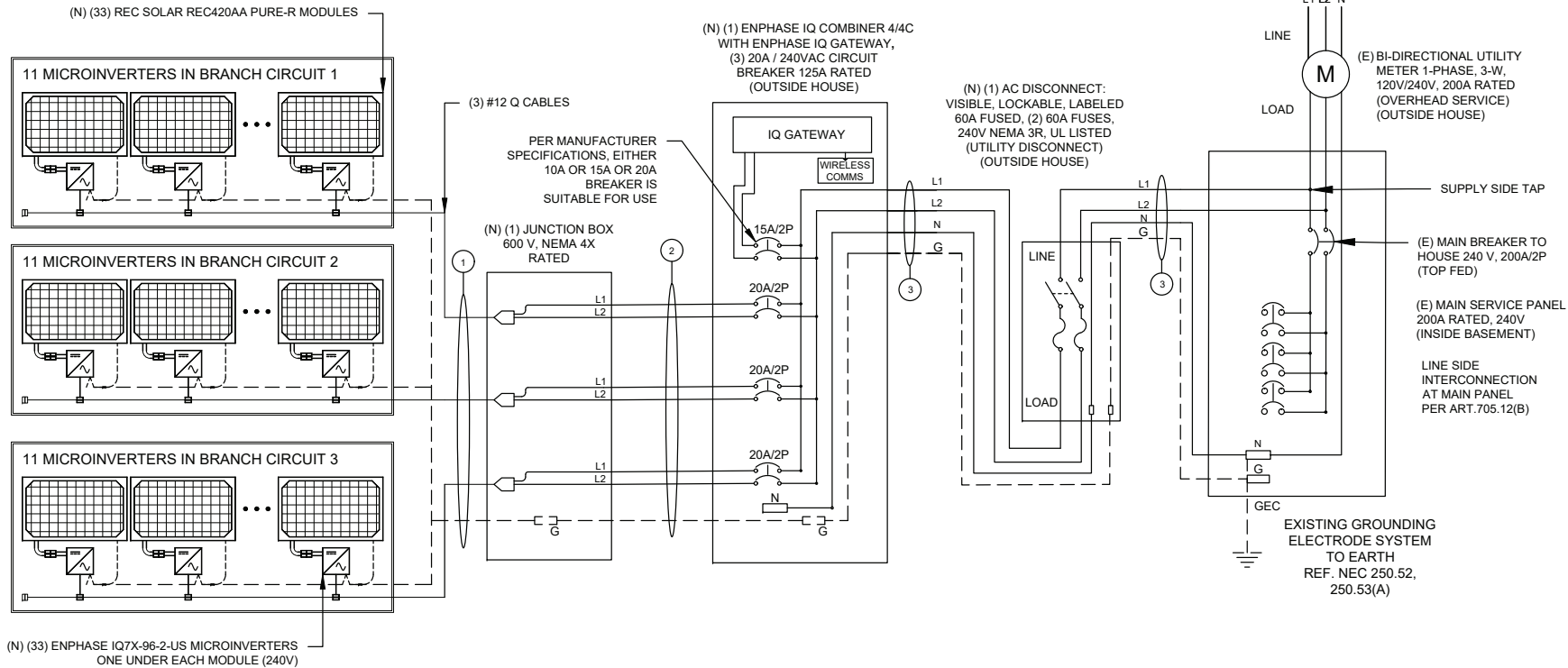
SOLAR MODULE SPECIFICATIONS

MANUFACTURER / MODEL #	REC SOLAR REC420AA PURE-R
VMP	50.0V
IMP	8.40A
VOC	59.4V
ISC	8.89A
TEMP. COEFF. VOC	-0.24%/°C
MODULE DIMENSION	68.1"L x 44.0"W x 1.2"D (In Inch)

INVERTER SPECIFICATIONS

MANUFACTURER / MODEL #	ENPHASE IQ7X-96-2-US MICROINVERTER
MIN/MAX DC VOLT RATING	33V MIN/ 79.5V MAX
MAX INPUT POWER	460W
NOMINAL AC VOLTAGE RATING	240V/ 211-264V
MAX AC CURRENT	1.31A
MAX MODULES PER STRING	12 MODULES
MAX OUTPUT POWER	320 VA

NOTE:
- ALL CONDUCTORS ARE COPPER UNLESS OTHERWISE NOTED.



	PHASE CONDUCTOR QTY, SIZE AND TYPE PER CONDUIT			NEUTRAL QTY, SIZE AND TYPE PER CONDUIT			GROUND CONDUCTOR QTY, SIZE AND TYPE PER CONDUIT			CONDUIT SIZE	CONDUIT TYPE
1	3	AWG #12	Q-CABLE	NA	NA	NA	1	AWG #6	BARE, COPPER EGC	N/A	FREE AIR
2	6	AWG #10	THWN-2, COPPER	NA	NA	NA	1	AWG #8	THWN-2, COPPER EGC	1"	PVC
3	2	AWG #6	THWN-2, COPPER	1	AWG #6	THWN-2, COPPER	1	AWG #8	THWN-2, COPPER EGC	1"	PVC
4	2	AWG #6	THWN-2, COPPER	1	AWG #6	THWN-2, COPPER	1	AWG #8	THWN-2, COPPER EGC	1"	PVC

CONTRACTOR



LONG ISLAND POWER SOLUTION
2060 OCEAN AVE,
RONKONKOMA, NY, 11779
(631) 348-0001

PROJECT INFO & ADDRESS

MATT BODE
**53 WEBSTER ST,
FLORAL PARK,
NY 11001**

SYSTEM SIZE
DC SIZE: 13.860 KW DC-(STC)



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DATE	3/21/2024
REVISION	
SIGNATURE	
PV-4	

ELECTRICAL

PERCENT OF VALUES	NUMBER OF CURRENT CARRYING CONDUCTORS IN EMT
0.80	4-6
0.70	7-9
0.50	10-20

AMBIENT TEMPERATURE SPECS	
RECORD LOW TEMP	-14°
AMBIENT TEMP (HIGH TEMP 2%)	31°
CONDUIT HEIGHT	7/8"
ROOF TOP TEMP	53°
CONDUCTOR TEMPERATURE RATE	90°
MODULE TEMPERATURE COEFFICIENT OF Voc	-0.24% °C

CONTRACTOR



LONG ISLAND POWER SOLUTION
2060 OCEAN AVE,
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(631) 348-0001

PROJECT INFO & ADDRESS

MATT BODE
53 WEBSTER ST,
FLORAL PARK,
NY 11001

SYSTEM SIZE
 DC SIZE: 13.860 KW DC-(STC)



CALCULATIONS:

1. CURRENT CARRYING CONDUCTOR

(A) BEFORE IQ COMBINER PANEL

AMBIENT TEMPERATURE - (31)°C ...NEC 310.15(B)(3)(c)
TEMPERATURE DERATE FACTOR - 0.94 ...NEC 310.15(B)(2)(a)
GROUPING FACTOR - 0.8...NEC 310.15(B)(3)(a)

CONDUCTOR AMPACITY

= (INV O/P CURRENT) x 1.25 / A.T.F / G.F ...NEC 690.8(B)
= [(11 x 1.31) x 1.25] / [0.94 x 0.8]
= 23.95A

SELECTED CONDUCTOR - #10 THWN-2 ...NEC 310.15(B)(16)

2. PV OVER CURRENT PROTECTION ...NEC 690.9(B)

= TOTAL INVERTER O/P CURRENT x 1.25
= (33 x 1.31) x 1.25 = 54.04 A

(B) AFTER IQ COMBINER PANEL

TEMPERATURE DERATE FACTOR - 0.94
GROUPING FACTOR - 1

CONDUCTOR AMPACITY

= (TOTAL INV O/P CURRENT) x 1.25 / 0.94/ 1 ...NEC 690.8(B)
= [(33 x 1.31) x 1.25] / [0.94 x 1]
= 57.49 A

SELECTED CONDUCTOR - #6 THWN-2 ...NEC 310.15(B)(16)

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DATE	3/21/2024
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SIGNATURE

PV-4.1

**ELECTRICAL
 CALCULATIONS**

1 **WARNING**
ELECTRIC SHOCK HAZARD
 IF A GROUND FAULT IS INDICATED NORMALLY GROUNDED CONDUCTORS MAY BE UNGROUNDED AND ENERGIZED

2 **WARNING**
ELECTRIC SHOCK HAZARD
 THE DC CONDUCTORS OF THIS PHOTOVOLTAIC SYSTEM ARE UNGROUNDED AND MAY BE ENERGIZED

3 **WARNING**
ELECTRIC SHOCK HAZARD
 DO NOT TOUCH TERMINALS TERMINALS ON BOTH LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION

4 **WARNING - Electric Shock Hazard**
 No user serviceable parts inside
 Contact authorized service provider for assistance.

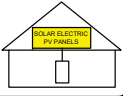
5 **WARNING: DUAL POWER SOURCE**
 SECOND SOURCE IS PHOTOVOLTAIC SYSTEM

6 **WARNING: PHOTOVOLTAIC POWER SOURCE**

7 **WARNING**
 INVERTER OUTPUT CONNECTION DO NOT RELOCATE THIS OVERCURRENT DEVICE

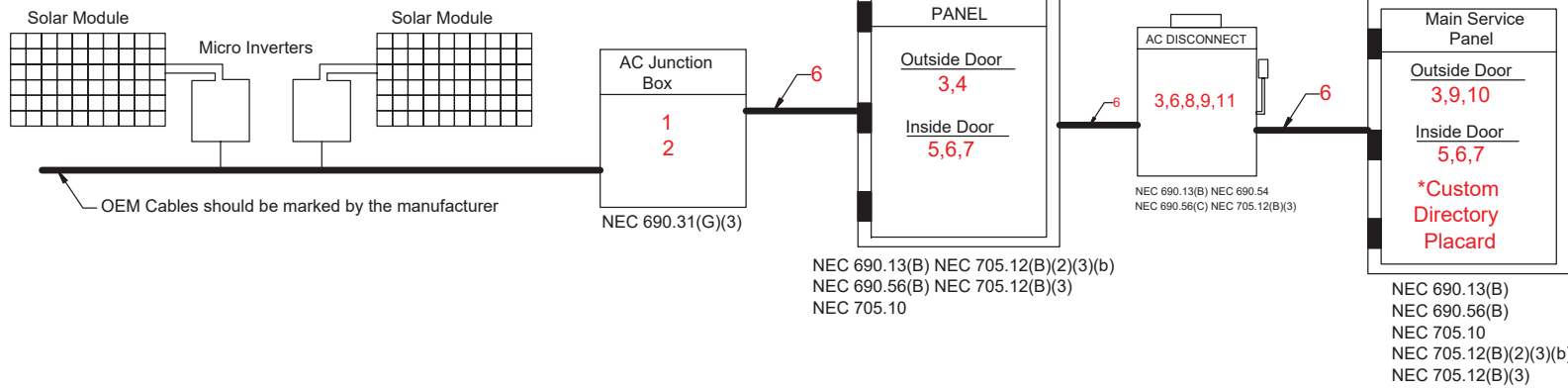
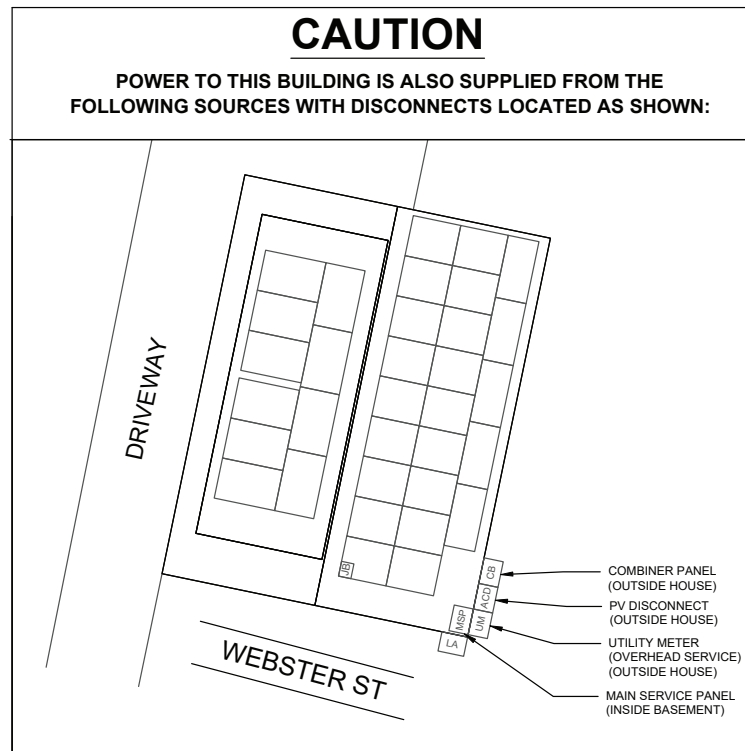
8 **CAUTION: SOLAR ELECTRIC SYSTEM CONNECTED**

9 **SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN**
 TURN RAPID SHUTDOWN SWITCH TO THE "OFF" POSITION TO SHUT DOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN THE ARRAY



10 **CAUTION: SOLAR CIRCUIT**

11 **PHOTOVOLTAIC SYSTEM AC DISCONNECT**
 RATED AC OUTPUT CURRENT 43.23 AMPS
 NOMINAL OPERATING AC VOLTAGE 240 VOLTS



CONTRACTOR



LONG ISLAND POWER SOLUTION
 2060 OCEAN AVE,
 RONKONKOMA, NY, 11779
 (631) 348-0001

PROJECT INFO & ADDRESS

MATT BODE

53 WEBSTER ST,
 FLORAL PARK,
 NY 11001

SYSTEM SIZE

DC SIZE: 13.860 KW DC-(STC)



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DATE	3/21/2024
REVISION	

SIGNATURE

PV-5

LABELS



FRONT OF HOUSE

PANELS ARE LOCATED ON THE EAST AND WEST ROOFS,
NOT VISIBLE FROM FRONT OF HOME

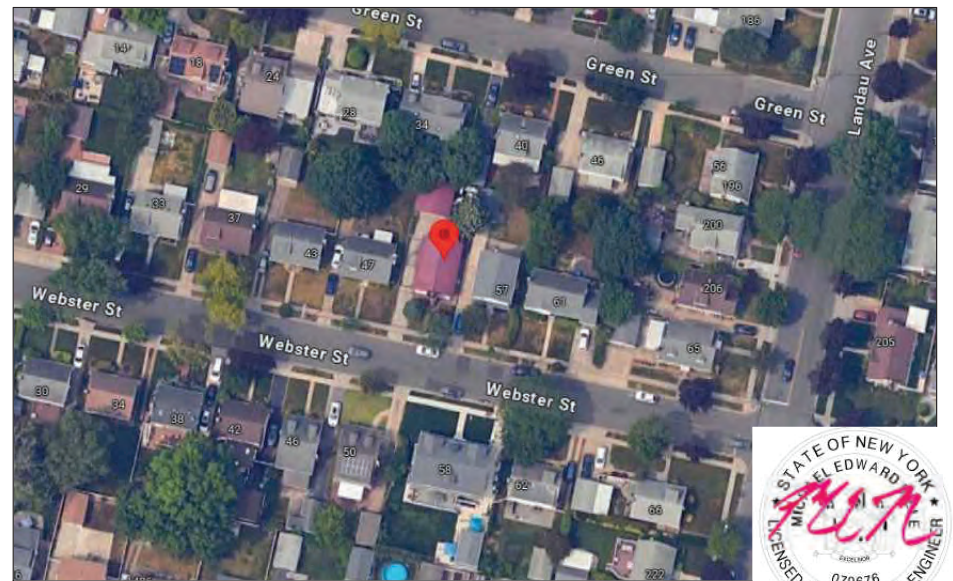


VIEW FROM LEFT SIDE OF HOUSE

DUE TO SLOPE OF ROOF, WESTERN ARRAY PANELS
ARE NOT VISIBLE FROM STREET

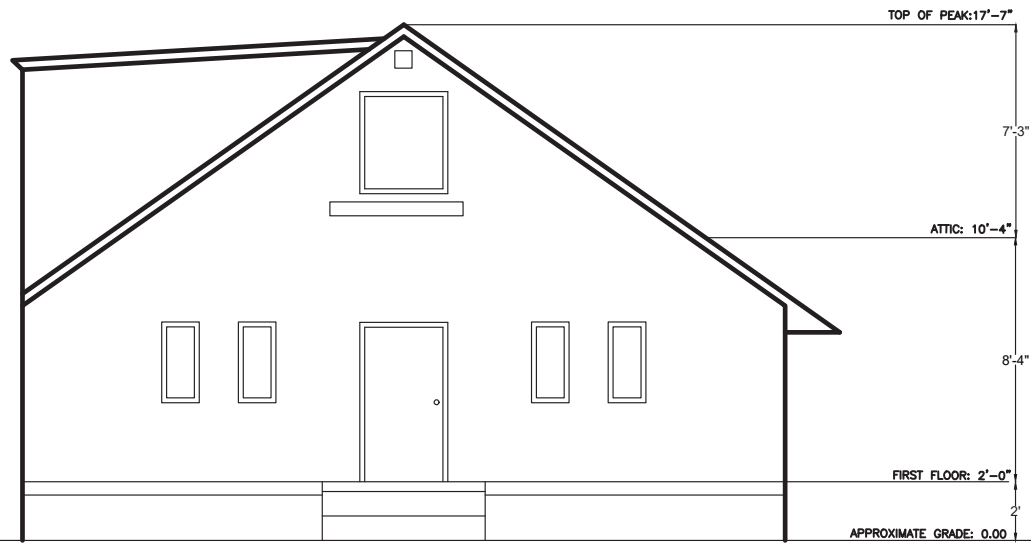


VIEW FROM RIGHT SIDE OF HOUSE EASTERN ARRAY W/ 23 PANELS



AERIAL MAP

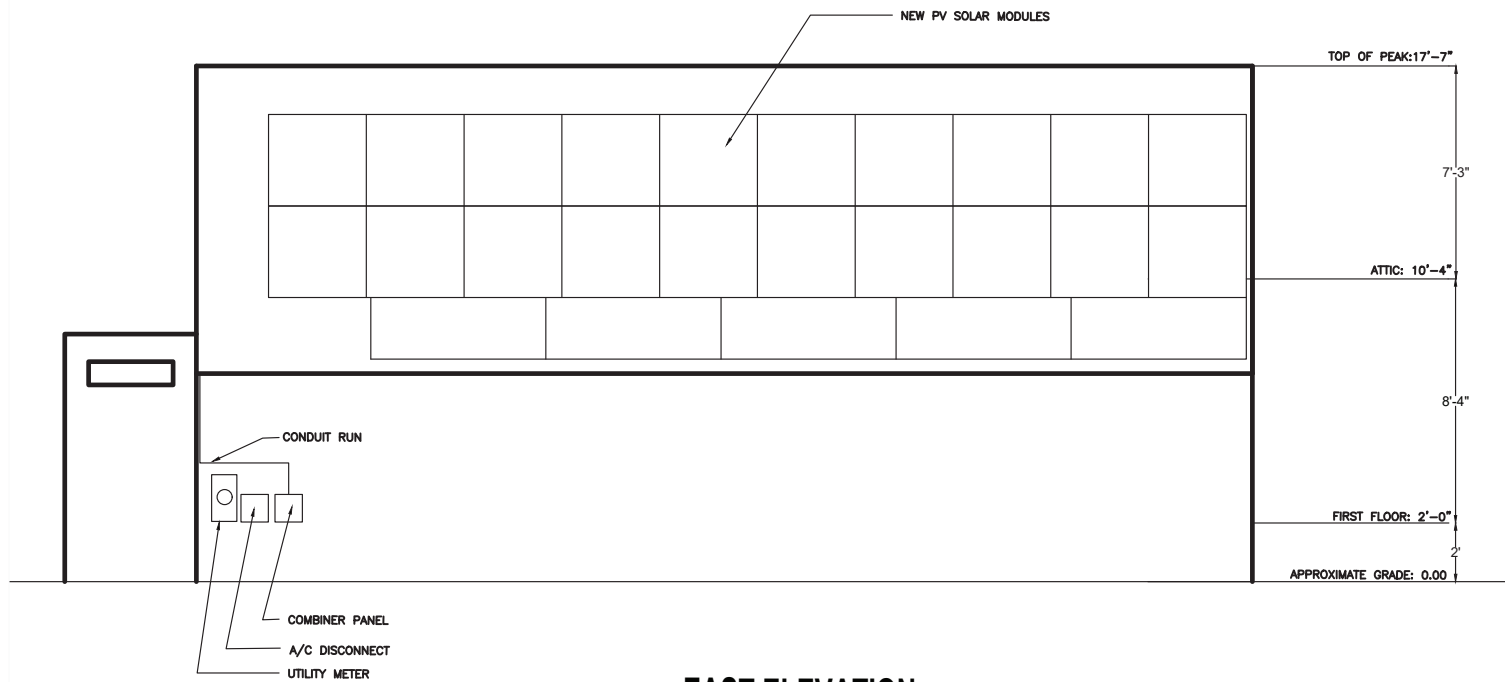




SOUTH ELEVATION

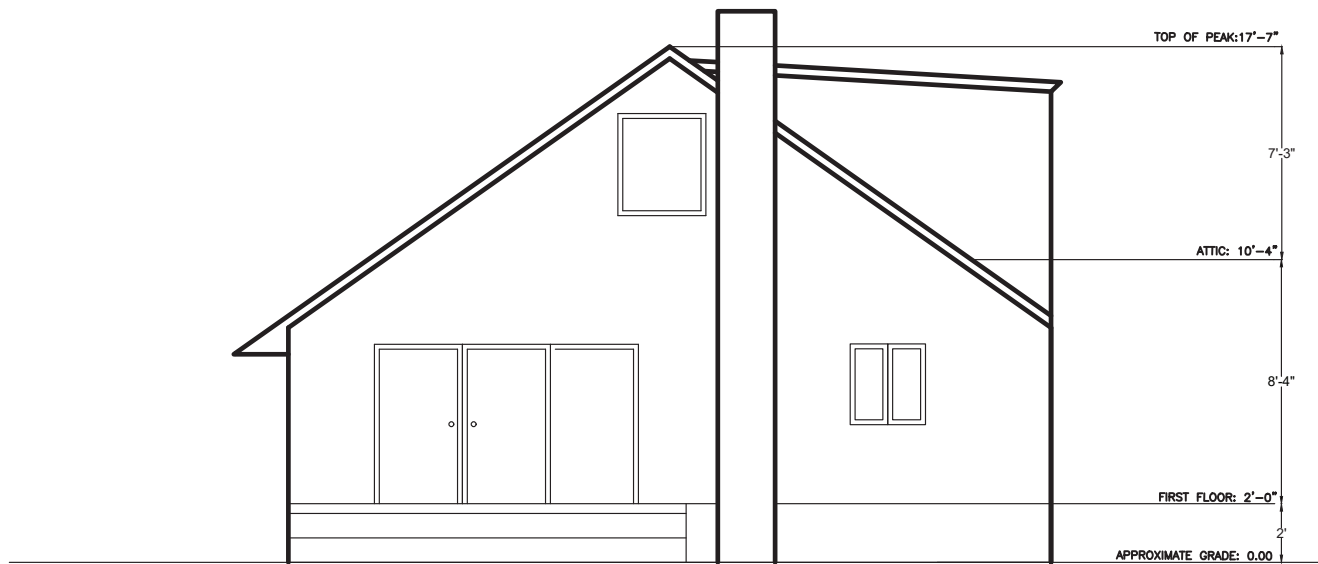
SCALE: $\frac{1}{4}'' = 1'-0''$





EAST ELEVATION
SCALE: 1/4" = 1'-0"

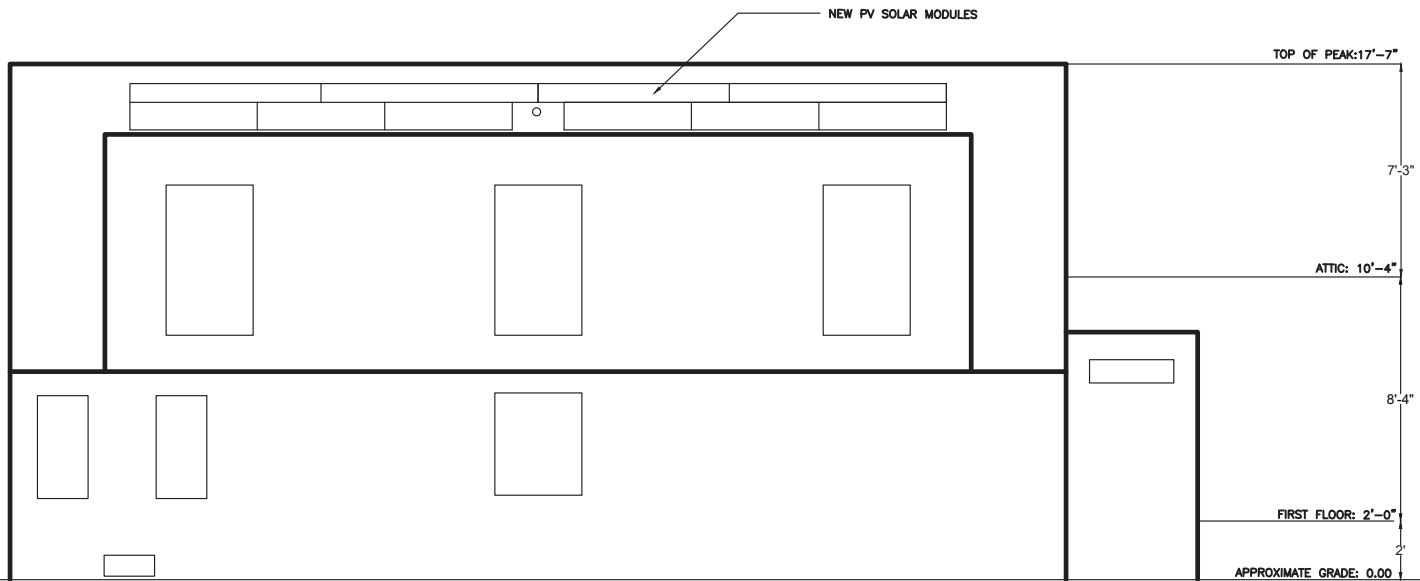




NORTH ELEVATION

SCALE: $\frac{1}{4}" = 1'-0"$





WEST ELEVATION
SCALE: $\frac{1}{4}'' = 1'-0''$



SOLAR'S MOST TRUSTED



REC ALPHA PURE-R SERIES PRODUCT SPECIFICATIONS

COMPACT PANEL SIZE

9 A PANEL CURRENT
COMPATIBLE WITH MLPE

430 WP
223 W/M²



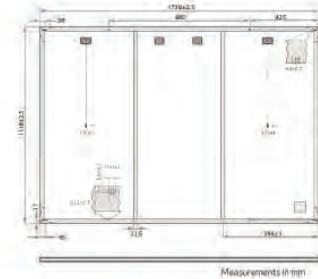
ELIGIBLE



REC ALPHA PURE-R SERIES PRODUCT SPECIFICATIONS



GENERAL DATA	
Cell type:	80 half-cut REC heterojunction cells with lead-free, gapless technology
Glass:	3.2 mm solar glass with anti-reflective surface treatment in accordance with EN 12130
Backsheet:	Highly resistant polymer (black)
Frame:	Anodized aluminum (black)
Junction box:	4-pair 1:4 bypass diodes, lead-free IP68 rated, in accordance with IEC 62730
Connectors:	5-pair MC4 PV-KBT4/KST4 (4 mm ²) in accordance with IEC 62852, IP68 only when connected
Cable:	4 mm ² solar cable 1.7 + 1.7 m in accordance with EN 50618
Dimensions:	1730 x 1118 x 30 mm (L93 mm)
Weight:	21.5 kg
Origin:	Made in Singapore



	ELECTRICAL DATA	Product Code: RECxxAA Pure-R			
		RECxxAA Pure-R	RECxxAA Pure-R	RECxxAA Pure-R	
STC	Power Output - P _{max} (Wp)	410	420	430	
	Watt Class Sorting - (W)	0/+10	0/+10	0/+10	
	Nominal Power Voltage - V _{mp} (V)	49.4	50.0	50.5	
	Nominal Power Current - I _{mp} (A)	8.30	8.40	8.52	
	Open Circuit Voltage - V _{oc} (V)	59.2	59.4	59.7	
	Short Circuit Current - I _{sc} (A)	8.81	8.89	8.97	
	Power Density (W/m ²)	21.2	21.8	22.3	
	Panel Efficiency (%)	21.2	21.8	22.3	
	NMOT	Power Output - P _{max} (Wp)	312	320	327
		Nominal Power Voltage - V _{mp} (V)	46.6	47.1	47.6
Nominal Power Current - I _{mp} (A)		6.70	6.78	6.89	
Open Circuit Voltage - V _{oc} (V)		56.8	56.0	56.3	
Short Circuit Current - I _{sc} (A)		7.12	7.18	7.24	

Values at standard test conditions (STC: air mass AM1.5, irradiance 1000 W/m², temperature 25°C) based on a production spread with a tolerance of P_{max}, V_{mp} & I_{sc} ±3% within one watt class. Nominal module operating temperature (NMOT): air mass AM 1.5, irradiance 800 W/m², temperature 20°C, wind speed 1 m/s. *Where xxx indicates the nominal power class (P_{max}) at STC above.

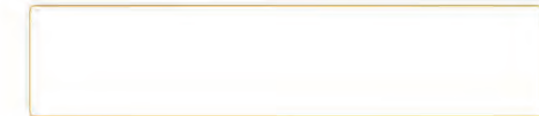
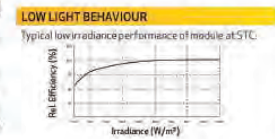
MAXIMUM RATINGS	WARRANTY
Operational temperature:	-40...+85°C
System voltage:	1000V
Test load (front):	+7000 Pa (713 kg/m ²)
Test load (rear):	-4000 Pa (407 kg/m ²)
Series fuse rating:	25A
Reverse current:	25A
*See installation manual for mounting instructions (design load = test load / 1.5 safety factor)	
Installed by an REC Certified Solar Professional	No Yes Yes
System Size	All <25 kW 25-500 kW
Product Warranty (yrs)	20 25 25
Power Warranty (yrs)	25 25 25
Labor Warranty (yrs)	0 25 10
Power in Year 1	98% 98% 98%
Annual Degradation	0.25% 0.25% 0.25%
Power in Year 25	92% 92% 92%
*See warranty documents for details. Conditions apply.	

CERTIFICATIONS (PENDING)	
IEC 61215:2016, IEC 61730:2016, UL 61730	
IEC 62604	PID
IEC 61701	Salt Mist
IEC 62716	Ammonia Resistance
ISO 11925-2	Ignitability (EN 13501-1 Class E)
IEC 62782	Dynamic Mechanical Load
IEC 61215-2:2016	Hailstone (25mm)
IEC 62321	Lead-free acc. to RoHS EU 863/2015
ISO 14001, ISO 9001, IEC 45001, IEC 62941	



TEMPERATURE RATINGS*	
Nominal Module Operating Temperature:	+44°C (+2°C)
Temperature coefficient of P _{max} :	-0.26 %/°C
Temperature coefficient of V _{oc} :	-0.24 %/°C
Temperature coefficient of I _{sc} :	0.04 %/°C
*The temperature coefficients is stated as linear values	

DELIVERY INFORMATION	
Panels per pallet:	33
Panels per 40 ft GP high cube container:	858 (26 pallets)



Founded in 1996, REC Group is an international pioneering solar energy company dedicated to empowering consumers with clean, affordable solar power. As Solar's Most Trusted, REC is committed to high quality, innovation, and a low carbon footprint in the solar materials and solar panels' manufacturing. Headquartered in Norway with operational headquarters in Singapore, REC also has regional hubs in North America, Europe, and Asia-Pacific.



CONTRACTOR



LONG ISLAND POWER SOLUTION
2060 OCEAN AVE,
RONKONKOMA, NY, 11779
(631) 348-0001

PROJECT INFO & ADDRESS
MATT BODE
53 WEBSTER ST,
FLORAL PARK,
NY 11001

SYSTEM SIZE
DC SIZE: 13.860 KW DC-(STC)

DRAWN BY	AS
DATE	3/21/2024
REVISION	
SIGNATURE	

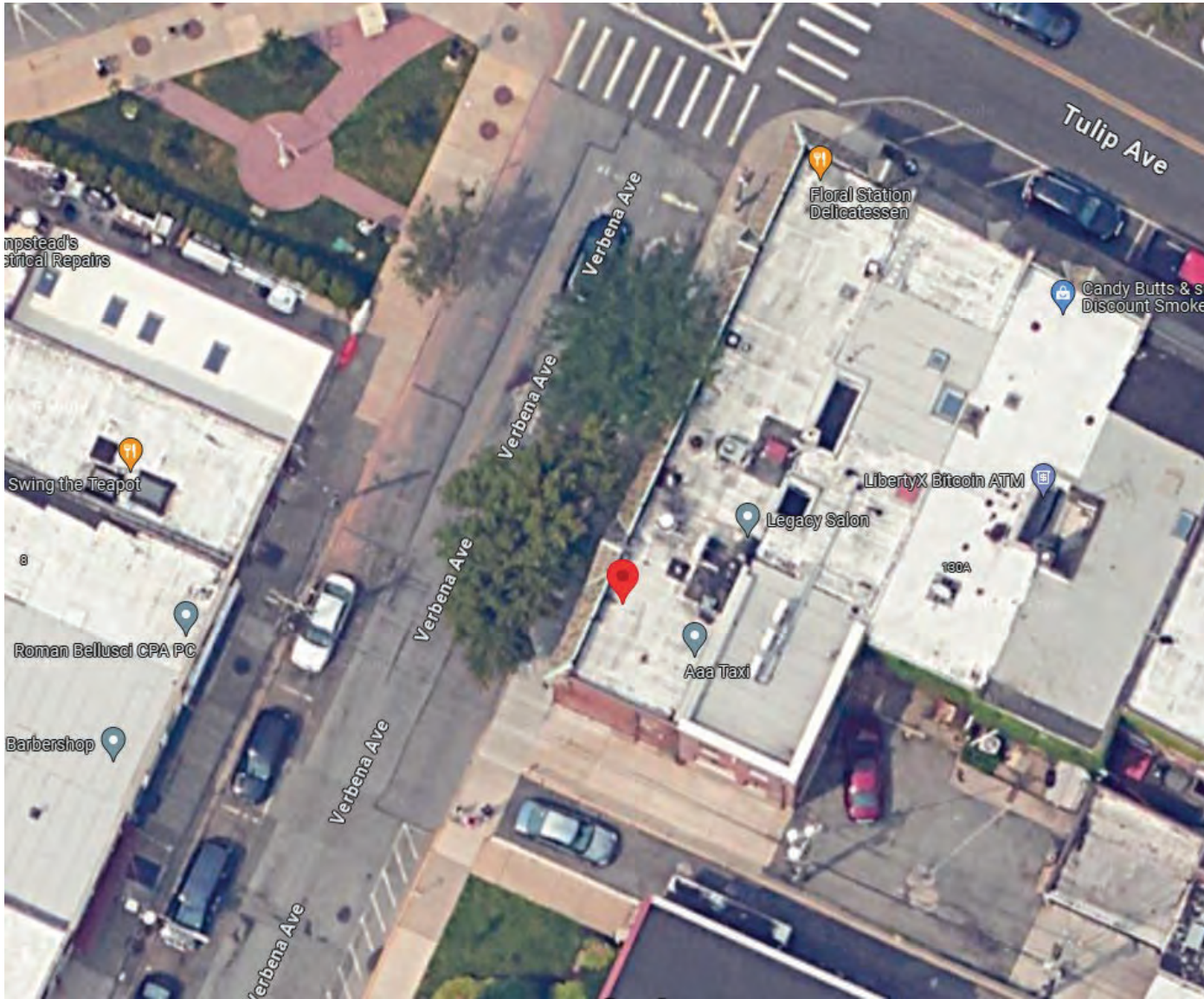
PV-6
RESOURCE DOCUMENT

Ref: RM-05-1-08-Rev: A14-22 Specifications subject to change without notice.

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
10	9:35 p.m.	7	Verbena Avenue	Sign	Shalini Tiwari	Dezant Signs Inc.



7 Verbena Avenue (Aerial View)





6 ft.



**BODY BEAUTY
AESTHETICS**

2 ft.

1/2" acrylic letters

1" to 2" deep backer panel

DeZant

Signs & Printing

Design • Fabrication • Installation

Awnings, Light Boxes, Channel Letters,

Job-Site Signs, Wood Signs,

Truck Lettering & more

516-771-9241

32 Cherry Lane Floral Park, NY 11001

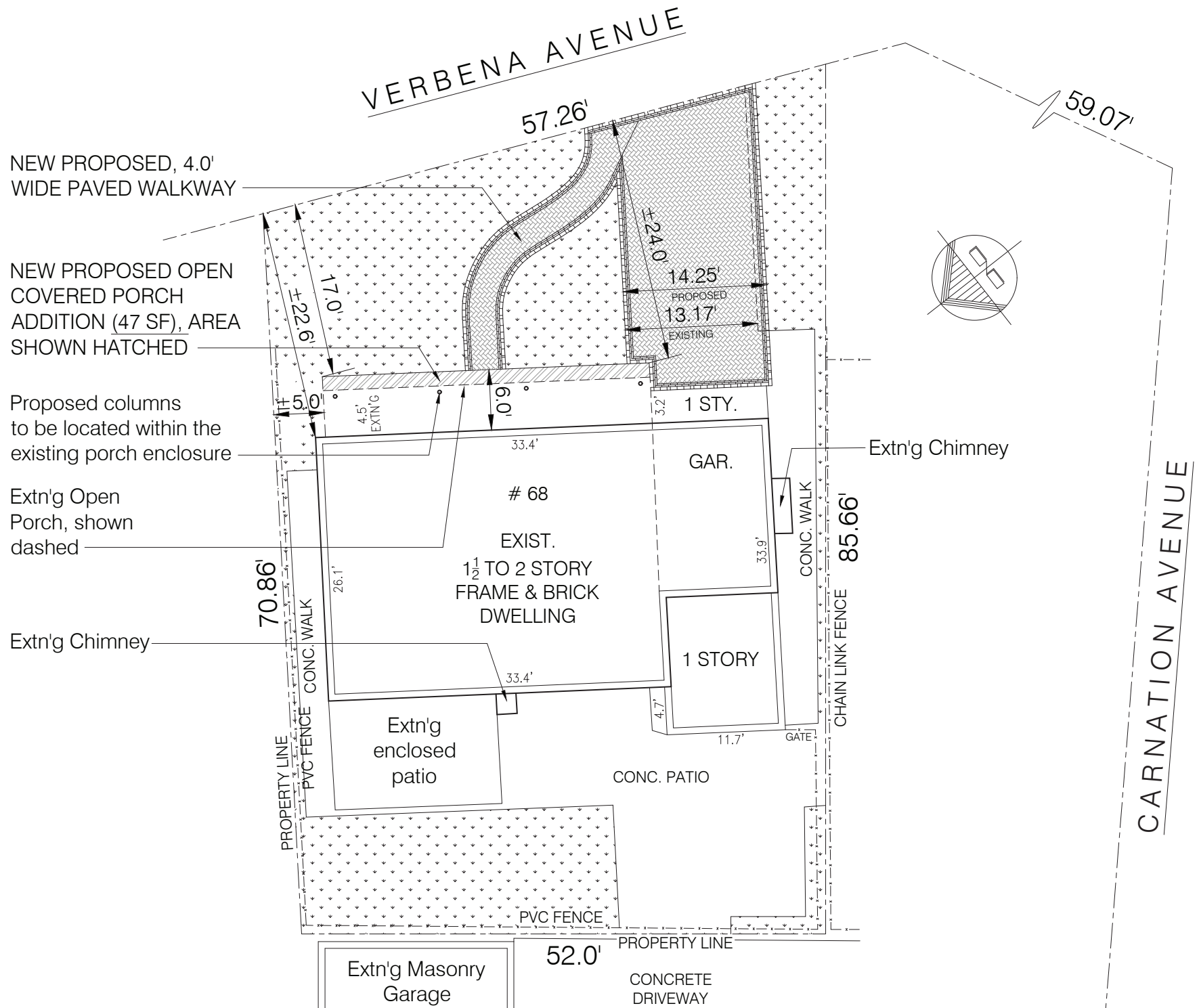
www.dezantsigns.com

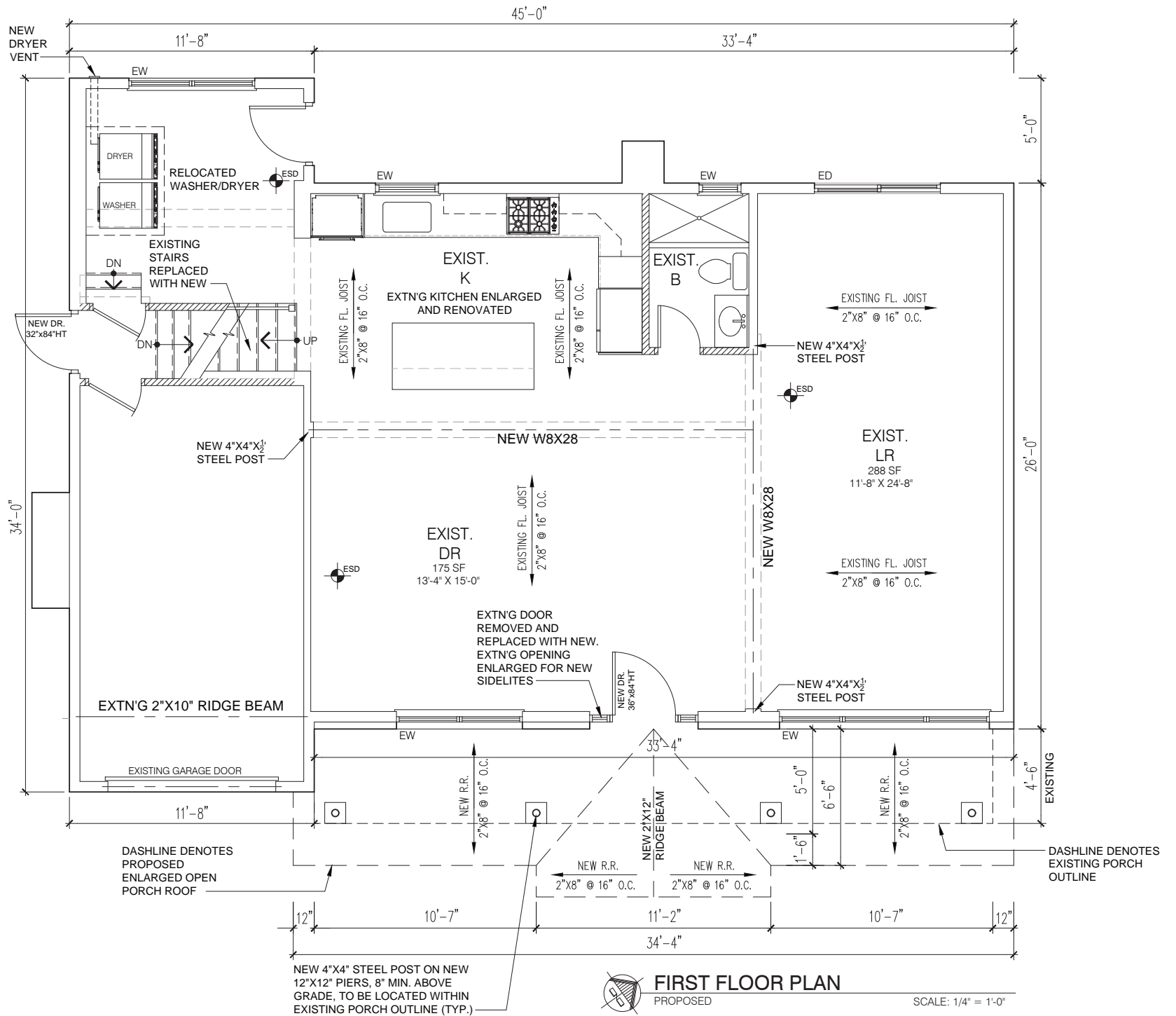
Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
11	9:40 p.m.	68	Verbena Avenue	Front Façade Renovation	Fernando Urrea	Morphitecture Design Studio

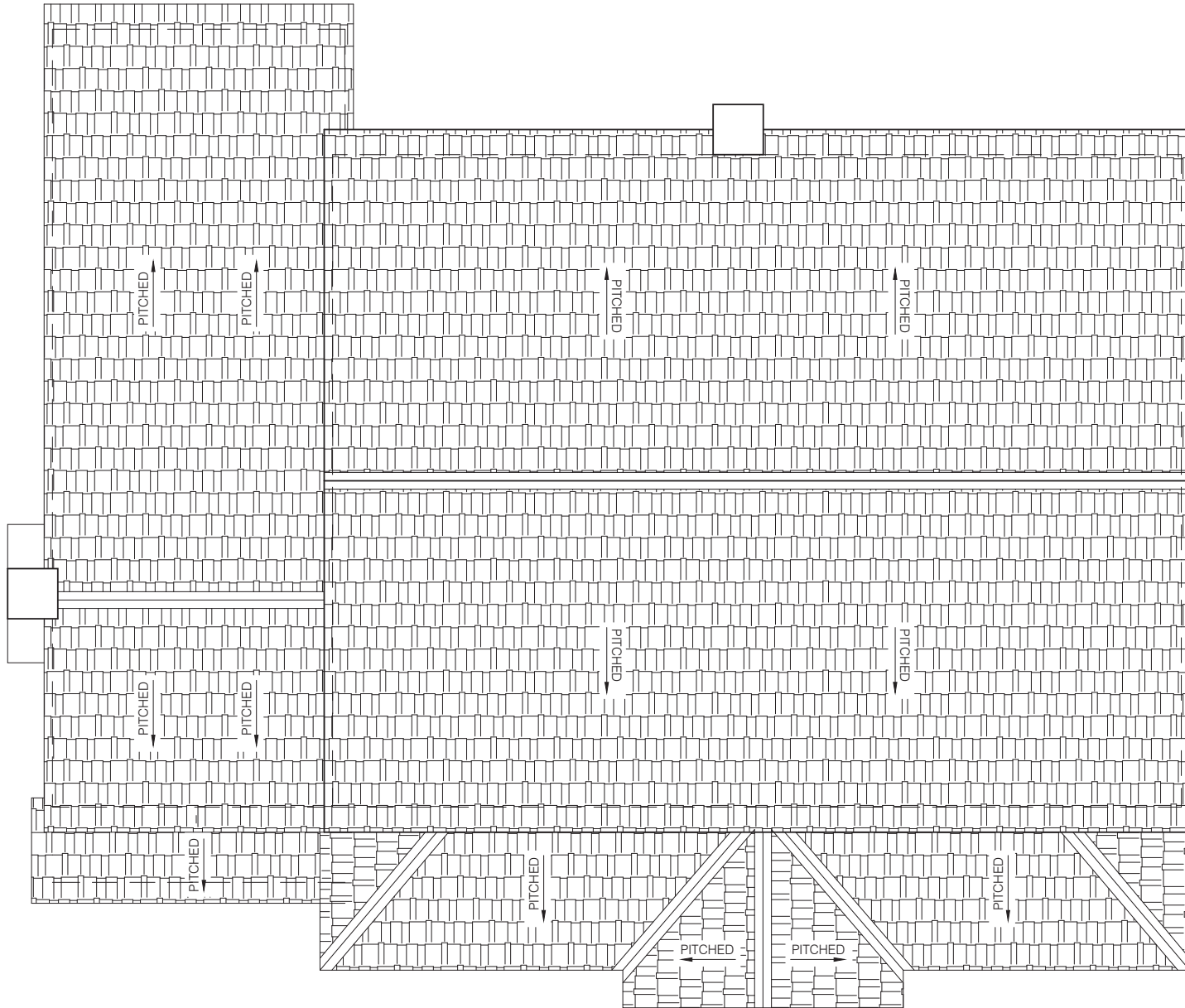




PLOT PLAN

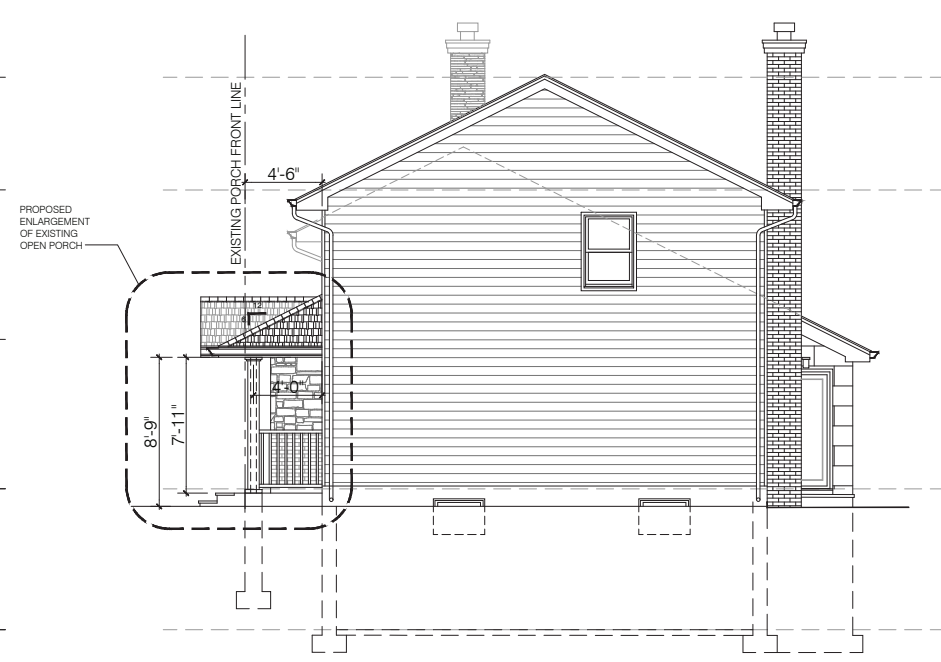




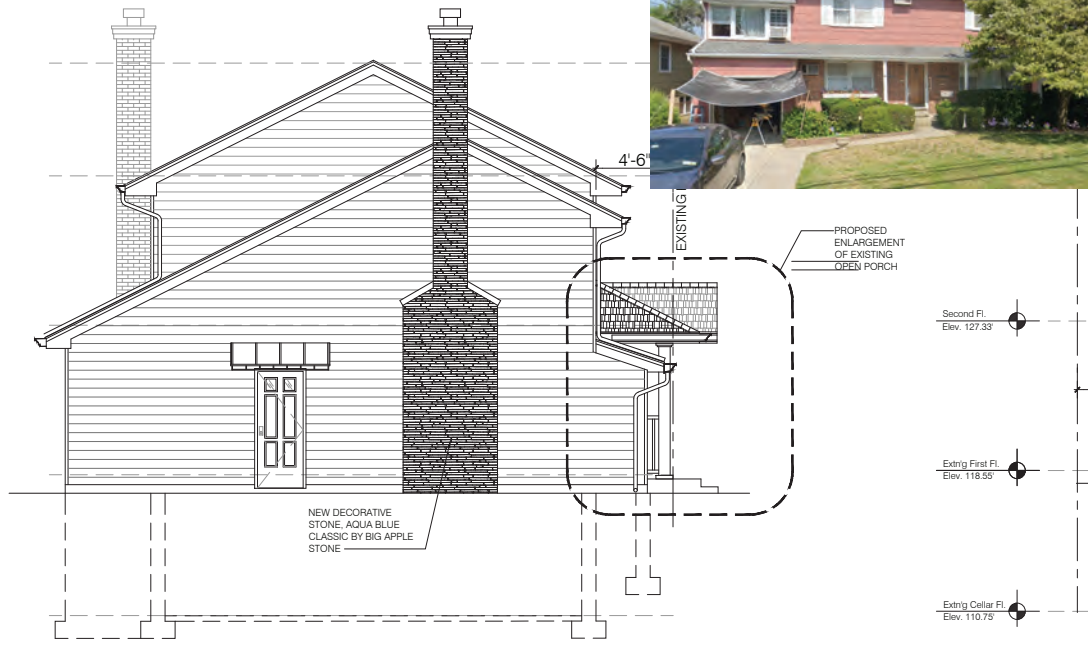




FRONT BUILDING ELEVATION
PROPOSED SCALE: 1/4" = 1'-0"



RIGHT SIDE BUILDING ELEVATION
PROPOSED SCALE: 1/4" = 1'-0"



LEFT SIDE BUILDING ELEVATION
PROPOSED SCALE: 1/4" = 1'-0"

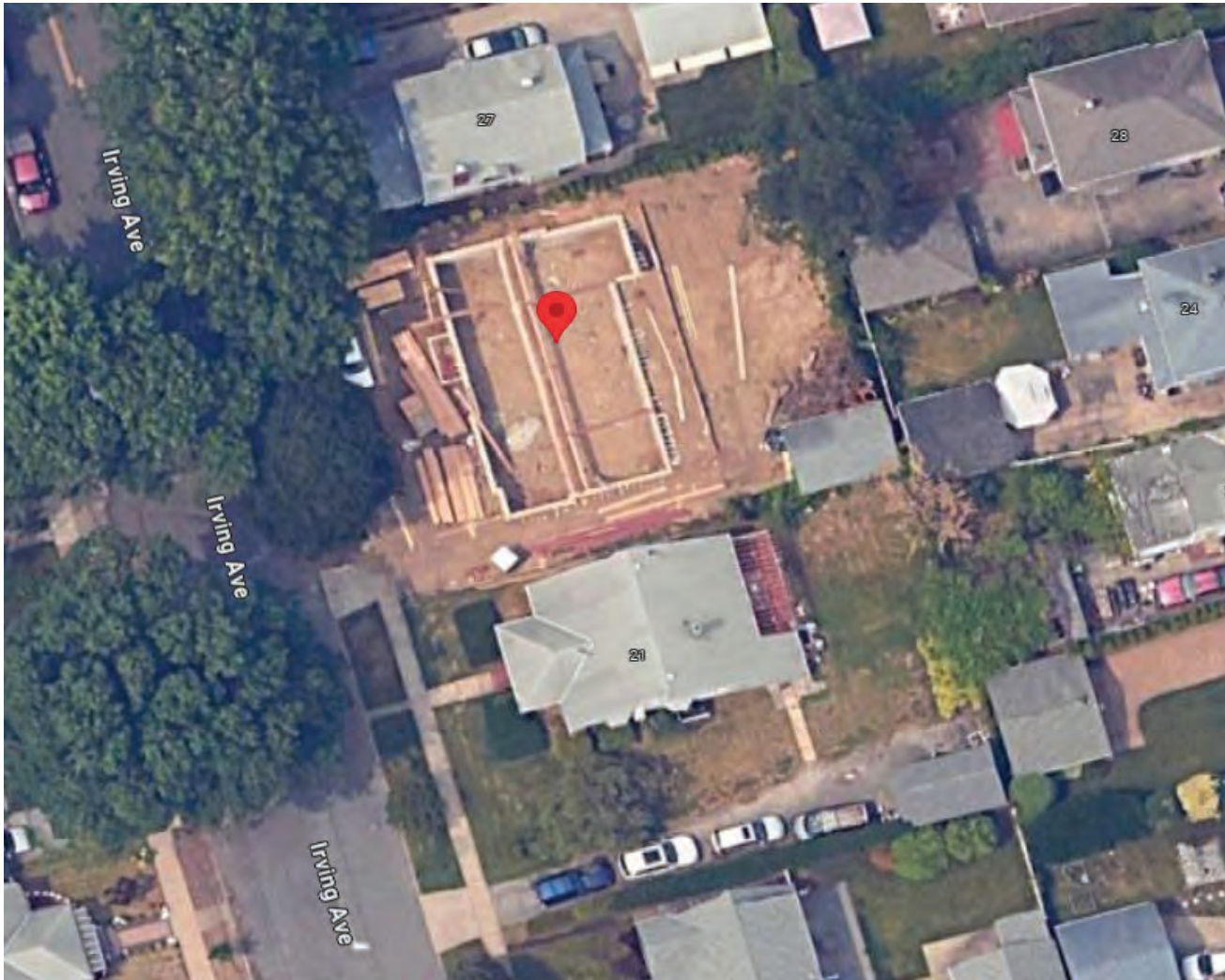


REAR BUILDING ELEVATION
PROPOSED SCALE: 1/4" = 1'-0"

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
12	9:45 p.m.	25	Irving Avenue	Re-submission – Front Facade	Shailendra Sah	John Schimenti

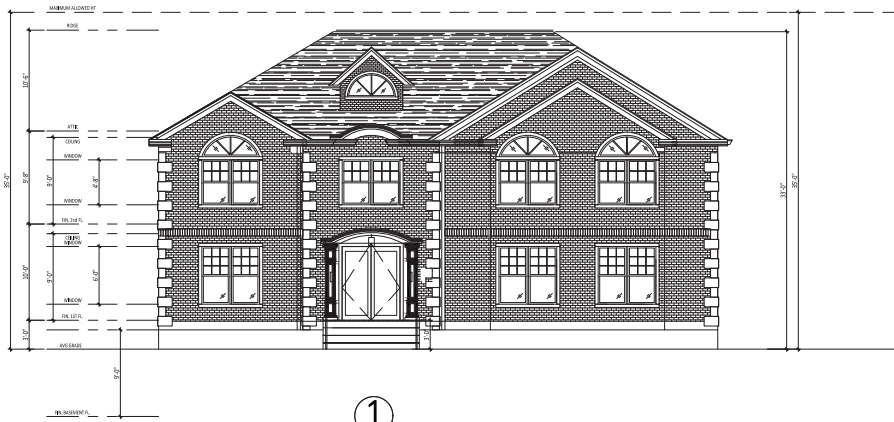


25 Irving Avenue (Aerial View)

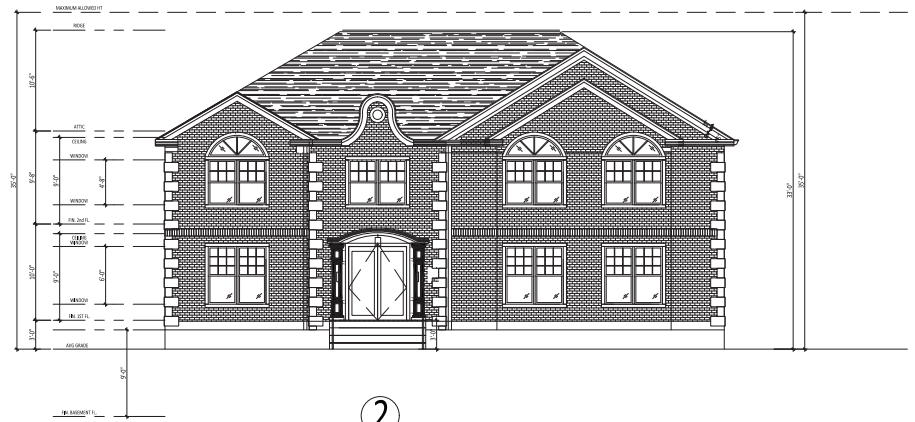


Apr 9, 2024 at 2:01:59 PM
99° E
25 Irving Ave

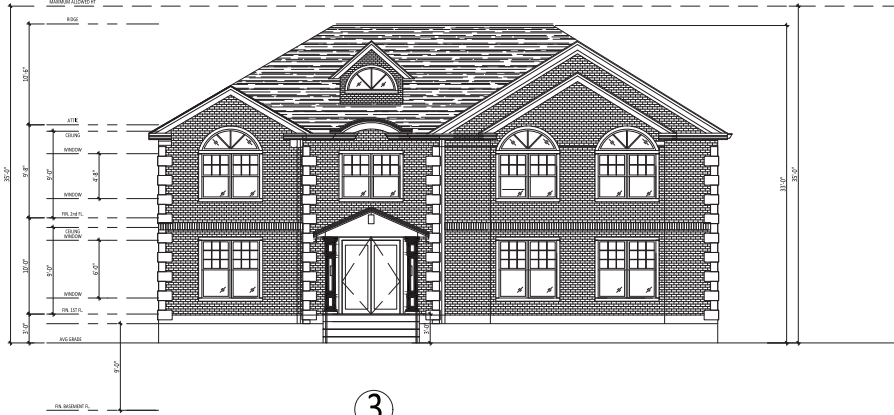




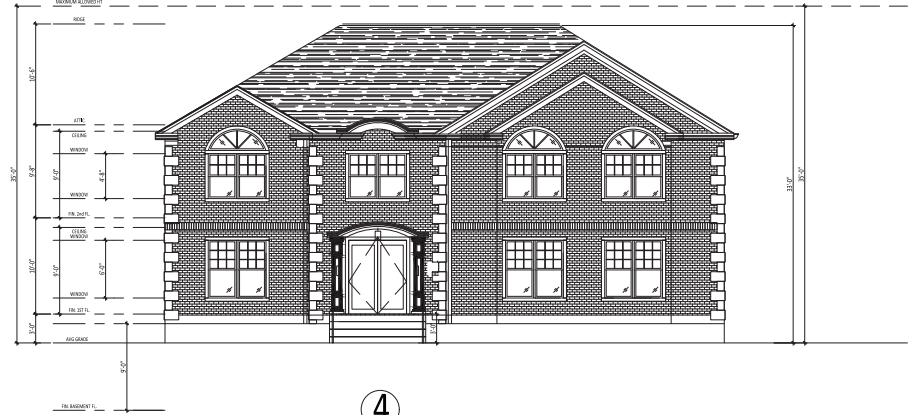
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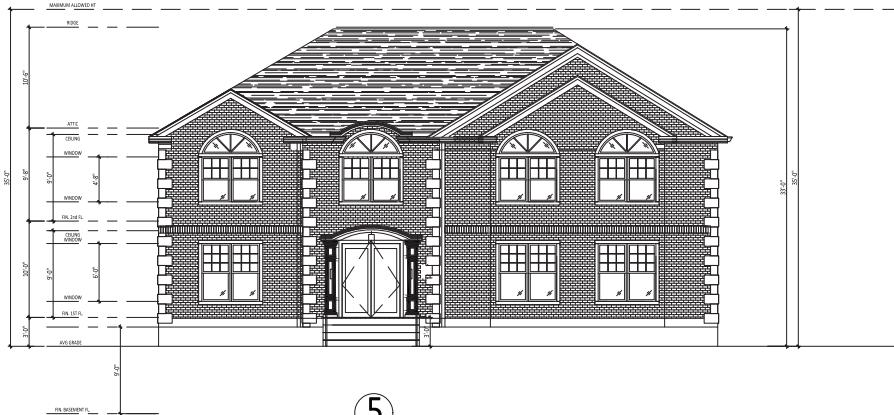
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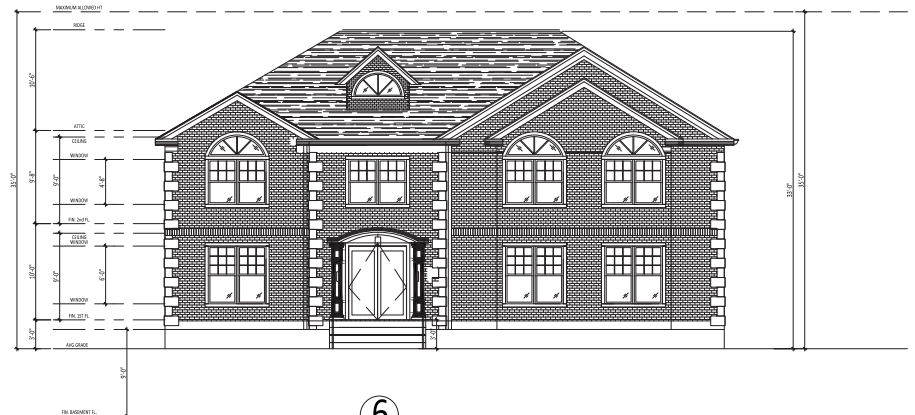
③



④



⑤



⑥

○ ELEVATION AT FRONT
SCALE: 1/8"=1'-0"