



BOARD OF ZONING APPEALS

Board of Zoning Appeals Members

Christopher Downes, Chairman

Dennis McEnery

Gary Parisi

Indra Sanichar

Mary Ann Cuite

John Ryan, Esq. Legal Counsel

Renee Marcus, AIA – Superintendent of Buildings

Margaret Fowler, Acting Secretary

January 8, 2025

8:00 pm

Village Hall Court Room

Case	Building Number	Street	Sec / Blk / Lot	Owner / Applicant	Description
1	34	Depan Avenue	32 / 76 / 139-140	Marisa Mari	Fence
2	106	Emerson Avenue	8 / 86 / 23-24	Richard Schaffer	Maintain Ductless AC
3	37	Roger Place	32 / 50 / 74-75	Alex Suazo & Rosemary Espinal	Maintain Inground Pool and Accessory Structure

Questions about the projects can be emailed to BZA@FPVillage.org prior to the meeting to allow for the Village and Applicant to be prepared with answers

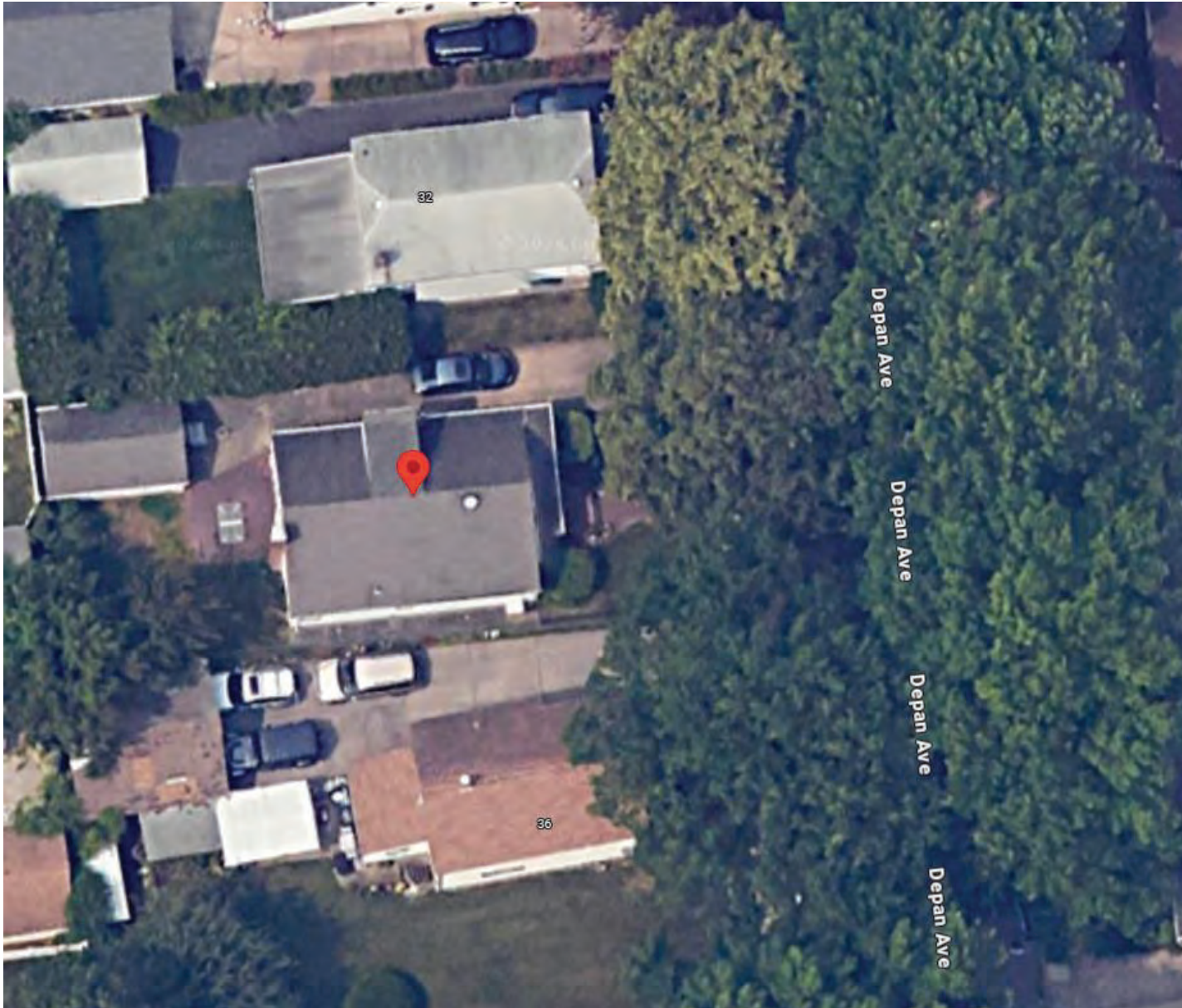
Supporting documents will be posted to the Board of Zoning Appeals web page at least 24 hours prior to the meeting.

Click [here](#) for the BZA webpage

Case	Building Number	Street	Sec / Blk / Lot	Owner / Applicant	Description
1	34	Depan Avenue	32 / 76 / 139-140	Marisa Mari	Fence



34 Depan Avenue (Aerial View)



LEGAL NOTICE

NOTICE OF PUBLIC HEARING
INC. VILLAGE OF FLORAL PARK, NY

NOTICE IS HEREBY GIVEN that the Board of Appeals of the Incorporated Village of Floral Park, will hold a public hearing in the Village Hall, No. 1 Floral Boulevard, Floral Park, New York on Wednesday, January 8, 2025 at 8:00 p.m. relative to the following application:

Application of Marisa Mari, owner of 34 Depan Avenue, Floral Park, NY 11001 for a variance § 99-13. (B.) (1) In residential districts, a fence not exceeding five feet in height shall be permitted on the rear lot line. Fencing for all other lot lines shall not exceed four feet in height and in no case extend nearer to the street than the front line of the dwelling. All fences shall be of open construction. Applicant seeks a variance to maintain a five-foot fence on the side lot lines.

This application is made subject to the provisions of Article IX, Section 99-61, of the Zoning Ordinance of the Incorporated Village of Floral Park.

The property which said variance is applied for is located 231.8 feet south of Hitchcock Avenue on the west side of Depan Avenue and known as 34 Depan Avenue, Section 32, Block 76, Lot(s) 139, 140 on the Nassau County Land and Tax Map.

A copy of the application is on file in the Public Works/Building Department facility located at the foot of Stewart Street in the Village of Floral Park and may be examined by any persons interested therein during business hours, Monday through Friday, inclusive, except legal holidays from 8:30 a.m. to 4:00 p.m.

NOW TAKE NOTICE, that all parties in interest and citizens will be given the opportunity to be heard at the aforesaid time and place.

BY ORDER OF THE BOARD OF APPEALS
INCORPORATED VILLAGE OF FLORAL PARK, NY
Margaret Fowler, Acting Zoning Board Secretary

Dated: December 2024



Incorporated Village of Floral Park - Department of Buildings
BUILDING DEPARTMENT 516-326-6319 WWW.FPVILLAGE.ORG

NOTICE OF DISAPPROVAL

12/05/2024

OWNER:

Mari, Marisa
34 Depan Avenue
Floral Park, NY 11001

APPLICANT:

Marissa Mari
34 Depan Avenue

Please take notice that your application to: Fence Replacement

at: 34 Depan Avenue Floral Park NY 11001

Zone: R-2 Residence **Parcel:** 32-76-139-140

Is hereby disapproved contrary to:

§ 99-13. (B.)(1) In residential districts, a fence not exceeding five feet in height shall be permitted on the rear lot line. Fencing for all other lot lines shall not exceed four feet in height and in no case extend nearer to the street than the front line of the dwelling....All fences shall be of open construction...

Applicant seeks a variance to maintain a 5' high fence along the side property lines.

Of the Zoning Code of the Inc. Village of Floral Park.

If you choose to file for a variance to appeal this decision, an application and instructions can be obtained from the Building Department or the Village website at <https://fpvillage.org/departments/building-department/>.

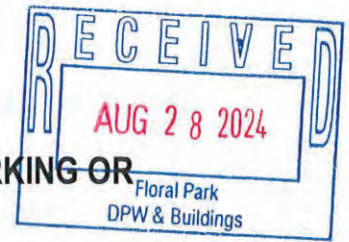
This application has not been reviewed for Building Code compliance.

Renee Marcus, AIA
Superintendent of Buildings



BOARD OF ZONING APPEALS

APPLICATION FOR FENCE, SPECIAL EXCEPTION PARKING OR GENERATOR VARIANCE



Property Information:	
Property Address:	34 Depan Avenue Floral Park, NY 11001
Business Name (If Commercial):	
Section:	32
Block:	76
Lot:	139,140
Zone:	
Existing:	<input checked="" type="checkbox"/> Single Family <input type="checkbox"/> 2-Family <input type="checkbox"/> Commercial/Business <input type="checkbox"/> Other:
Are there any Violations or Notices of Violations Outstanding on this Property? (If yes, attach copies.)	
Applicant information: Incomplete applications will not be accepted	
Applicant Name:	Marisa Mari
Relationship of Applicant to Owner:	Self
Mailing Address:	34 Depan Ave
City:	Floral Park
State:	NY
Zip:	11001
Phone Number:	3478856403
Email:	marisanicolemari@gmail.com
Owner Information:	
Owner Name:	Marisa Mari
Mailing Address:	34 Depan Ave
City:	Floral Park
State:	NY
Zip:	11001
Phone Number:	3478856403
Email:	marisanicolemari@gmail.com
Previous Appeals: (check one)	
<input type="checkbox"/> A previous appeal has been made on this property (attach all relevant decisions)	
<input checked="" type="checkbox"/> A previous appeal has not been made on this property	
Type of Variance Applied For:	
<input checked="" type="checkbox"/> Fence <input type="checkbox"/> Special Exception Parking <input type="checkbox"/> Generator	
Variance or Relief Desired: <input checked="" type="checkbox"/> Proposed <input type="checkbox"/> Maintain (year built _____)	
We are asking for a variance to install a 5 foot fence to confine our large dog. We have noticed at least 20 residential homes in the village with 16 ft fence, all but two	
Reason(s) Supporting Appeal: (if necessary, submit separate attachment) two resident homes.	
Our dog has previously jumped over 4 foot fences routinely. He has previously bitten and attacked other dogs and do not want this to continue.	
Owner Signature:	M. Mari
M. Mari Signature of Property Owner	

* Will provide PICTURE S IF needed! *



BOARD OF ZONING APPEALS

APPLICATION FOR FENCE, SPECIAL EXCEPTION PARKING OR GENERATOR VARIANCE

Affidavit of Individual Owner:

STATE OF NEW YORK)

ss.:

COUNTY OF NASSAU)

Marisa Mari being duly sworn, deposes and says that (s)he is the owner of the property described in this application and that the statements contained therein are true; that he/she is the appellant herein and he/she authorizes Marisa Mari (self) to act as his/her agent and to make this application

M. Mari

Signature of Owner

Sworn before me this 22nd day of August, 2024
Suzanne Messemmer
Notary Public



Affidavit of Corporate Owner:

STATE OF NEW YORK)

ss.:

COUNTY OF NASSAU)

_____ being duly sworn, deposes and says that (s)he is the _____ of _____ which is the owner of the property described in this application and that the statements contained therein are true; that _____ is the appellant herein and hereby authorizes _____ to act as his/her agent and to make this application.

Name of Corporation

By: _____
Signature and Title

Sworn before me this _____ day of _____, 20____

Notary Public



BOARD OF ZONING APPEALS

APPLICATION FOR FENCE, SPECIAL EXCEPTION PARKING OR GENERATOR VARIANCE

Affidavit of Corporate Owner (continued) Answer all applicable questions:

STATE OF NEW YORK)
) ss.:
COUNTY OF NASSAU)

I, _____ being duly sworn, deposes and say:

1. I am the President of _____, the corporation applying for the variance in the annexed application dated the _____ day of _____ 20____.

2a. Said corporation is the owner of record of the premises described in the aforementioned application for variance.

-or-

2b. I am the sole owner of record of the premises described in the annexed application for variance, and reside at _____

-or-

2c. I am one of the owners of record of the premises described in the annexed application for variance and make this affidavit at the request of all the owners of record and on behalf of all such owners, whose names and home address are as follows:

3. This affidavit is made a part of the application for variance dated _____ 20____, as if fully set forth herein at length.

4. It is understood that I make this affidavit to induce the granting of the decision for variance by the Board of Zoning Appeals of the Incorporated Village of Floral Park, NY

5. There are no contracts for the sale of the premises described in the application for variance except as listed below. A copy of said contract is attached hereto and made a part hereof.

Contract Dated: _____

Name of Contract Vendee: _____

Home Address: _____

(If corporation, list names and home addresses of officers and all stockholders, including percentage of each ownership)

6. There is no other contract presently in existence, or presently contemplated, which affects the premises for which this variance is sought, with regard to its occupancy, lease or sale of any or any part thereof, except as follows. A copy of said contract is attached hereto and made a part hereof.

Contract Dated: _____

Contract Expires: _____

Name of Parties: _____

Home Address: _____

(If corporation, list names and home addresses of officers and all stockholders, including percentage of each ownership)



BOARD OF ZONING APPEALS

APPLICATION FOR FENCE, SPECIAL EXCEPTION PARKING OR GENERATOR VARIANCE

Affidavit of Corporate Owner (continued) Answer all applicable questions:

7. There is no lease presently in existence covering all or any part of the premises described in the application for variance, except as follows. A copy of said contract is attached hereto and made a part hereof.

Lease Dated: _____

Lease Expires: _____

Name of Lessee: _____

Home Address: _____

(If corporation, list names and home addresses of officers and all stockholders, including percentage of each ownership)

(Note: if more than four (4) leases, and none are for a commercial use except for Home Professional Office [as defined in Article II of the Zoning Ordinance of the Incorporated Village of Floral Park], only list number of lessees. Otherwise, all are to be listed, showing type of occupancy with copies of all leases attached.)

8. There are no other persons, firms, partnerships, organizations or corporations, except as herein mentioned, or in the application for variance, who have or may have any financial or monetary interest in the premises described in the application for variance or in said application for variance, except: _____

(If none, so state. Otherwise, state names and home addresses. If corporation, list names and home addresses of officers and all stockholders, including percentage of each ownership)

9. In connection with the application for variance, I firmly swear that I have not paid, nor have I promised to pay, or have I made, or promised to make, any gift to any person who is employed by the Incorporated Village of Floral Park, or any elected or appointed official thereof, or to any member of his/her family.

10. I also swear and agree as part of the application for variance and as part of this affidavit, to file, within forty-eight (48) hours after a change of ownership prior to the issuance of a certification of completion, an affidavit embodying the following:

- a. Name and home address of each new owner (if corporation, list names and home addresses of officers and all stockholders, including percentage of each ownership)
- b. A statement indicating that negotiations were not commenced until after the filing of the application for variance and this affidavit.
- c. A reaffirmation of paragraph 9.

Signature

Sworn before me this _____ day of _____, 20____

Notary Public



BOARD OF ZONING APPEALS

APPLICATION FOR FENCE, SPECIAL EXCEPTION PARKING OR GENERATOR VARIANCE

Special Exception Parking Questionnaire

(note: this form required only for special exception parking application)

Size of Property:

Size of Dwelling:

What year was the property purchased?

Is there a garage? No Yes - One Car Yes - Two Car

How many cars are registered to the subject property?

How many cars park overnight? _____ in garage _____ in driveway

Are any parked cars owned by someone other than the residents of the dwelling? Yes No
If yes, who do these cars belong to?

Type of property? One-Family Two-Family

If two-family:

How long has the dwelling been used as a two family?

Who resides on first floor? Owner Tenant
How many persons reside on first floor? _____ Adults _____ Minors

Who resides on second floor? Owner Tenant
How many persons reside on second floor? _____ Adults _____ Minors

Who resides on third floor? Owner Tenant
How many persons reside on third floor? _____ Adults _____ Minors

How long has tenant(s) occupied apartment?

Is tenant related to owner?

Does tenant pay rent?

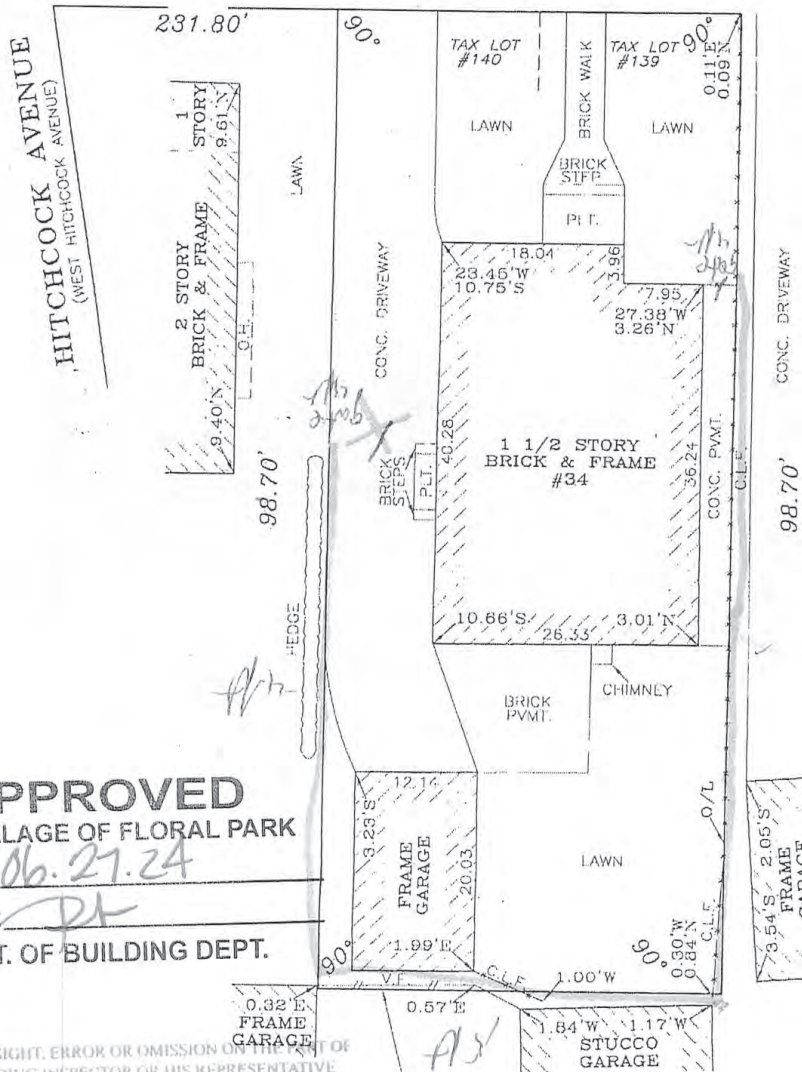
By signing this document, I understand that no vehicle shall be permitted to be parked so as to overhang a sidewalk. No vehicle shall be permitted to be parked on grass or dirt. No permit under this section shall be for more than two years. A special exception permit may be renewed by the Zoning Board of Appeals without hearing and without fee upon the owner of the premises submitting a duly sworn affidavit that the special circumstances that constituted unnecessary hardship or practical difficulty to grant the permit still exist. Copies of the registrations of all vehicles maintained at the premises shall be attached to the affidavit. A permit may be renewed for two periods of two years each.

I understand that any improvements made to the premises as a result of a special exception permit granted pursuant to this chapter shall be removed upon the expiration of that special exception permit and that the premises shall be converted back to their original condition as if the special exception permit was not granted.

Signature of Applicant

DEPAN AVENUE

40.00'



APPROVED
 INC. VILLAGE OF FLORAL PARK
 DATE: 06.27.24
 SIGNED: [Signature]
 SUPT. OF BUILDING DEPT.

NO OVERSIGHT, ERROR OR OMISSION ON THE PART OF THE BUILDING INSPECTOR OR HIS REPRESENTATIVE SHALL LEGALIZE THE ERRECTING, CONSTRUCTION, ALTERATION, REMOVAL, USE OR OCCUPANCY OF A BUILDING OR STRUCTURE THAT DOES NOT CONFORM TO THE REQUIREMENTS OF THE STATE UNIFORM FIRE PREVENTION LAW, BUILDING CODE AND THE VILLAGE LANCELAW.

FILED MAP:

LOTS NUMBERED 139 AND 140 ON A CERTAIN MAP ENTITLED, "MAP OF FLORAL PARK TERRACE SECTION "A" SITUATED AT FLORAL PARK, TOWN OF HEMPSTEAD, NASSAU COUNTY, N.Y., PROPERTY OF THE HOUSE AND HOME CO.", SURVEYED BY E.W. CONKLIN & SON, C.E. & SURVEYOR AND FILED IN THE OFFICE OF THE CLERK OF THE COUNTY OF NASSAU ON NOVEMBER 3, 1904 AS MAP NO. 252 CASE NO. 1911

THE OFFSETS OR DIMENSIONS SHOWN FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PLANTING AREAS, ADDITIONS TO STRUCTURES AND ANY OTHER CONSTRUCTION.

THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENT OF RECORD, IF ANY, NOT SHOWN ARE NOT CERTIFIED.



5/2/24

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

PRECISION SURVEYS

TITLE • ARCHITECTURAL • BOUNDARY • CONSTRUCTION

40 FRANKLIN AVE, FRANKLIN SQUARE, N.Y. 11010
 Ph. • (718)472-1571 • (516)488-1608

CHRISTOPHER M. BUCKLEY
 PROFESSIONAL LAND SURVEYOR

SURVEY OF: Described Property

LOCATED AT:
 34 Depan Avenue, Floral Park
 County of Nassau
 State of New York

TAX DESIG: Sec. 32, Block 76, Lots 139,140

CERTIFIED TO:
 Stewart Title Insurance Company
 Keystone Title Agency LLC
 Marisa Mari and Jason Arron Mari
 Contour Mortgage Corporation

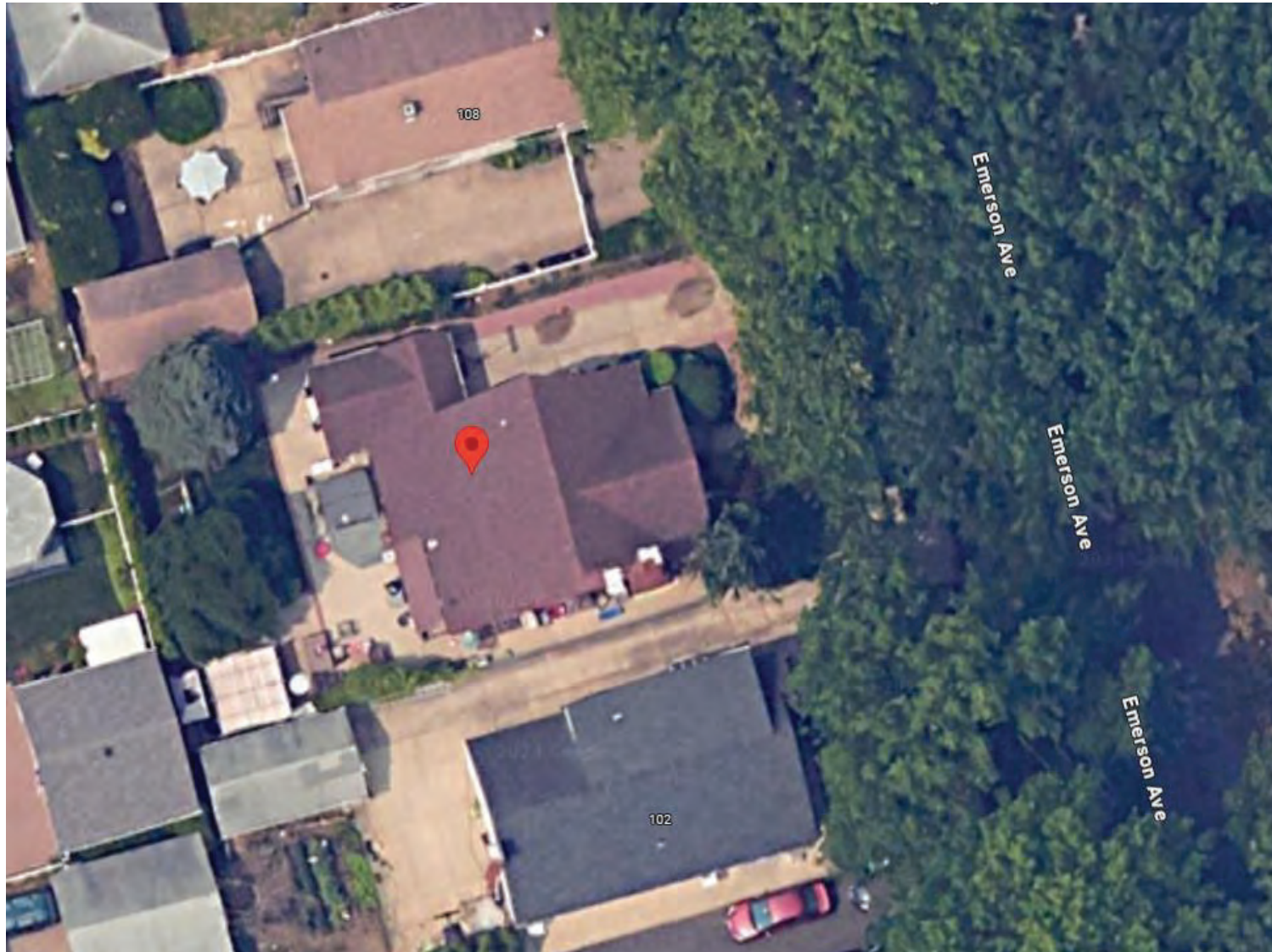
TITLE No.: 3185567-S-NY-RP-CLA
 DATE: May 2, 2024
 SCALE: 1"=15'

Job No. 5185
 Drawn By: MM

Case	Building Number	Street	Sec / Blk / Lot	Owner / Applicant	Description
2	106	Emerson Avenue	8 / 86 / 23-24	Richard Schaffer	Maintain Ductless AC



106 Emerson Avenue (Aerial View)



LEGAL NOTICE

NOTICE OF PUBLIC HEARING
INC. VILLAGE OF FLORAL PARK, NY

NOTICE IS HEREBY GIVEN that the Board of Appeals of the Incorporated Village of Floral Park, will hold a public hearing in the Village Hall, No. 1 Floral Boulevard, Floral Park, New York on Wednesday, January 8, 2025 at 8:00 p.m. relative to the following application:

Application of Richard Schaffer, owner of 106 Emerson Avenue, Floral Park, NY 11001 for a variance § 99-24 (F) (1) No part of any freestanding heating, cooling, pumping, filtering, generating or other type of equipment or device shall be located in any front or side yard, or within 20 feet of any rear lot line, except that freestanding heating and cooling equipment may be located in the side yard, provided that it is not located forward of the front line of the house or closer than 20' from the front lot line whichever is farther, and closer than 5 feet from the side lot line. § 99-24 (F) (2) No heating, cooling, pumping, generating, power storage or other type of equipment or device shall be mounted to the façade of a building unless approved by the Building Department or Architectural Review Board. § 99-25 (K) (2) Location. Every swimming pool and prefabricated unit shall conform to the following requirements as to location: All swimming pools shall have a distance of not less than 10 feet from any main building and not less than five feet from any accessory building.

The applicant proposes to maintain two (2) ductless split air conditioning units mounted to the side of the dwelling approximately 10 feet high and less than 5 feet from the side yard lot line. Applicant proposes to maintain a prefabricated spa, defined as a pool by the Village Ordinance, located less than 10' from the main building.

This application is made subject to the provisions of Article IX, Section 99-61, of the Zoning Ordinance of the Incorporated Village of Floral Park.

The property which said variance is applied for is located 100 feet south of Whittier Avenue on the west side of Emerson Avenue and known as 106 Emerson Avenue, Section 8, Block 86, Lot(s) 23, 24 on the Nassau County Land and Tax Map.

A copy of the application is on file in the Public Works/Building Department facility located at the foot of Stewart Street in the Village of Floral Park and may be examined by any persons interested therein during business hours, Monday through Friday, inclusive, except legal holidays from 8:30 a.m. to 4:00 p.m.

NOW TAKE NOTICE, that all parties in interest and citizens will be given the opportunity to be heard at the aforesaid time and place.

BY ORDER OF THE BOARD OF APPEALS
INCORPORATED VILLAGE OF FLORAL PARK, NY
Margaret Fowler, Acting Zoning Board Secretary

Dated: December 2024



Incorporated Village of Floral Park - Department of Buildings
BUILDING DEPARTMENT 516-326-6319 WWW.FPVILLAGE.ORG

NOTICE OF DISAPPROVAL

08/02/2024

OWNER:
Schaffer, Richard & Nicole
106 Emerson Avenue
Floral Park, NY 11001

APPLICANT:

Please take notice that your application to: Ductless Air Conditioning Serving First and Second Floor

at: 106 Emerson Avenue Floral Park NY 11001

Zone: R-1 Residence **Parcel:** 8-86-23-24

Is hereby disapproved contrary to:

§ 99-24 (F) (1) No part of any freestanding heating, cooling, pumping, filtering, generating or other type of equipment or device: Shall be located in any front or side yard, or within 20 feet of any rear lot line, except that freestanding heating and cooling equipment may be located in the side yard, provided that it is not located forward of the front line of the house or closer than 20 feet from the front lot line whichever is farther, and closer than five feet from the side lot line.

§ 99-24 (F) (2) No heating cooling, pumping, filtering, generating, power storage or other type of equipment or device shall be mounted to the facade of a building unless approved by the Building Department or Architectural Review Board.

Applicant proposes to maintain two (2) ductless split air conditioning units mounted to the side of the dwelling approximately 10' high and less than 5' from the side yard lot line.

Of the Zoning Code of the Inc. Village of Floral Park.

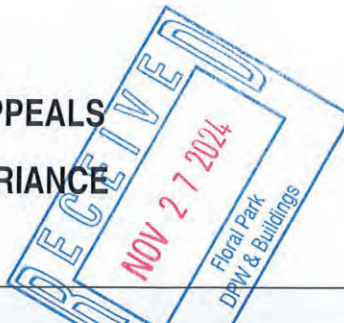
If you choose to file for a variance to appeal this decision, an application and instructions can be obtained from the Building Department or the Village website at <https://fpvillage.org/departments/building-department/>.

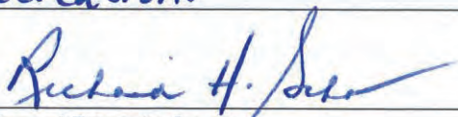
This application has not been reviewed for Building Code compliance.

Renee Marcus, AIA
Superintendent of Buildings



**BOARD OF ZONING APPEALS
APPLICATION FOR VARIANCE**



Property Information:			
Property Address:	106 EMERSON AVENUE		
Business Name (If Commercial):			
Section:	8	Block:	086
Lot:	23	Zone:	24
Existing:	<input checked="" type="checkbox"/> Single Family	<input type="checkbox"/> 2-Family	<input type="checkbox"/> Commercial/Business <input type="checkbox"/> Other:
Are there any Violations or Notices of Violations Outstanding on this Property? (If yes, attach copies.)			
Applicant information: Incomplete applications will not be accepted			
Applicant Name:	Richard Schaffer	Relationship of Applicant to Owner:	Owner
Mailing Address:	106 Emerson Ave.	City:	Floral Park State: NY Zip: 11001
Phone Number:	347-236-6204	Email:	rhschaffer@aol.com
Owner Information:			
Owner Name:	Same as above		
Mailing Address:	City:	State:	Zip:
Phone Number:	Email:		
Previous Appeals: (check one)			
<input type="checkbox"/> A previous appeal has been made on this property (attach all relevant decisions)			
<input checked="" type="checkbox"/> A previous appeal has not been made on this property			
Type of Variance Applied For:			
Article	V	Section	99-24 of Code
Variance or Relief Desired: <input type="checkbox"/> Proposed <input checked="" type="checkbox"/> Maintain (year built 2023)			
Requesting HVAC heating/cooling condenser units remain in current locations.			
Reason(s) Supporting Appeal: (if necessary, submit separate attachment)			
Units on south side of home cannot be placed anywhere else, as confirmed by building inspector. Lowering the units will cause disturbance to neighbor. Unit on north side of home would cause hazard if lowered. Area			
Owner Signature: is used by children for recreation.			
 Signature of Property Owner			



**BOARD OF ZONING APPEALS
APPLICATION FOR VARIANCE**

Affidavit of Individual Owner:

STATE OF NEW YORK)

ss.:

COUNTY OF NASSAU)

Richard Schaffer being duly sworn, deposes and says that (s)he is the owner of the property described in this application and that the statements contained therein are true; that he/she is the appellant herein and he/she authorizes _____ to act as his/her agent and to make this application

Sworn before me this 23 day of October, 2024

[Signature]
Notary Public

[Signature]
Signature of Owner

Affidavit of Corporate Owner:

STATE OF NEW YORK)

ss.:

COUNTY OF NASSAU)

_____ being duly sworn, deposes and says that (s)he is the _____ of _____ which is the owner of the property described in this application and that the statements contained therein are true; that _____ is the appellant herein and hereby authorizes _____ to act as his/her agent and to make this application.

Name of Corporation

By: _____
Signature and Title

Sworn before me this _____ day of _____, 20____

Notary Public



BOARD OF ZONING APPEALS
APPLICATION FOR VARIANCE

Affidavit of Corporate Owner (continued) Answer all applicable questions:

STATE OF NEW YORK)

ss.:

COUNTY OF NASSAU)

I, _____ being duly sworn, deposes and say:

1. I am the President of _____, the corporation applying for the variance in the annexed application dated the _____ day of _____ 20____.

2a. Said corporation is the owner of record of the premises described in the aforementioned application for variance.

-or-

2b. I am the sole owner of record of the premises described in the annexed application for variance, and reside at _____.

-or-

2c. I am one of the owners of record of the premises described in the annexed application for variance and make this affidavit at the request of all the owners of record and on behalf of all such owners, whose names and home address are as follows:

3. This affidavit is made a part of the application for variance dated _____ 20____, as if fully set forth herein at length.

4. It is understood that I make this affidavit to induce the granting of the decision for variance by the Board of Zoning Appeals of the Incorporated Village of Floral Park, NY

5. There are no contracts for the sale of the premises described in the application for variance except as listed below. A copy of said contract is attached hereto and made a part hereof.

Contract Dated: _____

Name of Contract Vendee: _____

Home Address: _____

(If corporation, list names and home addresses of officers and all stockholders, including percentage of each ownership)

6. There is no other contract presently in existence, or presently contemplated, which affects the premises for which this variance is sought, with regard to its occupancy, lease or sale of any or any part thereof, except as follows. A copy of said contract is attached hereto and made a part hereof.

Contract Dated: _____

Contract Expires: _____

Name of Parties: _____

Home Address: _____

(If corporation, list names and home addresses of officers and all stockholders, including percentage of each ownership)



BOARD OF ZONING APPEALS
APPLICATION FOR VARIANCE

Affidavit of Corporate Owner (continued) Answer all applicable questions:

7. There is no lease presently in existence covering all or any part of the premises described in the application for variance, except as follows. A copy of said contract is attached hereto and made a part hereof.

Lease Dated: _____

Lease Expires: _____

Name of Lessee: _____

Home Address: _____

(If corporation, list names and home addresses of officers and all stockholders, including percentage of each ownership)

(Note: if more than four (4) leases, and none are for a commercial use except for Home Professional Office [as defined in Article II of the Zoning Ordinance of the Incorporated Village of Floral Park], only list number of lessees. Otherwise, all are to be listed, showing type of occupancy with copies of all leases attached.)

8. There are no other persona, firms, partnerships, organizations or corporations, except as herein mentioned, or in the application for variance, who have or may have any financial or monetary interest in the premises described in the application for variance or in said application for variance, except: _____

(If none, so state. Otherwise, state names and home addresses. If corporation, list names and home addresses of officers and all stockholders, including percentage of each ownership)

9. In connection with the application for variance, I firmly swear that I have not paid, nor have I promised to pay, or have I made, or promised to make, any gift to any person who is employed by the Incorporated Village of Floral Park, or any elected or appointed official thereof, or to any member of his/her family.

10. I also swear and agree as part of the application for variance and as part of this affidavit, to file, within forty-eight (48) hours after a change of ownership prior to the issuance of a certification of completion, an affidavit embodying the following:

- a. Name and home address of each new owner (if corporation, list names and home addresses of officers and all stockholders, including percentage of each ownership)
- b. A statement indicating that negotiations were not commenced until after the filing of the application for variance and this affidavit.
- c. A reaffirmation of paragraph 9.

Signature

Sworn before me this _____ day of _____, 20____

Notary Public

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor: <i>Richard Schaffer</i>		Telephone: <i>347-236-6204</i>	
		E-Mail: <i>rhschaffer@aol.com</i>	
Address: <i>106 Emerson Avenue</i>			
City/PO: <i>Floral Park</i>		State: <i>NY</i>	Zip Code: <i>11001</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO
If Yes, list agency(s) name and permit or approval:			<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Richard H. Schaffer</u> Date: _____ Signature: <u>Richard H. Schaffer</u> Title: <u>Owner</u>		

Project:

Date:

Short Environmental Assessment Form

Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Project:

Date:

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

PRINT FORM

721-D-36

SURVEY No:

TITLE No: SPT-N-2015-0529

BLOCK: B6 LOT: 23,24

SEC: 8

DIST:

TAX:

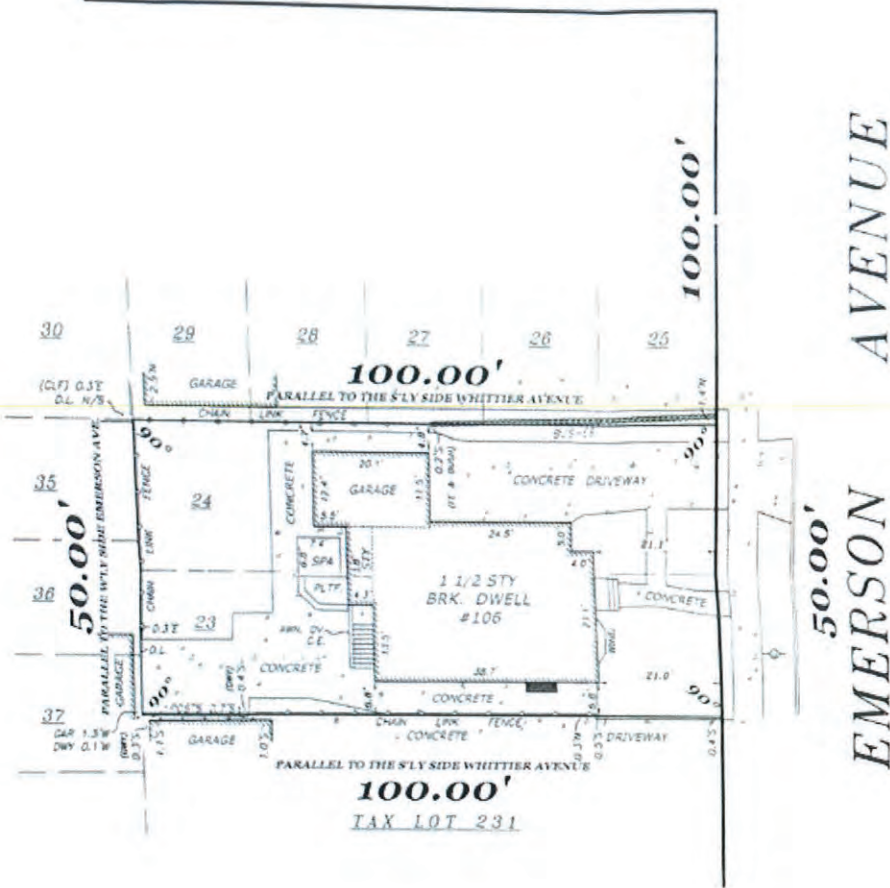
LEGEND

- FENCE
- SHRUBS/HEDGES
- O.H.S.W.
- OVER HEAD SERVICE WIRES
- O.L.
- ON-LINE

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SEC. 7209 OF THE N.Y. EDUCATIONAL LAW. COPIES OF THIS SURVEY NOT BEARING THE SURVEYOR'S INKED OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. SURVEYS ARE INTENDED FOR TITLE PURPOSES ONLY. OFFSETS OF BUILDINGS AND OTHER POSSESSIONS ARE NOT TO BE USED FOR CONSTRUCTION OR DESIGN PURPOSES. SUBSURFACE CONDITIONS ARE NOT SHOWN. RIGHT OF WAY OF RECORD IF ANY, NOT SHOWN. GUARANTEES INDICATED HEREON ARE NOT TRANSFERABLE.



WHITTIER AVENUE



Peter J. Brabazon PLS, P.C.
 Professional Land Surveyor
 430 West Old Country Rd, Hicksville NY 11801
 Phone: (516) 822-5111 Fax: (516) 822-4395
 www.BrabazonSurveying.com

P. Brabazon
 Successor to:

- KENNETH S. O'RIEN - BALDWIN & CORNELIUS - PETER & WALTER KEMPA - FREDERICK W. KAHLER - GEORGE H. WALBRIDGE CO. (W. SUFFOLK) - PETER L. PFLEIDERER JR. - ARTHUR W. LEACH - H.F. BISHOP - ROBERT D. JONES (NASSAU) - SHAM ASSOCIATES - JULIUS JARGSTORFF - MURRETT W. DELORNE - WILLIAM H. SEAMAN - JEFFREY J. ROBERTSON - H.A. SCHNITZLAU - IVAN E. CZISPOTT - C.A. MONROE - KAHLER & PYNCHON - SMITH & MALCOMSON - ALBERT L. LOEFFLER - WILLIAM S. ALCH - BRIDGALL JACKSON

SURVEY OF PROPERTY AT: **FLORAL PARK**
 MAP: **FLORAL PARK HOMES**
 SECTION: **A** BLOCK: **B6** LOTS(S): **23,24**
 FILED: **MAY 8, 1906** CASE No. **388**
 MAP No.: _____ COUNTY OF: **NASSAU**, N.Y.

- GUARANTEED TO:
- CITIMORTGAGE, INC. ITS SUCCESSORS & OR ASSIGNS
 - SECURED PERIMETER TITLE AGENCY CORP.
 - OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 - RICHARD SCHAFFER & NICOLE SCHAFFER

SURVEY DATE: 11/12/2015



2024/07/23 10:49:03







2024/07/23 10:48:00



2024/07/23 10:47:36



2024/07/23 10:47:29



Case	Building Number	Street	Sec / Blk / Lot	Owner / Applicant	Description
3	37	Roger Place	32 / 50 / 74-75	Alex Suazo & Rosemary Espinal	Maintain Inground Pool and Accessory Structure



37 Roger Place (Aerial View)



LEGAL NOTICE

NOTICE OF PUBLIC HEARING INC. VILLAGE OF FLORAL PARK, NY

NOTICE IS HEREBY GIVEN that the Board of Appeals of the Incorporated Village of Floral Park, will hold a public hearing in the Village Hall, No. 1 Floral Boulevard, Floral Park, New York on Wednesday, January 8, 2025 at 8:00 p.m. relative to the following application:

Application of Andrew Braum, representing Alex Suazo and Rosemary Espinal, owners of 37 Roger Place, Floral Park, NY 11001 for a variance § 99-24 (A) A detached accessory building or structure may be located in and may occupy not more than 30% of the area of any rear yard and shall be located a distance of at least: (1) Eight feet from any dwelling or main building. (B) No accessory building or structure shall have a dimension in excess of 100 square feet in area nor shall such building or structure exceed eight feet in height. Applicant proposes to maintain a covered outdoor kitchen at 146 sf, 5' from the main dwelling and over 8' in height. § 99-13. (B)(1) Fences and buffers. In residential districts, a fence not exceeding five feet in height shall be permitted on the rear lot line. Fencing for all other lot lines shall not exceed four feet in height and in no case extend nearer to the street than the front line of the dwelling. Applicant proposes to maintain a 6' solid fence on each side yard property line. § 99-24 (F)(1) No part of any freestanding heating, cooling, pumping, filtering, generating or other type of equipment or device: Shall be located in any front or side yard, or within 20 feet of any rear lot line and closer than five feet from the side lot line. Applicant proposes to maintain pool equipment located 1.16' off the rear property line and 2.83' from the side property line. § 99-25 (K)(1) Every swimming pool and prefabricated unit shall conform to the following requirements as to location: (1) Not less than a distance of five feet from any rear or side line of the lot. Applicant proposes to maintain a pool that is located 1.25' from the rear property line

This application is made subject to the provisions of Article IX, Section 99-61, of the Zoning Ordinance of the Incorporated Village of Floral Park.

The property which said variance is applied for is located 302.4 feet south of Adelaide Street on the east side of Roger Place and known as 37 Roger Place, Section 32, Block 50, Lot(s) 74,75 on the Nassau County Land and Tax Map.

A copy of the application is on file in the Public Works/Building Department facility located at the foot of Stewart Street in the Village of Floral Park and may be examined by any persons interested therein during business hours, Monday through Friday, inclusive, except legal holidays from 8:30 a.m. to 4:00 p.m.

NOW TAKE NOTICE, that all parties in interest and citizens will be given the opportunity to be heard at the aforesaid time and place.

BY ORDER OF THE BOARD OF APPEALS
INCORPORATED VILLAGE OF FLORAL PARK, NY
Margaret Fowler, Acting Zoning Board Secretary

Dated: December 2024



Incorporated Village of Floral Park - Department of Buildings
BUILDING DEPARTMENT 516-326-6319 WWW.FPVILLAGE.ORG

NOTICE OF DISAPPROVAL

12/12/2024

OWNER:

Suazo, Alex & Espinal, Rosemary
37 Roger Place
Floral Park, NY 11001

APPLICANT:

Andrew Braum
1924 Bellmore Ave
Bellmore NY 11710

Please take notice that your application to: Maintain Accessory Structure

at: 37 Roger Place Floral Park NY 11001

Zone: R-1 Residence **Parcel:** 32-50-74-75

Is hereby disapproved contrary to:

§ 99-24 (A) A detached accessory building or structure may be located in and may occupy not more than 30% of the area of any rear yard and shall be located a distance of at least: (1) Eight feet from any dwelling or main building. (B) No accessory building or structure shall have a dimension in excess of 100 square feet in area nor shall such building or structure exceed eight feet in height.

Applicant proposes to maintain a covered outdoor kitchen at 146 sf, 5' from the main dwelling and over 8' in height.

Of the Zoning Code of the Inc. Village of Floral Park.

If you choose to file for a variance to appeal this decision, an application and instructions can be obtained from the Building Department or the Village website at <https://fpvillage.org/departments/building-department/>.

This application has not been reviewed for Building Code compliance.

Renee Marcus, AIA
Superintendent of Buildings



Incorporated Village of Floral Park - Department of Buildings
BUILDING DEPARTMENT 516-326-6319 WWW.FPVILLAGE.ORG

NOTICE OF DISAPPROVAL

12/12/2024

OWNER:

Suazo, Alex & Espinal, Rosemary
37 Roger Place
Floral Park, NY 11001

APPLICANT:

Andrew Braum
1924 Bellmore Ave
Bellmore NY 11710

Please take notice that your application to: Maintain 6' Fence

at: 37 Roger Place Floral Park NY 11001

Zone: R-1 Residence **Parcel:** 32-50-74-75

Is hereby disapproved contrary to:

§ 99-13. (B)(1) Fences and buffers. In residential districts, a fence not exceeding five feet in height shall be permitted on the rear lot line. Fencing for all other lot lines shall not exceed four feet in height and in no case extend nearer to the street than the front line of the dwelling.

Applicant proposes to maintain a 6' solid fence on each side yard property line.

Of the Zoning Code of the Inc. Village of Floral Park.

If you choose to file for a variance to appeal this decision, an application and instructions can be obtained from the Building Department or the Village website at

<https://fpvillage.org/departments/building-department/>.

This application has not been reviewed for Building Code compliance.

Renee Marcus, AIA
Superintendent of Buildings



Incorporated Village of Floral Park - Department of Buildings
BUILDING DEPARTMENT 516-326-6319 WWW.FPVILLAGE.ORG

NOTICE OF DISAPPROVAL

12/12/2024

OWNER:

Suazo, Alex & Espinal, Rosemary
37 Roger Place
Floral Park, NY 11001

APPLICANT:

Andrew Braum
1924 Bellmore Ave
Bellmore NY 11710

Please take notice that your application to: Maintain Pool Equipment

at: 37 Roger Place Floral Park NY 11001

Zone: R-1 Residence **Parcel:** 32-50-74-75

Is hereby disapproved contrary to:

§ 99-24 (F)(1) No part of any freestanding heating, cooling, pumping, filtering, generating or other type of equipment or device: Shall be located in any front or side yard, or within 20 feet of any rear lot line...and closer than five feet from the side lot line.

Applicant proposes to maintain pool equipment located 1.16' off the rear property line and 2.83' from the side property line.

Of the Zoning Code of the Inc. Village of Floral Park.

If you choose to file for a variance to appeal this decision, an application and instructions can be obtained from the Building Department or the Village website at

<https://fpvillage.org/departments/building-department/>.

This application has not been reviewed for Building Code compliance.

Renee Marcus, AIA
Superintendent of Buildings



Incorporated Village of Floral Park - Department of Buildings
BUILDING DEPARTMENT 516-326-6319 WWW.FPVILLAGE.ORG

NOTICE OF DISAPPROVAL

12/12/2024

OWNER:

Suazo, Alex & Espinal, Rosemary
37 Roger Place
Floral Park, NY 11001

APPLICANT:

Andrew Braum
1924 Bellmore Ave
Bellmore NY 11710

Please take notice that your application to: Maintain In-ground Pool

at: 37 Roger Place Floral Park NY 11001

Zone: R-1 Residence **Parcel:** 32-50-74-75

Is hereby disapproved contrary to:

§ 99-25 (K)(1) Every swimming pool and prefabricated unit shall conform to the following requirements as to location: (1) Not less than a distance of five feet from any rear or side line of the lot.

Applicant proposes to maintain a pool that is located 1.25' from the rear property line.

Of the Zoning Code of the Inc. Village of Floral Park.

If you choose to file for a variance to appeal this decision, an application and instructions can be obtained from the Building Department or the Village website at

<https://fpvillage.org/departments/building-department/>.

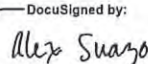
This application has not been reviewed for Building Code compliance.

Renee Marcus, AIA
Superintendent of Buildings



BOARD OF ZONING APPEALS

APPLICATION FOR VARIANCE

Property Information:			
Property Address: 37 Roger Pl Floral Park NY 11001			
Business Name (If Commercial):			
Section: 32	Block: 50	Lot:	Zone:
Existing: <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> 2-Family <input type="checkbox"/> Commercial/Business <input type="checkbox"/> Other:			
Are there any Violations or Notices of Violations Outstanding on this Property? (If yes, attach copies.)			
Applicant information:		Incomplete applications will not be accepted	
Applicant Name: Andrew Braum		Relationship of Applicant to Owner: Design Professional	
Mailing Address: 1924 Bellmore Ave		City: Bellmore	State: NY Zip: 11710
Phone Number: 5167854200		Email: office@asbengineering.com	
Owner Information:			
Owner Name: Alex Suazo			
Mailing Address: 37 Roger Pl		City: Floral Park	State: NY Zip: 11001
Phone Number: 917 755 5349		Email: alex@empirecruises.com	
Previous Appeals: (check one)			
<input type="checkbox"/> A previous appeal has been made on this property (attach all relevant decisions)			
<input checked="" type="checkbox"/> A previous appeal has not been made on this property			
Type of Variance Applied For:			
Article <u>99</u> Section <u>13</u> of Code <u>99-24 99-25</u>			
Variance or Relief Desired: <input type="checkbox"/> Proposed <input checked="" type="checkbox"/> Maintain (year built <u>2024</u>)			
maintain a 6' solid fence on each sideyard property line, pool equipment located 1.16' off rear property line & 2.83' from sideyard, pool located 1.25' from rear property line, outdoor kitchen at 146sf 5' from dwelling and over 8' in height			
Reason(s) Supporting Appeal: (if necessary, submit separate attachment)			
Homeowner will get to enjoy their backyard with their family			
Owner Signature:			
DocuSigned by:  931C9CC6E845B... Signature of Property Owner			



BOARD OF ZONING APPEALS APPLICATION FOR VARIANCE

Affidavit of Individual Owner:

STATE OF NEW YORK)

ss.:

COUNTY OF NASSAU)

Alex Suazo

_____ being duly sworn, deposes and says that (s)he is the owner of the property described in this application and that the statements contained therein are true; that he/she is the appellant herein and he/she authorizes Andrew Braum to act as his/her agent and to make this application

DocuSigned by:

Alex Suazo

931C9C68BEE645B...

Signature of Owner

Sworn before me this

12th day of Dec, 2024

Cristina A Marinelli

Notary Public



Affidavit of Corporate Owner:

STATE OF NEW YORK)

ss.:

COUNTY OF NASSAU)

_____ being duly sworn, deposes and says that (s)he is the _____ of _____ which is the owner of the property described in this application and that the statements contained therein are true; that _____ is the appellant herein and hereby authorizes _____ to act as his/her agent and to make this application.

Name of Corporation

By: _____
Signature and Title

Sworn before me this

_____ day of _____, 20_____

Notary Public



BOARD OF ZONING APPEALS
APPLICATION FOR VARIANCE

Affidavit of Corporate Owner (continued) Answer all applicable questions:

STATE OF NEW YORK)
 ss.:
 COUNTY OF NASSAU)

I, _____ being duly sworn, deposes and say:

1. I am the President of _____, the corporation applying for the variance in the annexed application dated the _____ day of _____ 20____.

2a. Said corporation is the owner of record of the premises described in the aforementioned application for variance.

-or-

2b. I am the sole owner of record of the premises described in the annexed application for variance, and reside at _____.

-or-

2c. I am one of the owners of record of the premises described in the annexed application for variance and make this affidavit at the request of all the owners of record and on behalf of all such owners, whose names and home address are as follows:

3. This affidavit is made a part of the application for variance dated _____ 20____, as if fully set forth herein at length.

4. It is understood that I make this affidavit to induce the granting of the decision for variance by the Board of Zoning Appeals of the Incorporated Village of Floral Park, NY

5. There are no contracts for the sale of the premises described in the application for variance except as listed below. A copy of said contract is attached hereto and made a part hereof.

Contract Dated: _____

Name of Contract Vendee: _____

Home Address: _____

(If corporation, list names and home addresses of officers and all stockholders, including percentage of each ownership)

6. There is no other contract presently in existence, or presently contemplated, which affects the premises for which this variance is sought, with regard to its occupancy, lease or sale of any or any part thereof, except as follows. A copy of said contract is attached hereto and made a part hereof.

Contract Dated: _____

Contract Expires: _____

Name of Parties: _____

Home Address: _____

(If corporation, list names and home addresses of officers and all stockholders, including percentage of each ownership)



BOARD OF ZONING APPEALS
APPLICATION FOR VARIANCE

Affidavit of Corporate Owner (continued) Answer all applicable questions:

7. There is no lease presently in existence covering all or any part of the premises described in the application for variance, except as follows. A copy of said contract is attached hereto and made a part hereof.

Lease Dated: _____

Lease Expires: _____

Name of Lessee: _____

Home Address: _____

(If corporation, list names and home addresses of officers and all stockholders, including percentage of each ownership)

(Note: if more than four (4) leases, and none are for a commercial use except for Home Professional Office [as defined in Article II of the Zoning Ordinance of the Incorporated Village of Floral Park], only list number of lessees. Otherwise, all are to be listed, showing type of occupancy with copies of all leases attached.)

8. There are no other persona, firms, partnerships, organizations or corporations, except as herein mentioned, or in the application for variance, who have or may have any financial or monetary interest in the premises described in the application for variance or in said application for variance, except: _____

(If none, so state. Otherwise, state names and home addresses. If corporation, list names and home addresses of officers and all stockholders, including percentage of each ownership)

9. In connection with the application for variance, I firmly swear that I have not paid, nor have I promised to pay, or have I made, or promised to make, any gift to any person who is employed by the Incorporated Village of Floral Park, or any elected or appointed official thereof, or to any member of his/her family.

10. I also swear and agree as part of the application for variance and as part of this affidavit, to file, within forty-eight (48) hours after a change of ownership prior to the issuance of a certification of completion, an affidavit embodying the following:

- a. Name and home address of each new owner (if corporation, list names and home addresses of officers and all stockholders, including percentage of each ownership)
- b. A statement indicating that negotiations were not commenced until after the filing of the application for variance and this affidavit.
- c. A reaffirmation of paragraph 9.

Signature

Sworn before me this
_____ day of _____, 20____

Notary Public

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Short Environmental Assessment Form

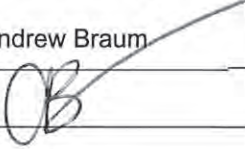
Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Suazo Residence			
Project Location (describe, and attach a location map): 37 Roger Pl Floral Park NY 11001			
Brief Description of Proposed Action: maintain existing swimming pool, hot tub, pavers, spillover spa, outdoor kitchen, drywell, roofover and AC. demo of garage addition			
Name of Applicant or Sponsor: Andrew Braum		Telephone: 516 785 4200	
		E-Mail: office@asbengineering.com	
Address: 1924 Bellmore Ave			
City/PO: Bellmore		State: NY	Zip Code: 11710
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		.149 acres	
b. Total acreage to be physically disturbed?		.0758 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.149 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Andrew Braum</u>	Date: <u>12/12/24</u>	
Signature: 	Title: <u>Engineer/ Applicant</u>	

Project:

Date:

Short Environmental Assessment Form
Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project:

Date:

**Short Environmental Assessment Form
Part 3 Determination of Significance**

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
<hr style="border: 0; border-top: 1px solid black;"/> Name of Lead Agency	<hr style="border: 0; border-top: 1px solid black;"/> Date
<hr style="border: 0; border-top: 1px solid black;"/> Print or Type Name of Responsible Officer in Lead Agency	<hr style="border: 0; border-top: 1px solid black;"/> Title of Responsible Officer
<hr style="border: 0; border-top: 1px solid black;"/> Signature of Responsible Officer in Lead Agency	<hr style="border: 0; border-top: 1px solid black;"/> Signature of Preparer (if different from Responsible Officer)















GENERAL NOTES :

ALL MANUFACTURED ITEMS AND CONSTRUCTION SHALL COMPLY WITH 2020 RESIDENTIAL CODE OF NYS, VILLAGE OF FLORAL PARK ZONING CODE
 -R326.3.1- IN-GROUND POOL SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANS/NSP-5
 -R326.4- BARRIER REQUIREMENTS
 -R326.5 ENTRAPMENT PROTECTION FOR SWIMMING POOL AND SPA SUCTION OUTLETS
 -R326.7- SWIMMING POOL AND SPA ALARMS
 2020 IECC NOTES

POOLS AND PERMANENT SPA ENERGY CONSUMPTION (MANDATORY). THE ENERGY CONSUMPTION OF POOLS AND PERMANENT SPAS SHALL BE IN ACCORDANCE WITH SECTIONS N1103.10.1 THROUGH N1103.10.3

HEATERS. THE ELECTRIC POWER TO HEATERS SHALL BE CONTROLLED BY A READILY ACCESSIBLE ON-OFF SWITCH THAT IS AN INTEGRAL PART OF THE HEATER MOUNTED ON THE EXTERIOR OF THE HEATER, OR EXTERNAL TO AND WITHIN 3 FEET(914MM) OF THE HEATER. OPERATION OF SUCH SWITCH SHALL NOT CHANGE THE SETTING OF THE THERMOSTAT. SUCH SWITCHES SHALL BE IN ADDITION TO THE CIRCUIT BREAKER FOR THE POWER TO THE HEATER. GAS FIRED HEATERS SHALL NOT BE EQUIPPED WITH CONTINUOUSLY BURNING IGNITION PILOTS

N1103.10.2 TIME SWITCHES. TIME SWITCHES OR OTHER CONTROL METHODS THAT CAN AUTOMATICALLY TURN OFF AND ON ACCORDING TO A PRESET SCHEDULE SHALL BE INSTALLED FOR HEATERS AND PUMP MOTORS. HEATER AND PUMP MOTORS THAT HAVE BUILT IN TIME SWITCHES SHALL BE IN COMPLIANCE WITH THIS.

N1103.10.3 COVERS. OUTDOOR HEATED POOLS AND OUTDOOR PERMANENT SPAS SHALL BE PROVIDED WITH A VAPOR-RETARDANT COVER OR OTHER APPROVED VAPOR-RETARDANT MEANS.

THE CONSTRUCTION MUST BE SURROUNDED BY A 48" HIGH TEMPORARY BARRIER THAT IS TO REMAIN IN PLACE UNTIL THE PERMANENT FENCE IS INSTALLED (R326.4.1)

PERMANENT FENCE MUST BE INSTALLED PRIOR TO FILLING THE POOL (VOER)

ALL OPERABLE WINDOWS ON THE FIRST FLOOR SHALL BE PROVIDED WITH A LATCHING DEVICE, LOCATED NOT MORE THAN 48" ABOVE THE FLOOR, PREVENTING WINDOWS FROM OPENING MORE THAN 4". WALLS WITH EMERGENCY ESCAPE AND RESCUE OPENINGS ARE NOT PERMITTED TO BE BARRIER WALLS. (R326.4.2.8)

****NOTE: FLOOD_ZONE X -**

THIS POOL, AS DESIGNED, WILL NOT REDIRECT FLOODWATERS TO ADJACENT PROPERTIES, AND AS DESIGNED WILL BE ADEQUATELY ANCHORED FROM FLOATING AND LATERAL MOVEMENT.

****NOTE: FENCES -**

ALL FENCING TO BE USED FOR POOL SAFETY BARRIER IS TO BE THE SOLE PROPERTY AND RESPONSIBILITY OF THE OWNER OF THE SUBJECT PROPERTY AND IS TO BE LOCATED ENTIRELY ON THE SUBJECT PROPERTY.

DOOR ALARMS: POOLGUARD DAPT-2 (UL-2017)
 POOL ALARM: POOLGUARD PGRM-2 (ASTM-F2208)
 WINTER STORAGE COVER: MERLIN SMARTMESH (ASTM-F1346)
 HOSE BIB BACKFLOW: NIDEL 37HD1

ALL FENCES SHALL BE SET 3" MINIMUM OFF ALL PROPERTY LINES

POOLS AND EQUIPMENT SETBACKS ARE MEASURED FROM THE PROPERTY LINE

PLAN NOTES

- (A) OWNER SHALL INSTALL AN ALARM AT THE DOOR WHICH:
 1. PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND ITS SCREEN, IF PRESENT, ARE OPENED,
 2. SOUNDS CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS IMMEDIATELY AFTER THE DOOR IS OPENED,
 3. IS CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES,
 4. AUTOMATICALLY RESETS UNDER ALL CONDITIONS, AND
 5. IS EQUIPPED WITH A MANUAL MEANS, SUCH AS TOUCHPAD OR SWITCH, TO DEACTIVATE THE ALARM TEMPORARILY FOR A SINGLE OPENING (SUCH DEACTIVATION CANNOT LAST FOR MORE THAN 15 SECONDS, AND THE DEACTIVATION SWITCH(ES) MUST BE LOCATED AT LEAST 54 INCHES ABOVE THE THRESHOLD OF THE DOOR.
- (P) OUTLINE OF POOL
- (W) RAG105.3.9 NYS CODE
- (EQ) WALL OF DWELLING SHALL ACT AS PART OF THE BARRIER.
- (EQ) POOL PUMP, FILTER EQUIPMENT
- (G) NEW SELF LOCKING SELF CLOSING GATE OPEN OUT

SHEET INDEX

AQ-1	GENERAL NOTES & PLOT PLAN
AQ-2	GENERAL NOTES, POOL PLAN, CROSS SECTIONS ELECTRICAL HEATER SPECIFICATIONS & DETAILS
AQ-3	POOL CODE COMPLIANCE NOTES
A-1	OUTDOOR KITCHEN PLAN, ELEVATION, SECTION & NOTES
A-2	OUTDOOR KITCHEN DIMENSIONS, ELEVATION & PAPER DETAIL

ZONING INFORMATION		VILLAGE OF FLORAL PARK
		ZONE R-1
BUILDING COVERAGE		
MAX. %COV		
LOT AREA	6,492 S.F.	
HOUSE	1,458 S.F.	
POOL & SPA	422 S.F.	
GARAGE	390 S.F.	
TOTAL BUILDING COVERAGE	2,270 S.F. (35%)	
POOL REAR YARD COVERAGE	MAX. %COV	
REAR YARD AREA	3,196 S.F.	
POOL	422 S.F.	
GARAGE	390 S.F.	
TOTAL	812 S.F. (25.4%)	

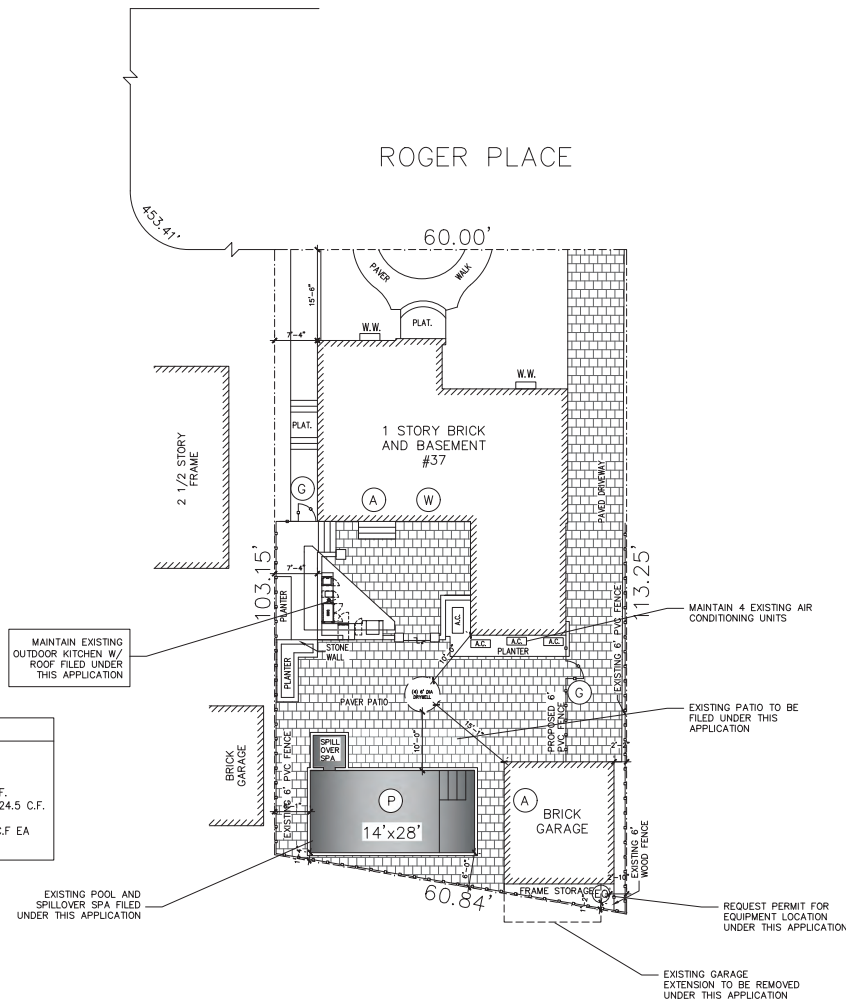
DRYWELL CALCULATION

AREA OF BACKYARD PAVED PATIO= 1,347 S.F.
 TOTAL AREA= 1,347 S.F.
 STORAGE VOLUME BASED ON 2" RAINFALL / S.F.
 STORAGE VOLUME= 1,347 S.F. X .1667 S.F.= 224.5 C.F.
 USE (4) 6' DIA. X 3' DEEP DRYWELL WITH 67 C.F. EA CAPACITY = 268 C.F. > 224.5 C.F. OK

TOTAL LOT SQUARE FOOTAGE (S.F.): 6,492				
EXISTING	MIN SIDE YARD: N/A	AGGREGATE SIDE YARD: N/A	FRONT YARD (S.F.): 1,185	REAR YARD (S.F.): 3,196
	LOT COVERAGE (S.F.): 2,270	LOT COVERAGE (%): 35%	REAR LOT COVERAGE (S.F.): 812	REAR LOT COVERAGE (%): 25.4%
	TOTAL BUILDING AREA (S.F.): 2,270	BUILDING HEIGHT (STORIES): 1		
PROPOSED	MIN SIDE YARD: N/A	AGGREGATE SIDE YARD: N/A	FRONT YARD: 1,185	REAR YARD: 3,196
	LOT COVERAGE (S.F.): 2,270	LOT COVERAGE (%): 35%	REAR LOT COVERAGE (S.F.): 812	REAR LOT COVERAGE (%): 25.4
	TOTAL BUILDING AREA (S.F.): 2,270	BUILDING HEIGHT (STORIES): 1		

REMSENS LANE

ROGER PLACE



ALL DIMENSIONS ARE TO BE FIELD VERIFIED

37 ROGER PLACE
 FLORAL PARK, NY 11001
 COUNTY OF NASSAU
 STATE OF NEW YORK

SUAZO
 RIZZARDI

SECTION 32
 BLOCK 50
 LOT 74,75,76

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ISSUED FOR:

BUILDING DEPT.

PROJECT NO.

12-02-24

DATE

SCALE AS NOTED

DRAWN BY LC



1924 Bellmore Avenue
 Bellmore, New York 11710
 Phone: (516) 785-4200
 Fax: (516) 785-9148

SEAL:



LIC # 077439
 ANDREW S. BRAUM, P.E.
 1924 BELLMORE AVE. BELLMORE, NY, 11710

DRAWING:

GENERAL NOTES &
 PLOT PLAN

PROJECT:

MAINTAIN INGROUND SWIMMING POOL, HOT TUB, EQUIPMENT, OUTDOOR KITCHEN W/ ROOF & PAVERS

DRAWING No.

AQ-1

PLOT PLAN
 SCALE: 1"=10'-0"

LEGEND

- FENCE
- - - - - PROPERTY LINE
- ▬ PROPOSED POOL

GENERAL STRUCTURAL NOTES

- ALL STUD FRAMING HAVING AN UNSUPPORTED HEIGHT OF MORE THAN 10 FEET IS TO HAVE STUD BRIDGING OR IS TO BE OTHERWISE BRACED IN AN APPROVED MANNER AT INTERVALS NOT EXCEEDING 8 FEET.
- ALL JOISTS SHALL HAVE CROSS BRIDGING 8' - 0" ON CENTER MAXIMUM OR SOLID BRIDGING.
- ALL STUD BEARING WALLS ARE TO HAVE STUD BRIDGING AT MID HEIGHT.
- ALL STUD MEMBERS SHALL BE DOUGLAS-FIR SELECT, STRUCTURAL 1b=1900 PSI, MODULUS OF ELASTICITY OF 1,760,000.
- ALL SHEATHING SHALL BE SPECIES GROUP ONE, EXTERIOR GRADE, THICKNESS AS INDICATED ON DRAWINGS.
- STRUCTURAL DESIGN IS DONE IN ACCORDANCE WITH AMERICAN FOREST AND PAPER ASSOCIATION (AF&PA) "WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS."
- INSTALL DIAGONAL BRACING AT CORNERS OF EXTERIOR STUD WALLS OR PLYWOOD SHEATHING NAILED TO COMPLY WITH BUILDING CODE REQUIREMENTS.
- FLASH, CAULK AND SEAL ALL JUNCTIONS OF NEW ROOFING, WALLS AND PENETRATIONS, TO FORM A WATERIGHT ASSEMBLY, ALL FLASHING TO BE 16 OUNCE COPPER SHEETING AND EXTEND AT LEAST 8" ABOVE INTERSECTING SURFACES.
- ALL WALL SHEATHING SHALL BE 1/2" CDX PLYWOOD UNLESS OTHERWISE NOTED.
- GYPSUM BOARD ON WALLS TO BE U.S. GYPSUM 1 LAYER OF 5/8" WITH ALL JOINTS TAPED AND SPACKLED 3 COAT JOB.

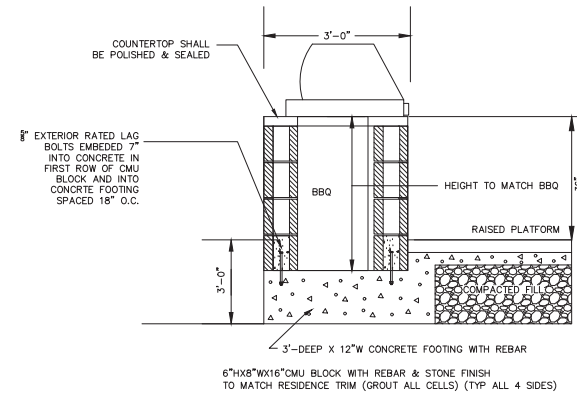
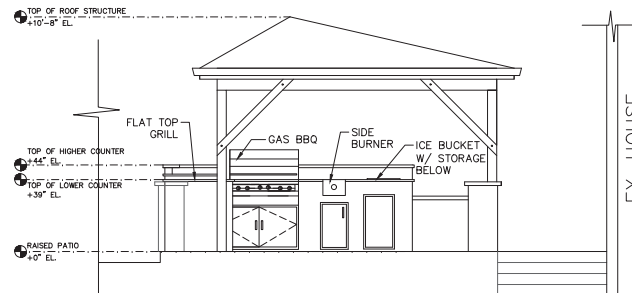
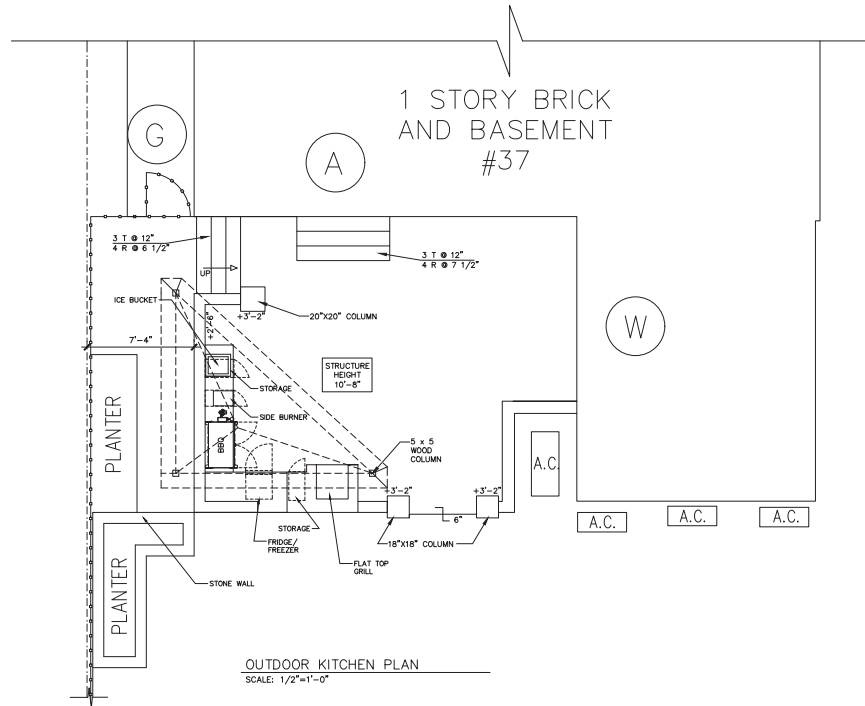
NOTE TO CONTRACTOR

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL NEW CONSTRUCTION IS STAKED OUT BY A LICENSED LAND SURVEYOR AND ALL REQUIRED SETBACKS ARE FIELD CHECKED AND APPROVED BY A LICENSED LAND SURVEYOR PRIOR TO THE START OF ANY CONSTRUCTION. FOUNDATION SURVEY TO BE PROVIDED TO LOCAL BUILDING AUTHORITY PRIOR TO THE START OF CONSTRUCTION.

G.C. TO TEMP. SHORE/PROTECT EXISTING STRUCTURE DURING THE REMOVAL OF THE EXISTING STRUCTURE UNTIL NEW CONSTRUCTION IS ERECTED. PRIOR TO REMOVALS V.I.F. ALL EXISTING CONDITIONS

FOUNDATION NOTES

- ALL CONCRETE WORK SHALL CONFORM TO AC1318 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS AND AC1301 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- ALL CONCRETE SHALL BE 3500 PSI. CONTROLLED STONE OR GRAVEL CONCRETE, AIR ENTRAINED WHERE EXPOSED, UON.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, UON.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WITH A MINIMUM ULTIMATE STRENGTH OF 70,000 PSI, UON.
- MINIMUM CONCRETE COVERING OF REINFORCING STEEL SHALL BE AS FOLLOWS:
 - 1" FOR INTERIOR WALLS
 - 1 1/2" FOR FORMED CONCRETE SURFACES EXPOSED TO WEATHER
 - 2" FOR FORMED CONCRETE SURFACES EXPOSED TO EARTH
 - 3" FOR FOOTINGS AND BEAMS POURED DIRECTLY AGAINST SOIL
- NON-SHRINK GROUT SHALL BE NON-METALLIC WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI.
- PROVIDE PROPER HIGH CHAIRS, SPACERS AND SUPPORTS TO HOLD REINFORCING SECURELY IN PLACE WHILE PLACING CONCRETE.
- MAXIMUM DIMENSION OF ANY CONTINUOUS CONCRETE POUR SHALL NOT EXCEED 20 FEET IN ANY DIRECTION.
- PROVIDE WATERSTOPS AT ALL CONSTRUCTION JOINTS BELOW GRADE LEVEL.
- CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE MIXES.
- COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 306.
- PROVIDE EXPANSION CONTROL AND CONSTRUCTION JOINTS AS REQUIRED BY APPLICABLE SECTIONS OF ACI 301-84.



ALL DIMENSIONS ARE TO BE FIELD VERIFIED

37 ROGER PLACE
FLORAL PARK, NY 11001

COUNTY OF NASSAU
STATE OF NEW YORK

SUAZO
RESIDENCE

SECTION 32
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LOT 74,75,76

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DRAWING:

OUTDOOR
KITCHEN PLAN,
ELEVATIONS
& SECTION

PROJECT:

MAINTAIN INGROUND SWIMMING POOL, HOT TUB, EQUIPMENT, OUTDOOR KITCHEN W/ ROOF & PAVERS

DRAWING No.

A-1

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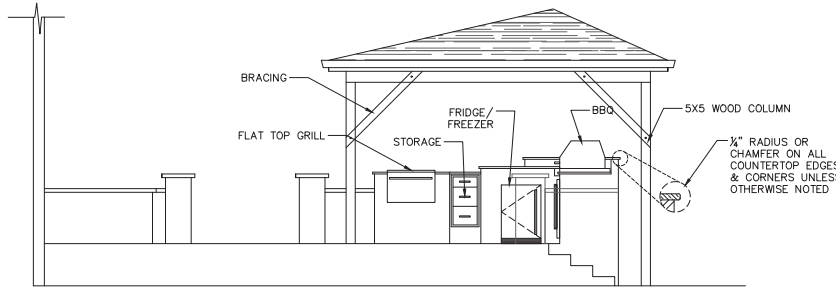
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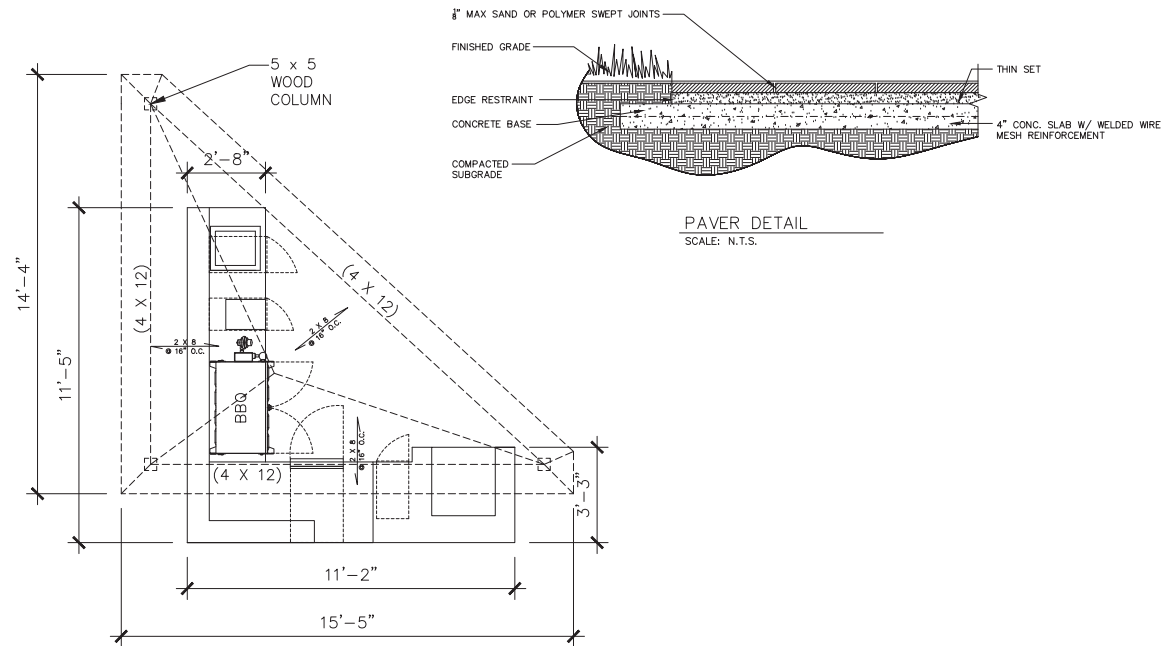
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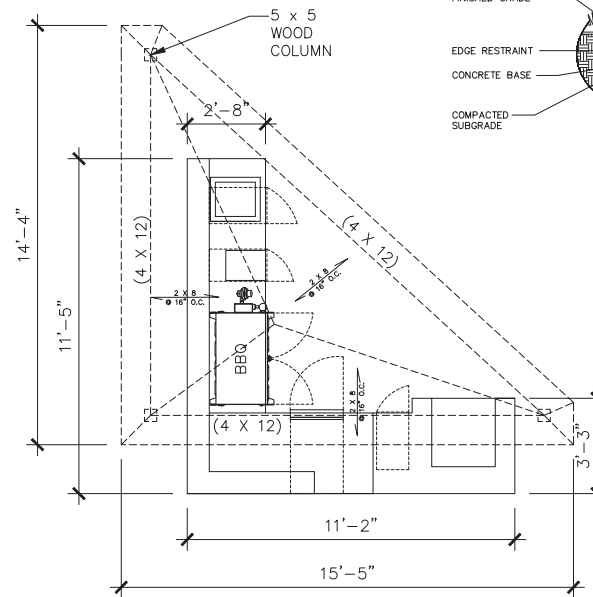
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 - 2" FOR FORMED CONCRETE SURFACES EXPOSED TO EARTH
 - 3" FOR FOOTINGS AND BEAMS POURED DIRECTLY AGAINST SOIL
- NON-SHRINK GROUT SHALL BE NON-METALLIC WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI.
- PROVIDE PROPER HIGH CHAIRS, SPACERS AND SUPPORTS TO HOLD REINFORCING SECURELY IN PLACE WHILE PLACING CONCRETE.
- MAXIMUM DIMENSION OF ANY CONTINUOUS CONCRETE POUR SHALL NOT EXCEED 20 FEET IN ANY DIRECTION.
- PROVIDE WATERSTOPS AT ALL CONSTRUCTION JOINTS BELOW GRADE LEVEL.
- CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE MIXES.
- COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 306.
- PROVIDE EXPANSION CONTROL AND CONSTRUCTION JOINTS AS REQUIRED BY APPLICABLE SECTIONS OF ACI 301-84.



OUTDOOR KITCHEN ELEVATION - 'B'
SCALE: 1/2"=1'-0"



PAVER DETAIL
SCALE: N.T.S.



OUTDOOR KITCHEN
SCALE: NOT TO SCALE

ALL DIMENSIONS
ARE TO BE FIELD VERIFIED

37 ROGER PLACE
FLORAL PARK, NY 11001

COUNTY OF NASSAU
STATE OF NEW YORK

SUAZO
RESIDENCE

SECTION 32
BLOCK 50
LOT 74,75,76

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ISSUED FOR:

BUILDING DEPT.

PROJECT NO.

DATE 12-02-24

SCALE AS NOTED

DRAWN BY LC



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Phone: (516) 785-4200
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SEAL:



LIC # 077439
ANDREW S. BRAUM, P.E.
1924 BELLMORE AVE. BELLMORE, NY, 11710

DRAWING:

OUTDOOR
KITCHEN PLAN,
ELEVATIONS
& PAVER DETAIL

PROJECT:

MAINTAIN INGROUND
SWIMMING POOL, HOT TUB,
EQUIPMENT, OUTDOOR
KITCHEN W/ ROOF &
PAVERS

DRAWING No.

A-2