



ARCHITECTURAL & PRELIMINARY SITE PLAN REVIEW BOARD

MICHAEL F. LONGOBARDI – VILLAGE TRUSTEE LIAISON
TIMOTHY T. TWEEDY, P.E. – CHAIRMAN
JOHN LOCKWOOD
ANTHONY KRUYNSKI
ROGER KUEHNLENZ
EDWARD CHATTERTON

RENEE MARCUS, AIA – SUPERINTENDENT OF BUILDINGS
LUCILLE LANGONE – SECRETARY

FEBRUARY 19, 2025

8:00 pm

Note Location: Recreation Center/Pool Building

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
1	8:00 p.m.	360	Jericho Turnpike	Sign	Stacyann Alyssa Powell	Dezant Signs
2	8:10 p.m.	1	North Tyson Avenue	Sign	1 North Tyson LLC	Dezant Signs
3	8:20 p.m.	347	Plainfield Avenue	Second Story Dormers	Arthur Walsh	Demetris Demetriou
4	8:30 p.m.	244	Floral Boulevard	Rear Addition	Joel Domow	Bobby K Architects
5	8:40 p.m.	157	Geranium Avenue	Re-submission: New Garage	David & Rosalie Lozano	Andrew Braum & Laura Coletti
6	8:50	141, 143, 145	Emerson Avenue	Re-submission: Change in Material	Kuldeep S Waralch	

Questions about the projects can be emailed to ARB@FPVillage.org prior to the meeting to allow for the Village and Applicant to be prepared with answers.

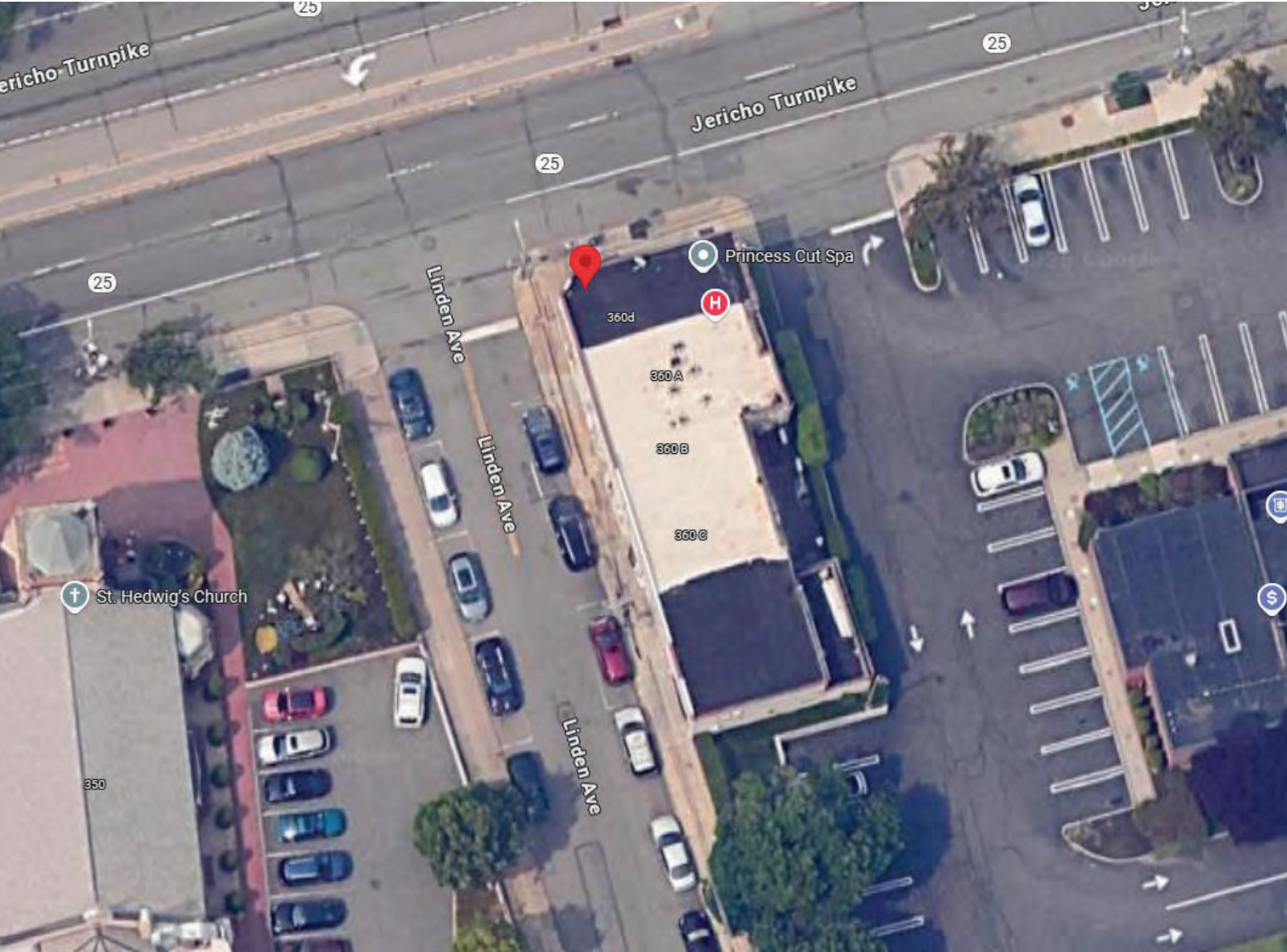
Supporting documents will be posted to the Architectural Review Board web page at least 24 hours prior to the meeting.

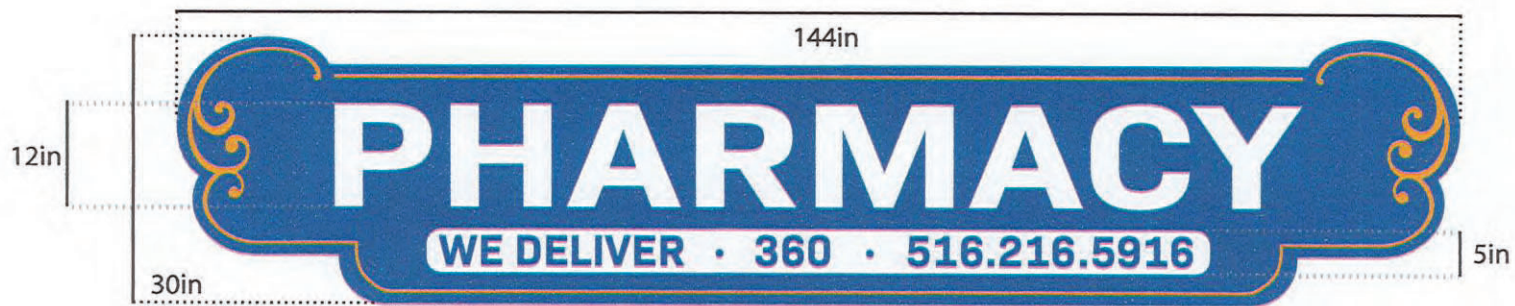
Click [here](#) for the ARB webpage.

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
1	8:00 p.m.	360	Jericho Turnpike	Sign	Stacyann Alyssa Powell	Dezant Signs



360 Jericho Turnpike (Aerial View)





Vinyl letters on backer panel

DeZant

Signs & Printing

Design • Fabrication • Installation
 Awnings, Light Boxes, Channel Letters,
 Job-Site Signs, Wood Signs,
 Truck Lettering & more

516-771-9241

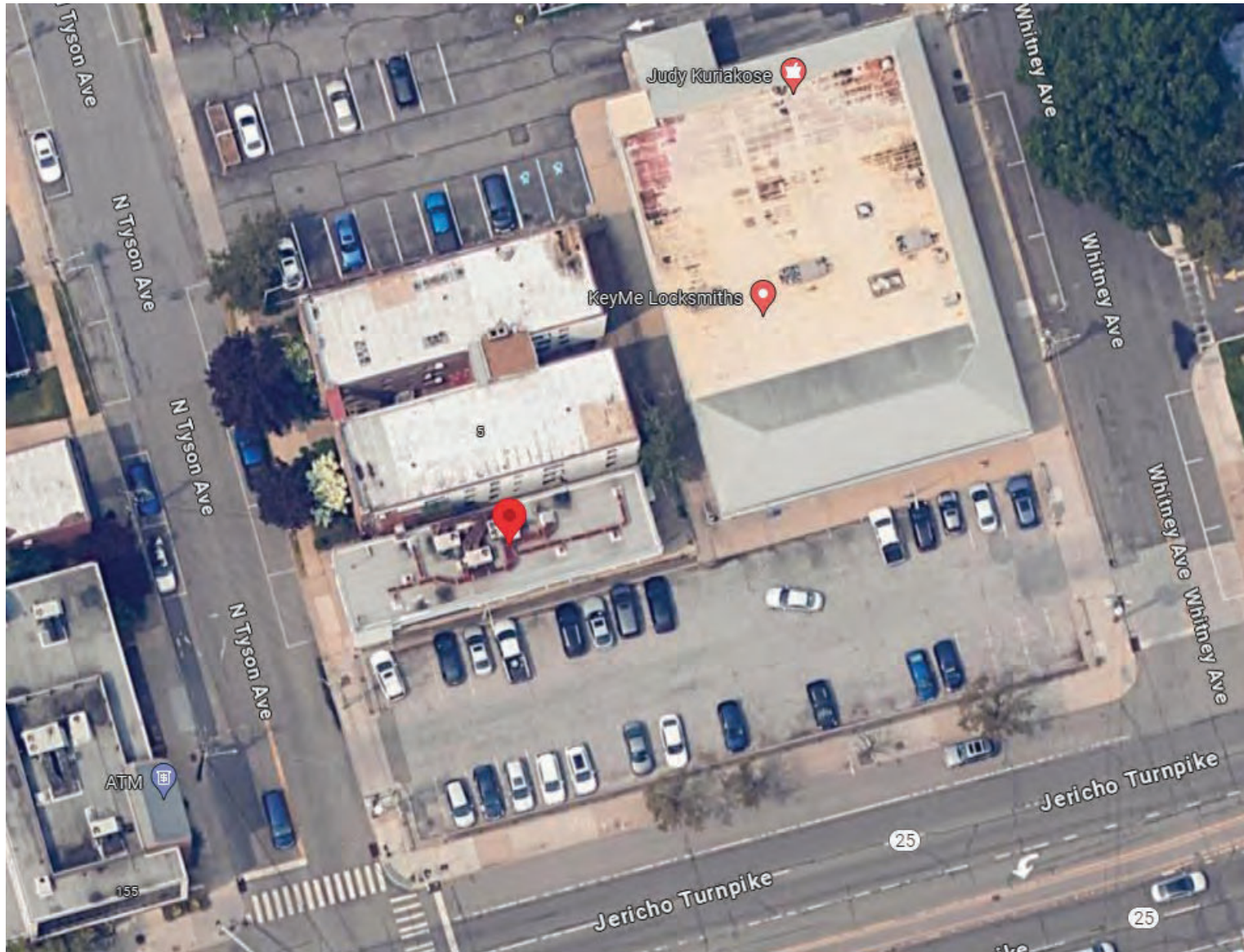
32 Cherry Lane Floral Park, NY 11001

www.dezantsigns.com

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
2	8:10 p.m.	1	North Tyson Avenue	Sign	1 North Tyson LLC	Dezant Signs



1 North Tyson Avenue (Aerial View)







-  C:100 M:0 Y:0 K:0
-  C:0 M:100 Y:100 K:0
-  C:100 M:0 Y:100 K:0
-  C:0 M:0 Y:100 K:0
-  C:0 M:0 Y:0 K:100

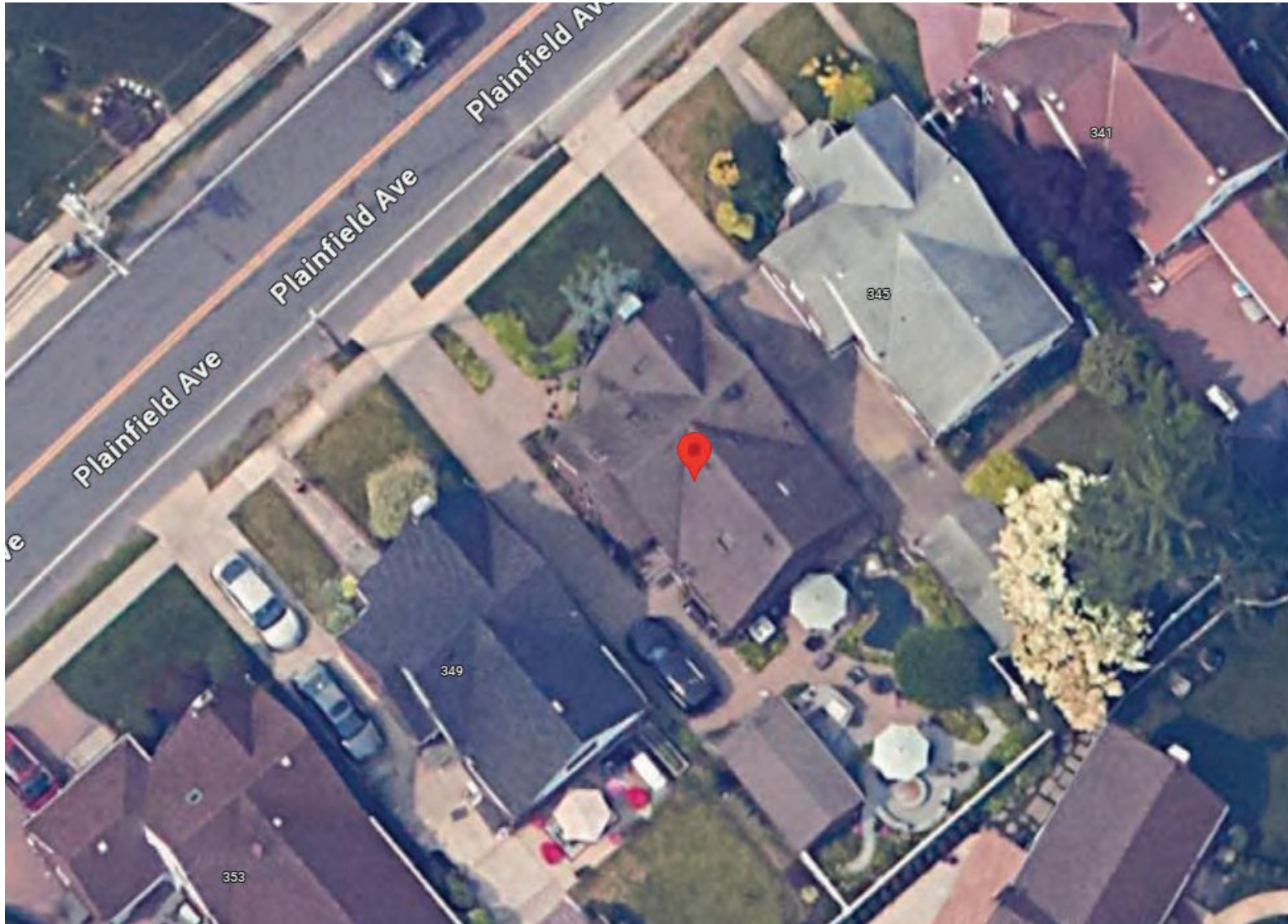




Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
3	8:20 p.m.	347	Plainfield Avenue	Second Story Dormers	Arthur Walsh	Demetris Demetriou



347 Plainfield Avenue (Aerial View)





FRONT (N-W) VIEW



RIGHT SIDE & FRONT VIEWS

347 PLAINFIELD AVENUE



LEFT (N-E) VIEW

347 PLAINFIELD AVENUE

RIGHT (S-W) VIEW





ADJACENT NEIGHBORS

347 PLAINFIELD AVENUE

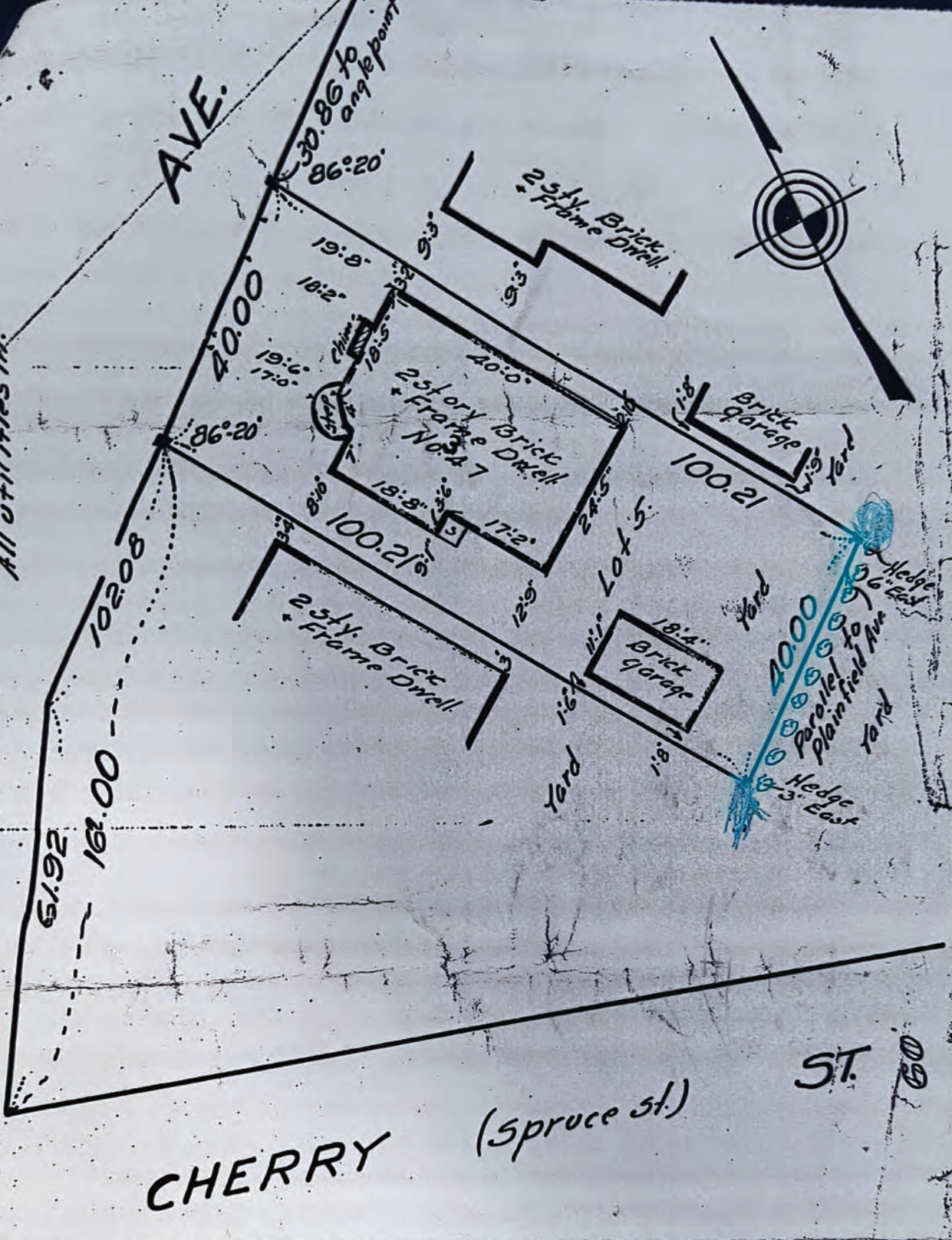
No sewer or curb. Road
 sidewalk laid to Village Estab.
 Grade Elev. of first floor 3.9 above walk
 All utilities in.

PLAINFIELD

AVE.

CHERRY (Spruce St)

ST. 60



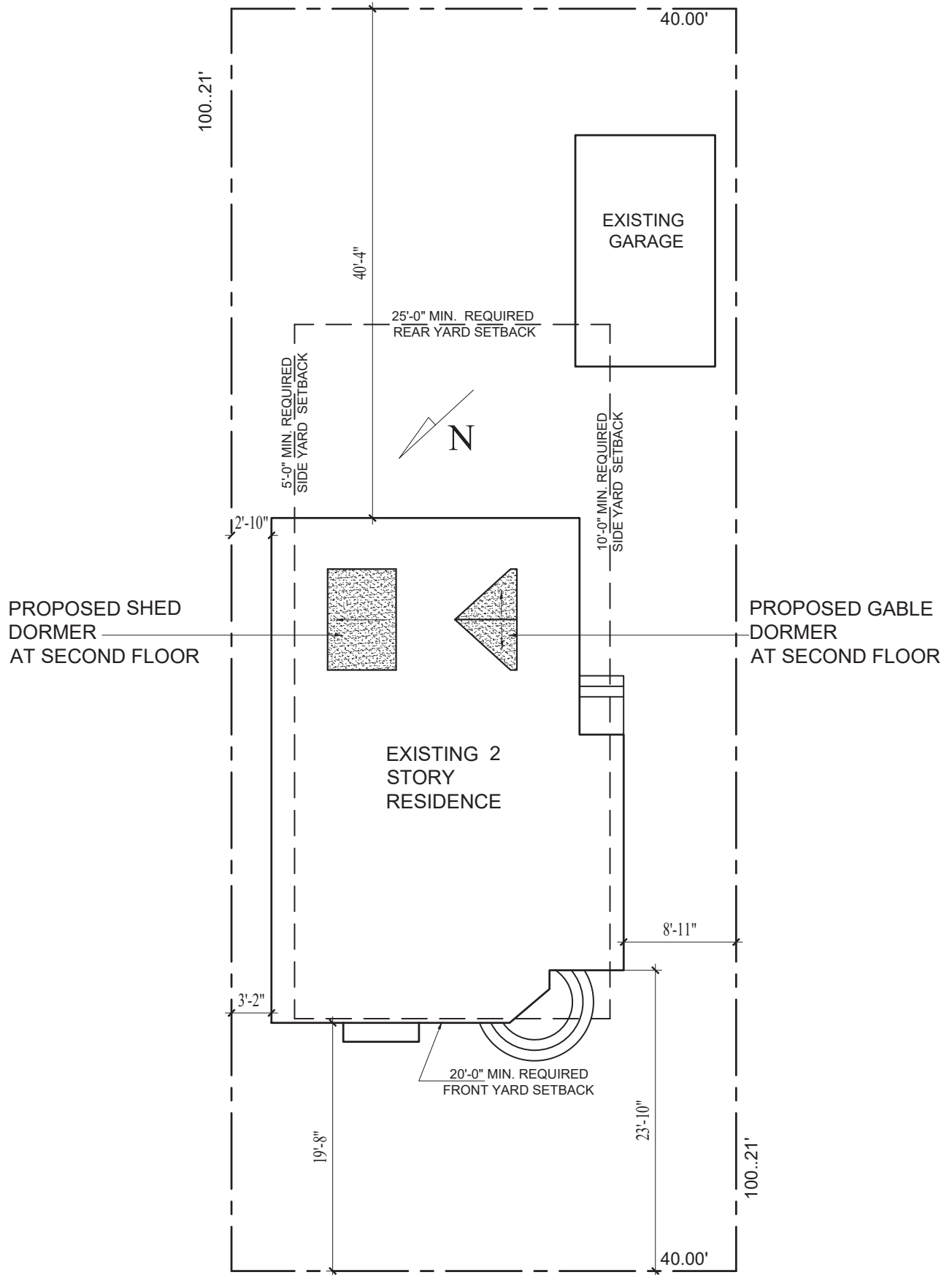
LOT NOS. REFER TO *Amended Map of Blk. 16, Map of Floral Park Village*
 GUARANTEED TO *The Inter County Title Guaranty + Mortgage Co.*
 and *The Federal Housing Administrator.*

SURVEYED *Sept. 21, 1937*
William H. Parry INC.
 N. Y. S. S.

WILLIAM H. PARRY, INC.
 CIVIL ENGINEERS, CITY SURVEYORS
 161-10 JAMAICA AVENUE
 JAMAICA, N. Y. C.

Floral Park
 NASSAU COUNTY, N. Y.

N. B. 211. 28361

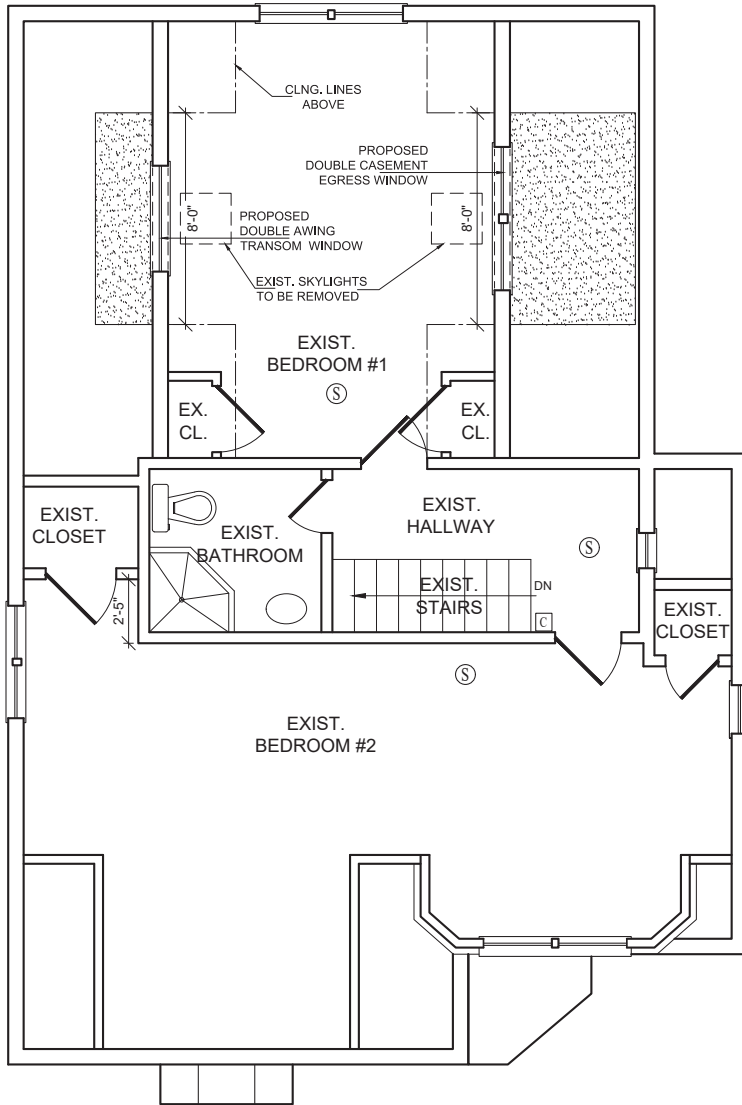


PLAINFIELD AVENUE

SITE PLAN

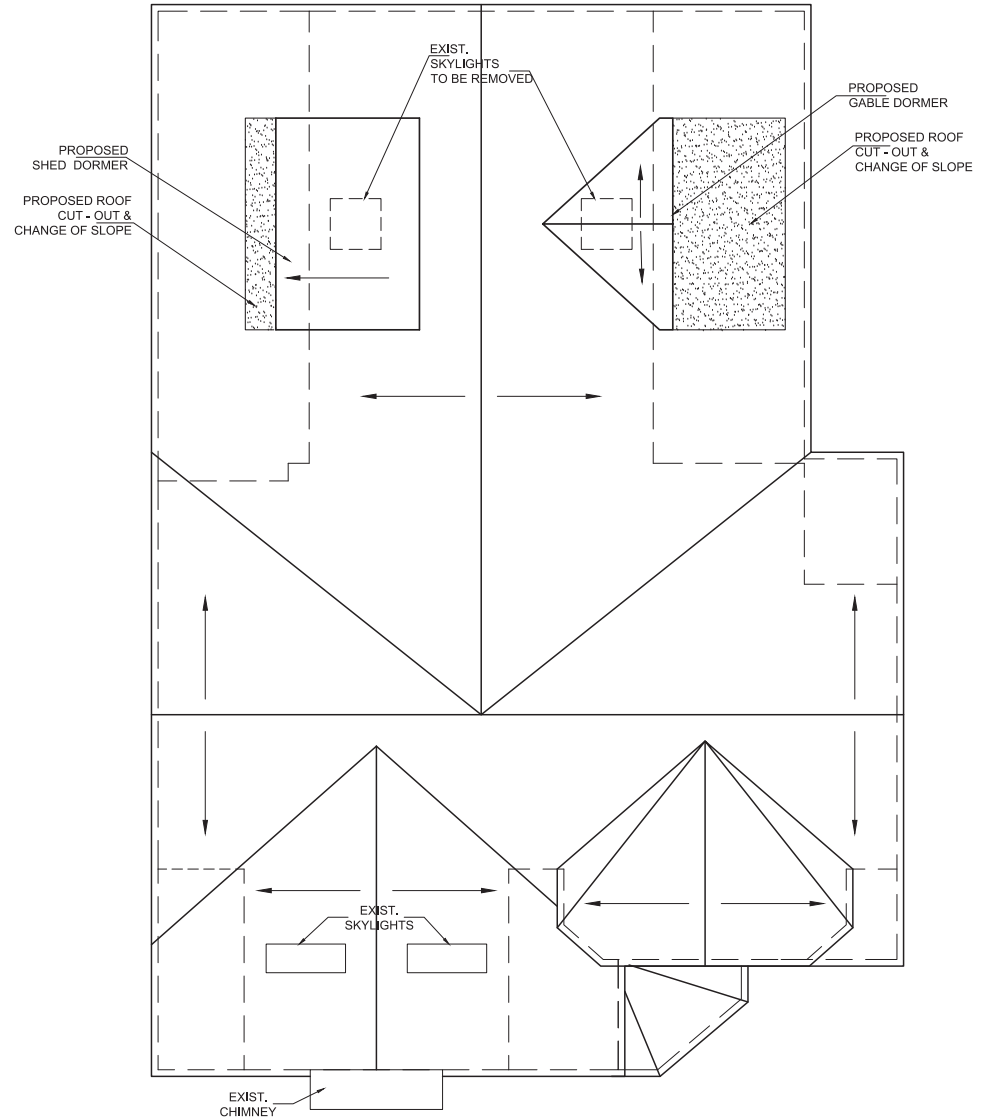
SCALE: 3/16" = 1'-0"

SITE PLAN INFORMATION TAKEN FROM
 SURVEY DRAWN
 by LIC. SURVEYOR WILLIAM H. PARRY,
 DATED: 9-21-1937



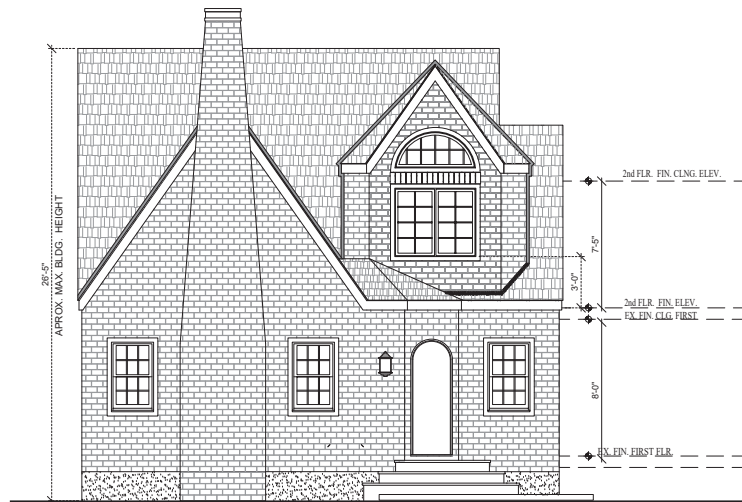
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

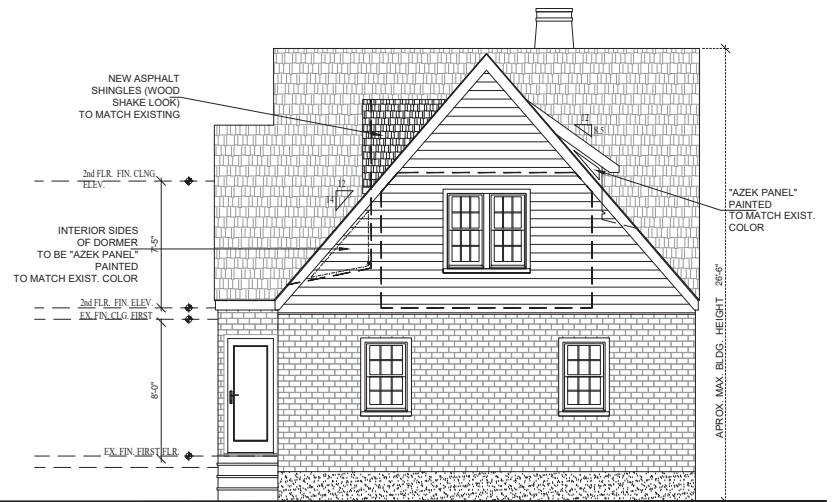


ROOF PLAN

SCALE: 1/4" = 1'-0"



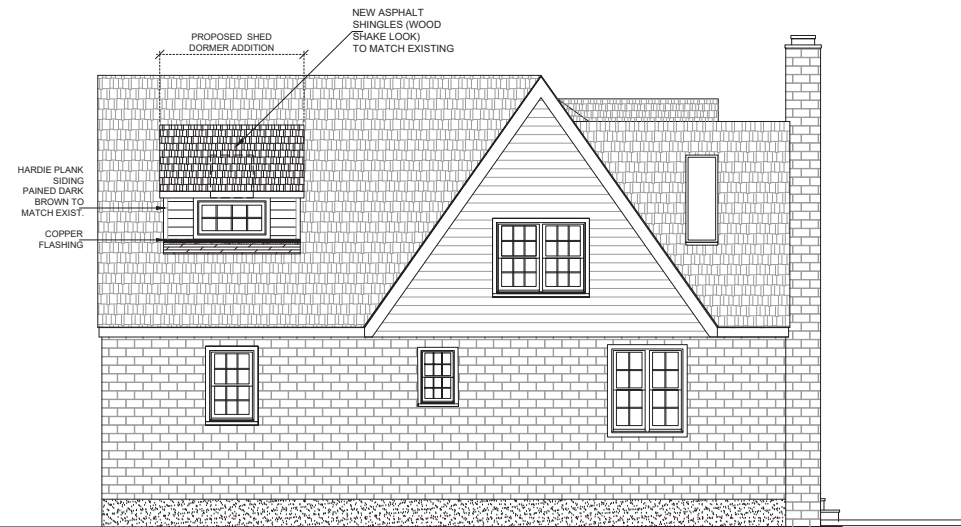
FRONT (N-W) ELEVATION SCALE: 1/4"=1'-0" NO CHANGES



REAR (S-E) ELEVATION SCALE: 1/4"=1'-0"



RIGHT SIDE (S-W) ELEVATION SCALE: 1/4"=1'-0"



LEFT SIDE (N-E) ELEVATION SCALE: 1/4"=1'-0"



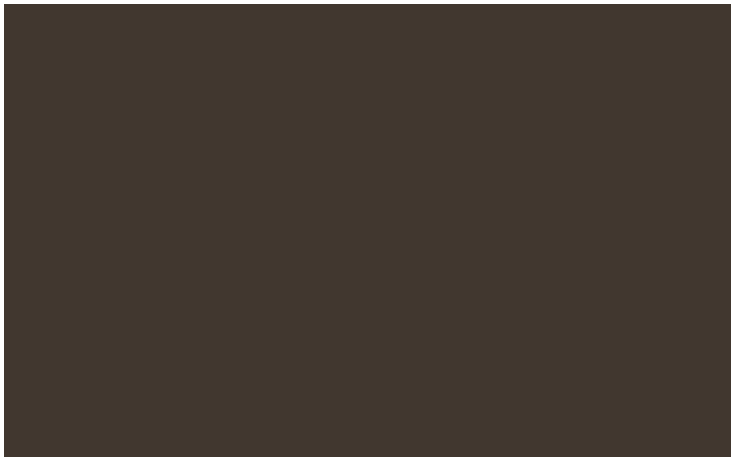
WINDOWS : WOOD w ALUM
EXTERIOR CLADDING

DOUBLE GLAZED, LOW "E"
BY "ANDERSEN" OR EQUAL
color:DARK BRONZE



ROOFING : "GRAND CANYON "
(wood shake look)

ASPHALT SHINGLES by GAF
color: STONEWOOD



HARDIE PLANK SIDING

color: BITTERSWEET
CHOCHOLATE 2114-10 by
Benjamin Moore to match existing



FASCIA by "ANDERSEN"
color: DARK BRONZE
ALUMINUM

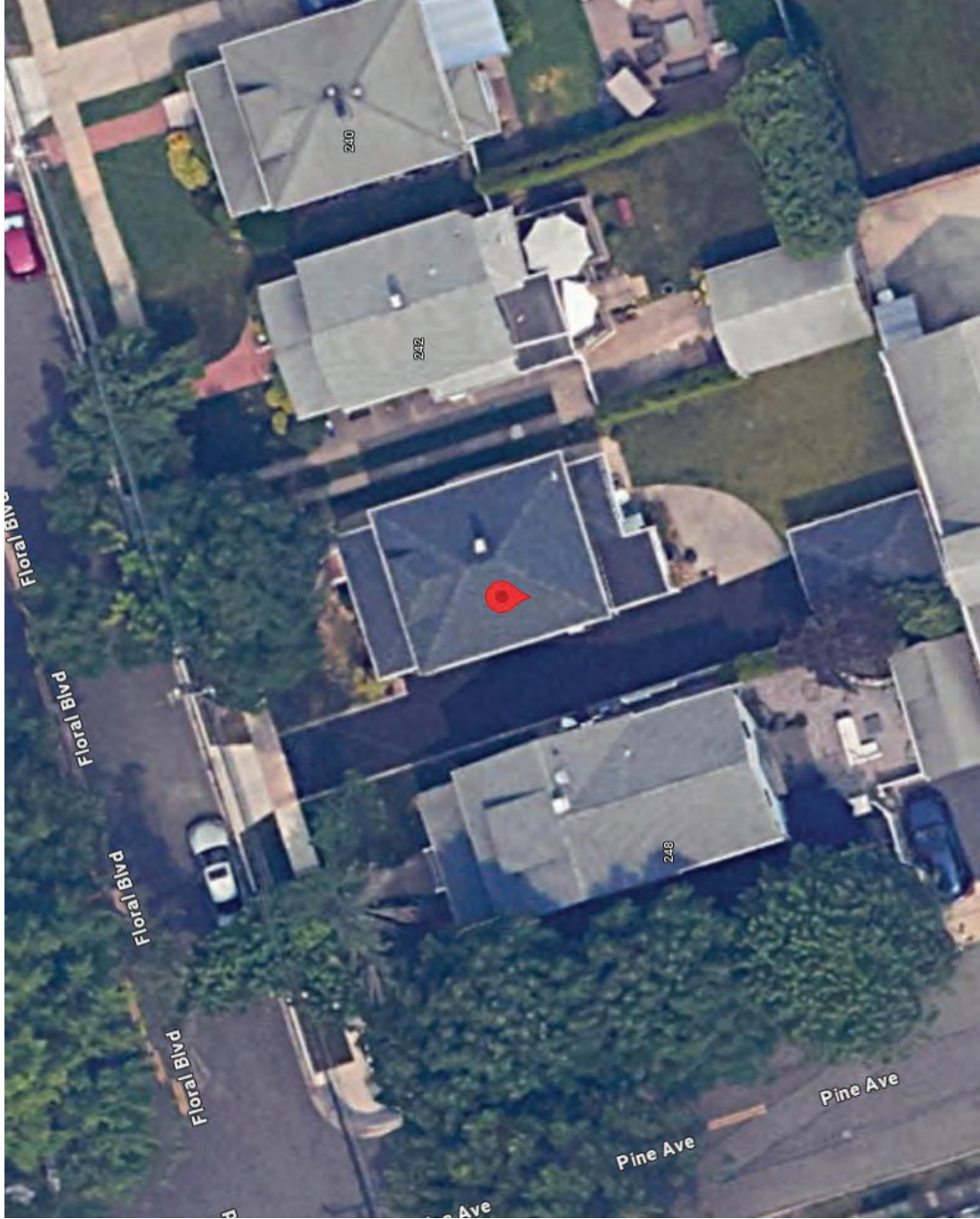
Exterior MATERIAL

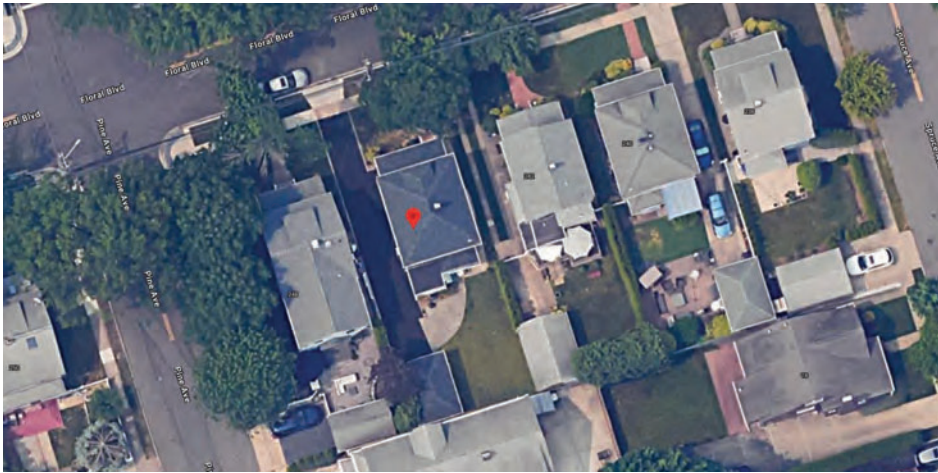
347 PLAINFIELD AVENUE

Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
4	8:30 p.m.	244	Floral Boulevard	Rear Addition	Joel Domow	Bobby K Architects



244 Floral Boulevard (Aerial View)



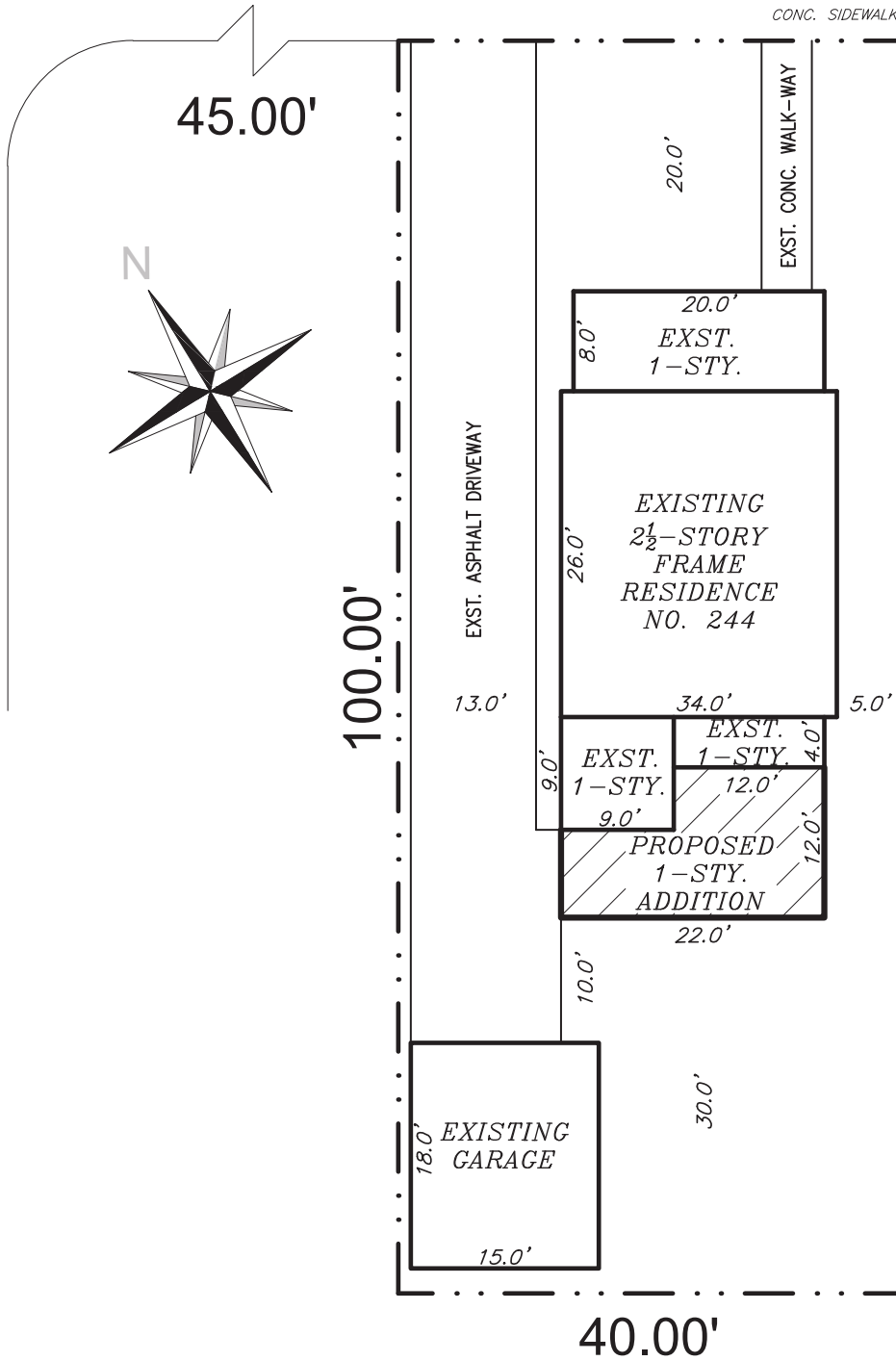
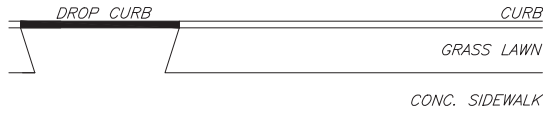
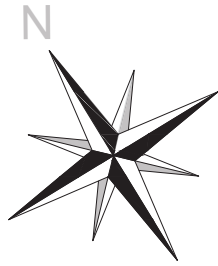


Domow Residence
244 Floral Boulevard
Floral Park, New York 11001

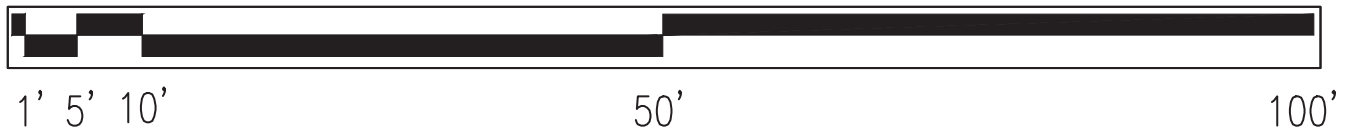


FLORAL BOULEVARD

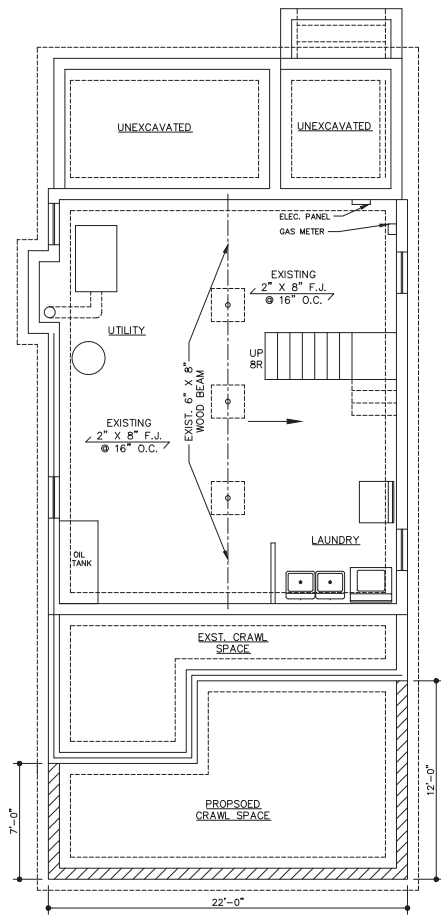
PINE AVENUE



GRAPHIC SCALE

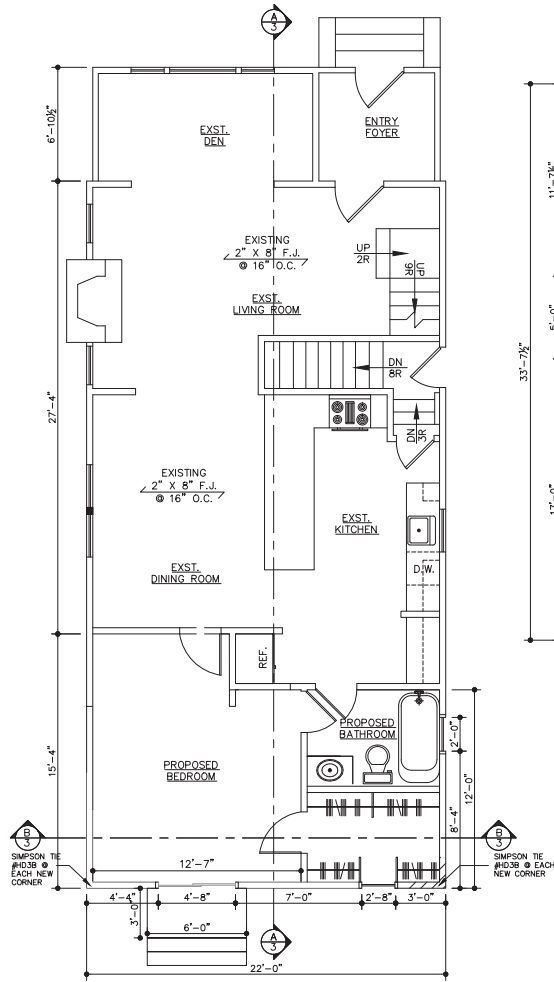


A SITE MAP
SCALE: N.T.S.



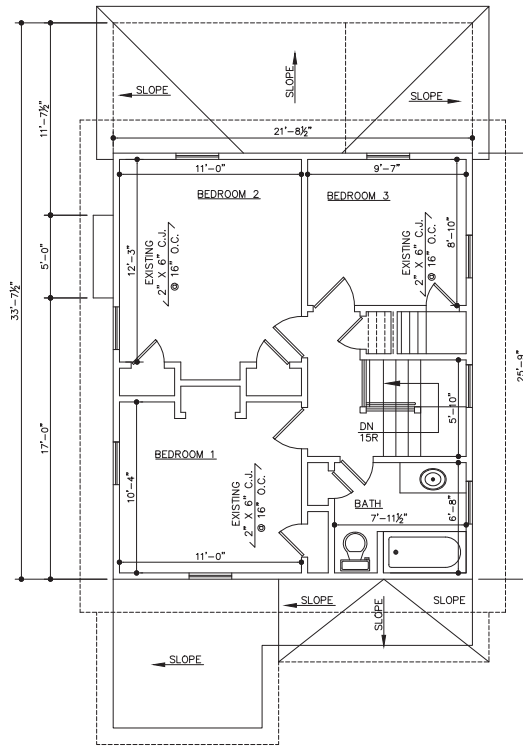
BASEMENT PLAN

SCALE: 1/4" = 1'-0"



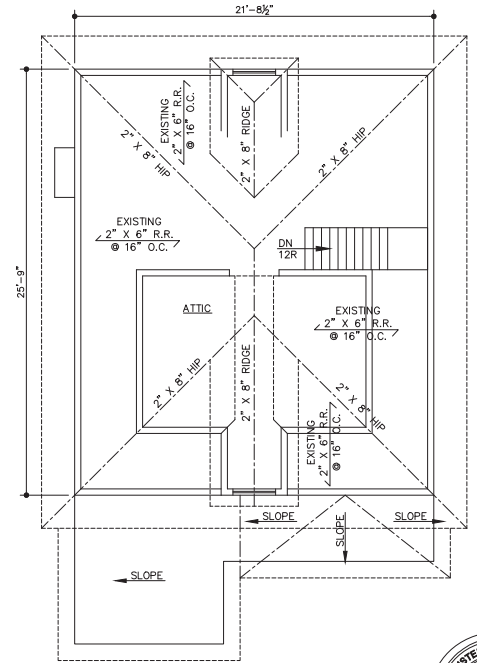
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

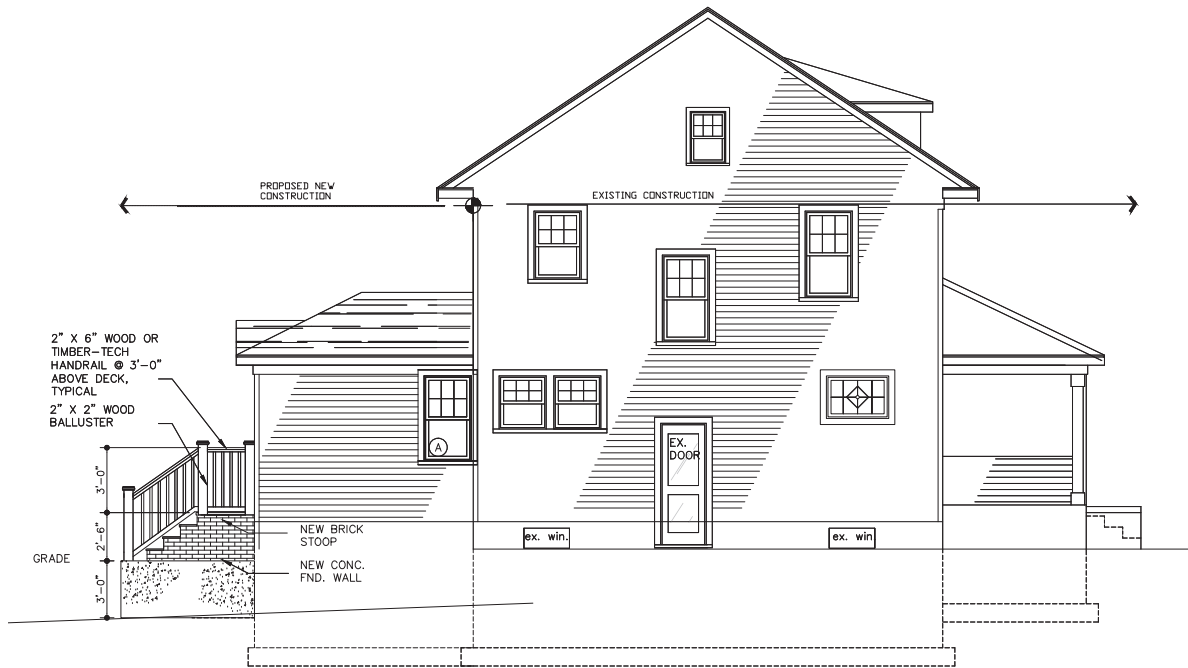


ROOF PLAN

SCALE: 1/4" = 1'-0"

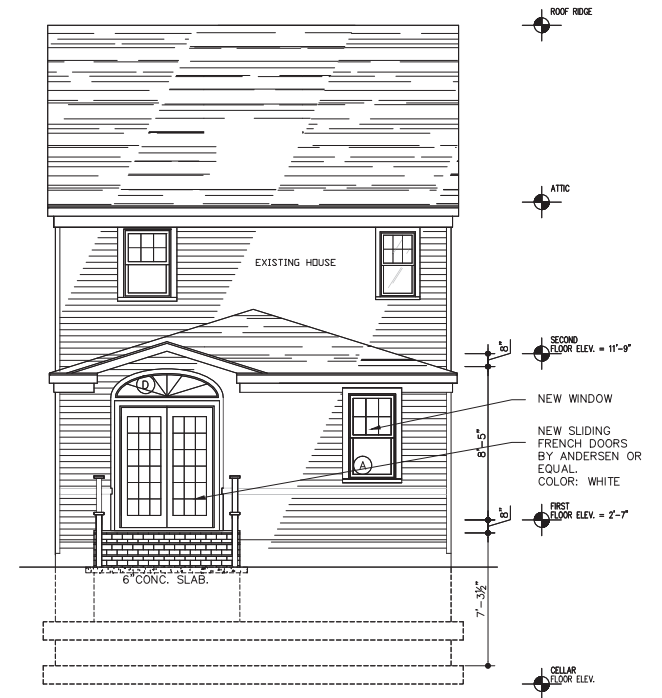


NO.	DATE	ISSUES/REVISIONS
01	01/14/24	ISSUED FOR CLIENT REVIEW



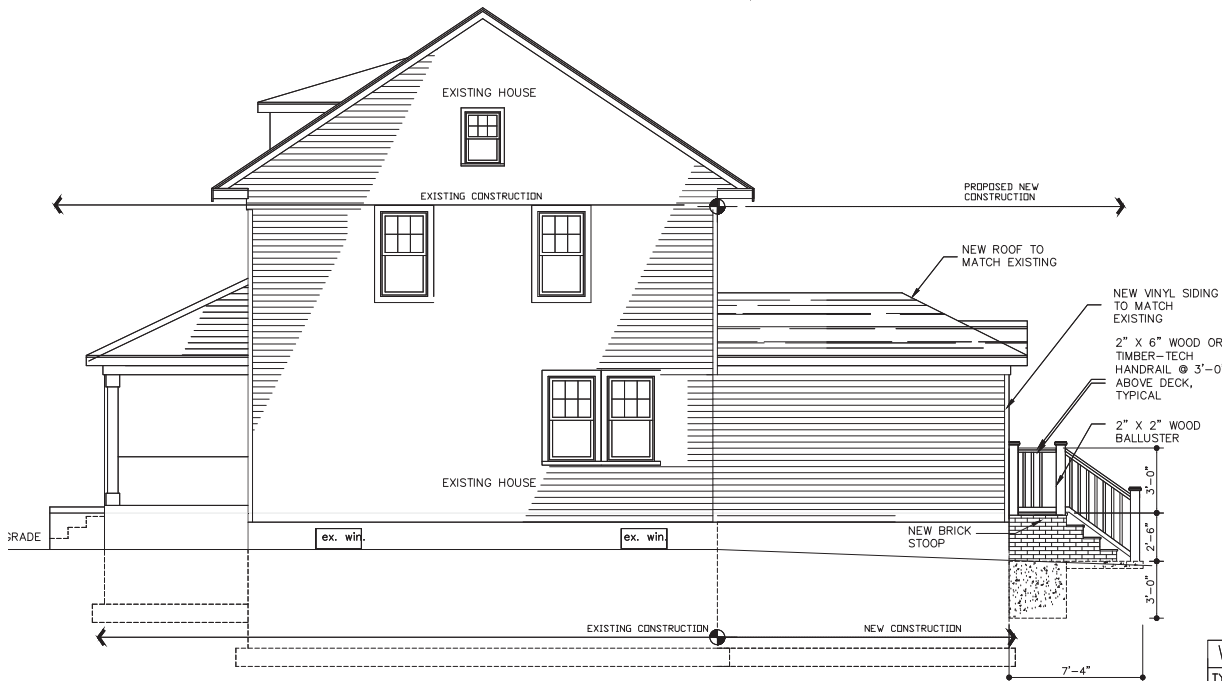
EAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE
1	R	0.75	0.25	30
2	0.40	0.65	0.25	38
3	0.35	0.55	0.40	38
4 EXCEPT MARINE	0.35	0.55	NR	49
5 AND MARINE 4	0.32	0.55	NR	49
6	0.32	0.55	NR	49
7 AND 8	0.32	0.55	NR	49

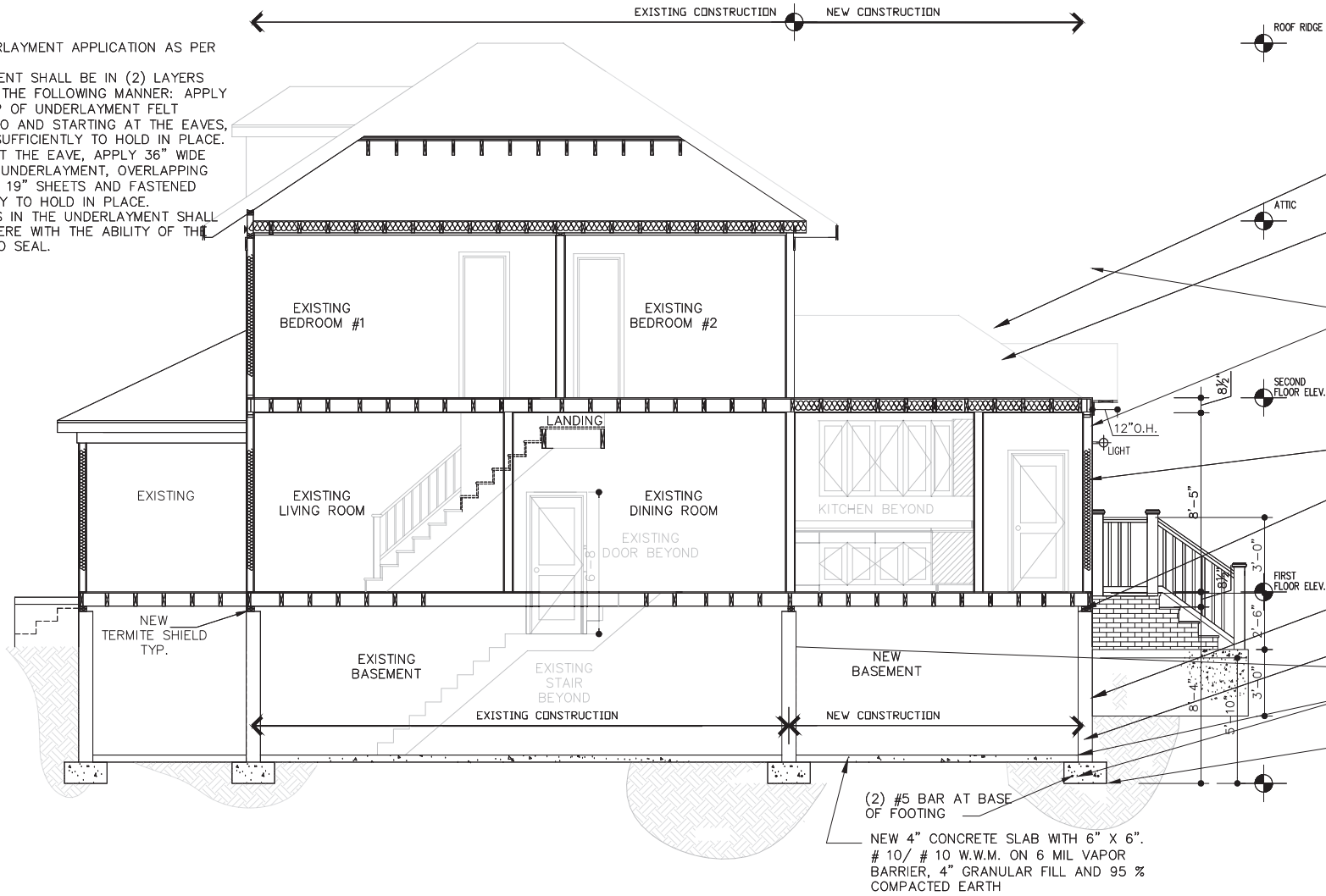
EXTERIOR FINISH SCHEDULE

1	ROOFING	CHARCOAL GAF ROOF SHINGLES
2	SIDING	CEDAR IMPRESSIONS ROUGH SPLIT SHAKE (CHAF
3	SIDING A	SINGLE 8" ROUGH CEDAR BOARD & BATTER (NA
4	SIDING B	CORONADO HONEY LEDGE (CARMEL MOUNTAIN)
5	SIDING C	DOUBLE 6" ROUGH CEDAR CLAPBOARD (NATURA
6	TRIM A	RESTORATION EXTERIOR MILLWORK (WHITE)
7	TRIM B	FYPON PVC TAPERED COLUMN WRAP (WHITE)
8	COLUMN	FYPON PVC DELUXE RAIL WITH COLONIAL SPINDL

WINDOW SCHEDULE

TYPE	OPERATION	MATERIAL	WIDTH	HEIGHT	MANUFACTURER	HEADER HEIGHT	COLOR	REMARK
A	DOUBLE HUNG	VINYL	3'-2"	4'-9"	ANDERSON	7'-0"	BY OWNER	MODEL 3
B	DOUBLE HUNG	VINYL	3'-2"	4'-9"	ANDERSON	8'-0"	BY OWNER	MODEL 3
C	DOUBLE HUNG	VINYL	2'-2"	3'-4"	ANDERSON	7'-0"	BY OWNER	MODEL 3

NOTE: UNDERLAYMENT APPLICATION AS PER 905.2.7
 UNDERLAYMENT SHALL BE IN (2) LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY A 19" STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE. STARTING AT THE EAVE, APPLY 36" WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE 19" SHEETS AND FASTENED SUFFICIENTLY TO HOLD IN PLACE. DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL.



- ASPHALT ROOF SHINGLES ON 15 lb FELT VAPOR BARRIER ON 3/4" EXTERIOR GRADE PLYWOOD SHEATHING SECURED TO ROOF RAFTERS, SEE PLAN FOR SIZE
- 1/2" GYPSUM BOARD SECURED TO ROOF RAFTER, INSTALL R-30 FIBERGLASS BATT INSULATION
- NEW VINYL SIDING ON 1/2" POLYSTYRENE RIGID INSULATION SECURED TO 3/4" EXTERIOR GRADE PLYWOOD SHEATHING ON 2" X 4" WOOD STUDS WITH 1/2" GYPSUM BOARD FINISH AND R-15 FIBERGLASS BATT INSULATION
- SIMPSON STRONG TIE # C16
- (2) - 2" X 6" TREATED WOOD SILL SECURED TO 8" CONCRETE WALL WITH 5/8" DIA. X 16" LONG STEEL ANCHOR BOLTS @ 32" O.C. INSTALL TERMITE SHIELD
- # 10/ # 10 W.W.M. ON 6 MIL VAPOR BARRIER
- 8" POURED CONCRETE FOUNDATION WALL W/ 2" RIGID INSULATION
- 1/2" PREMOLD EXPANSION JOINT, TYPICAL FOR ALL SLAB PERIMETER
- 2'-0" X 12" DEEP CONCRETE FOOTING WITH 2" X 4" KEYWAY AND (2) #5 REBAR CONTINUOUS ON UNDISTURBED EARTH

A SECTION A
 SCALE: 1/4" = 1'-0"



Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
5	8:40 p.m.	157	Geranium Avenue	Re-submission: New Garage	David & Rosalie Lozano	Andrew Braum & Laura Coletti

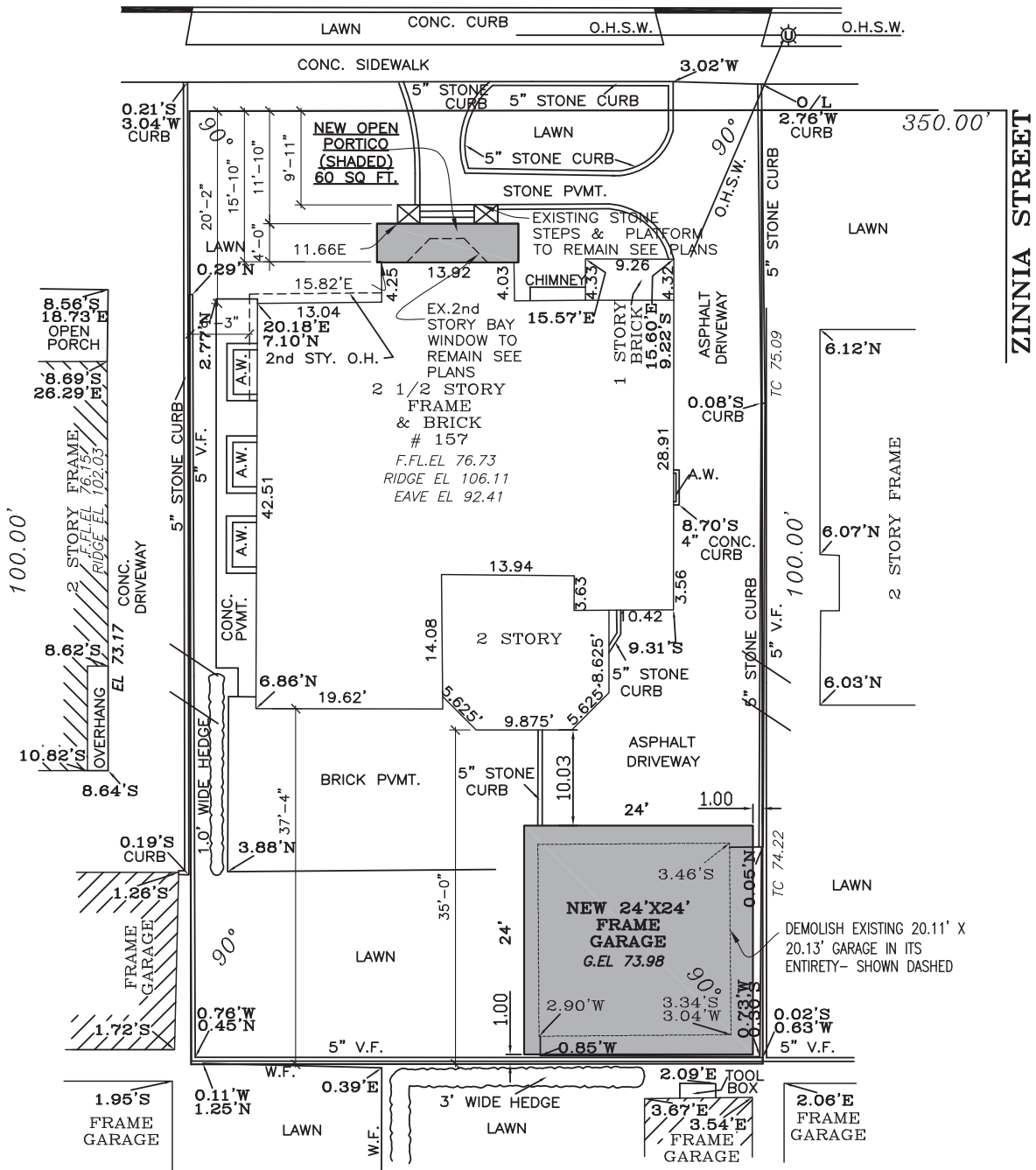
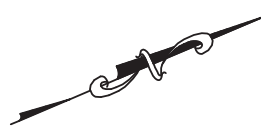


157 Geranium Avenue (Aerial View)



GERANIUM AVENUE

60.00'

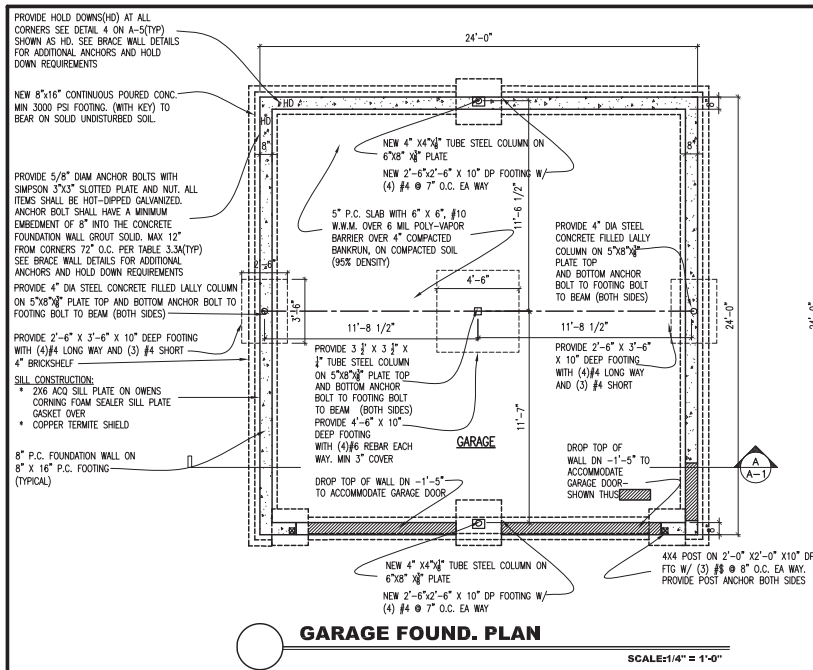


SITE PLAN

THIS PLAN IS FOR REFERENCE ONLY.

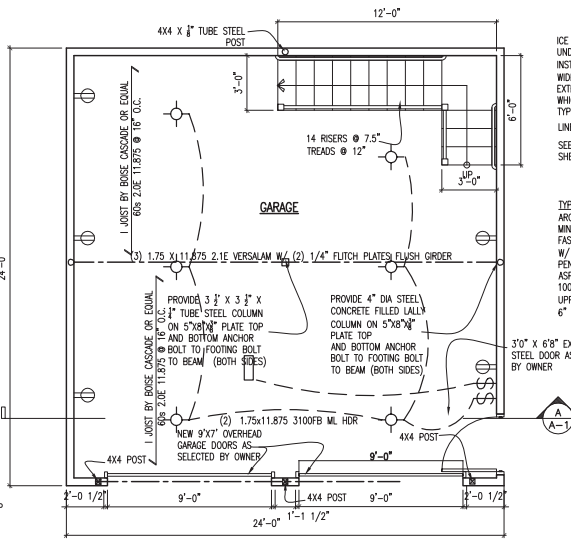
PREVIOUS SUBMISSION

SCALE: 10'-0" = 1'-0"



GARAGE FOUND. PLAN

SCALE: 1/4" = 1'-0"

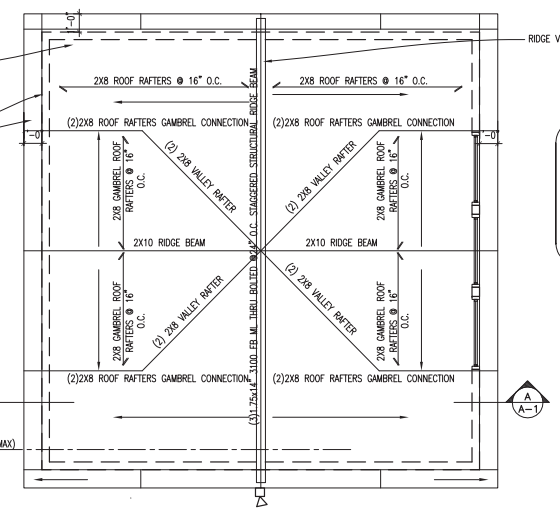


GARAGE PLAN

SCALE: 1/4" = 1'-0"

ICE AND WATER SHIELD UNDERLAYMENT SHALL BE INSTALLED A MINIMUM OF 36" WIDE OR 24" PAST THE EXTERIOR FACE OF WALL, WHICHEVER IS GREATER. TYPICAL.
 LINE OF BUILDING BELOW SEE ROOFING NOTES-THIS SHEET

TYPICAL ROOFING:
 ARCHITECTURAL FIBERGLASS SHINGLE W/ MIN OF 6 FASTENERS PER SHINGLE. FASTENERS TO BE MIN. 12 GAUGE SHANK W/ 3/8" MIN DIAMETER HEAD TO PENETRATE THROUGH SHEATHING. ASPHALT-SATURATED FELT 14 LBS. PER 100 SF. APPLIED HORIZONTALLY WITH THE UPPER LAYER OVER LOWER MIN 2" LAPP 6" AT JOINTS. 1/2" PLYWOOD SHEATHING



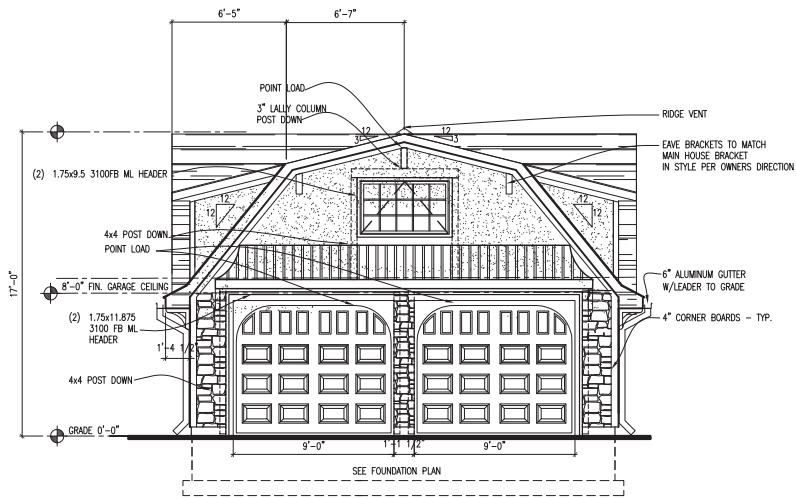
GARAGE ROOF PLAN

SCALE: 1/4" = 1'-0"

PREVIOUS SUBMISSION

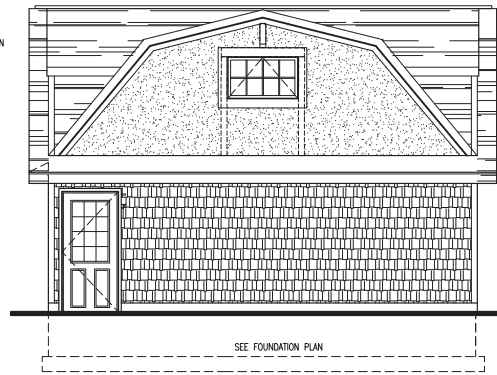
WINDOW SCHEDULE											
TAG	TYPE	MANUFACTURER	MODEL NUMBER	ROUGH OPENING WIDTH X HEIGHT	REGRESS WIDTH	CLEAR OPENING AREA	REGRESS WIDTH	ROUGH OPENING AREA SQ FT	NRFC CERT U-VALUE	SHGC	REMARKS
(A)	PICTURE	ANDERSEN	AFFW503		NO				.30	.31	

ROOFING NOTES:	
NEW ROOFING:	SEE ROOFING SCHEDULE FOR ALL ROOFING MATERIALS TO BE USED. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



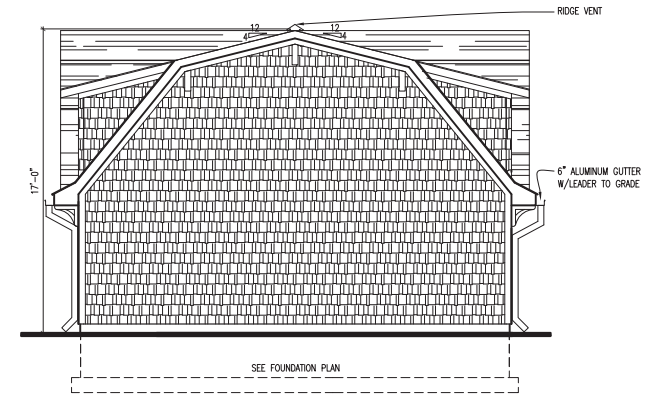
FRONT ELEVATION REV 6-11-24

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION REV 6-11-24

SCALE: 1/4" = 1'-0"

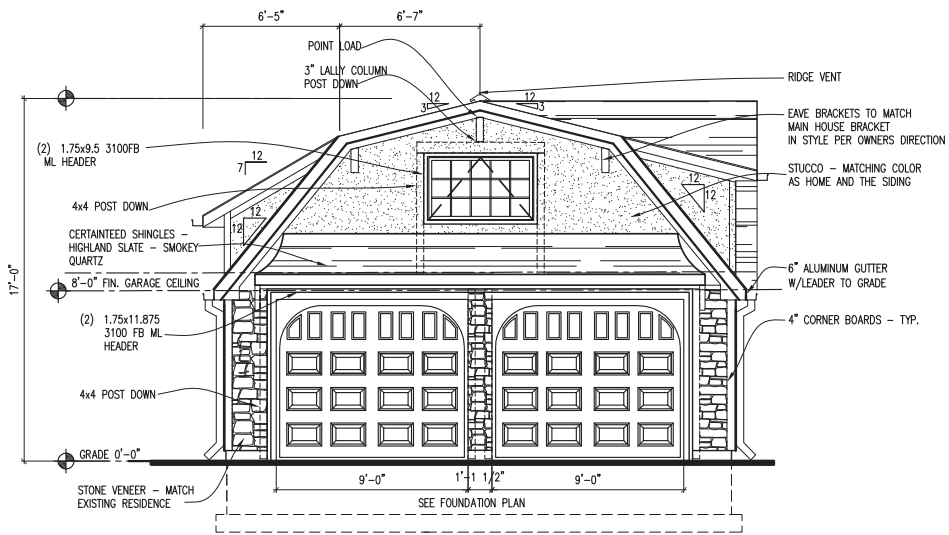


REAR ELEVATION REV 6-11-24

SCALE: 1/4" = 1'-0"

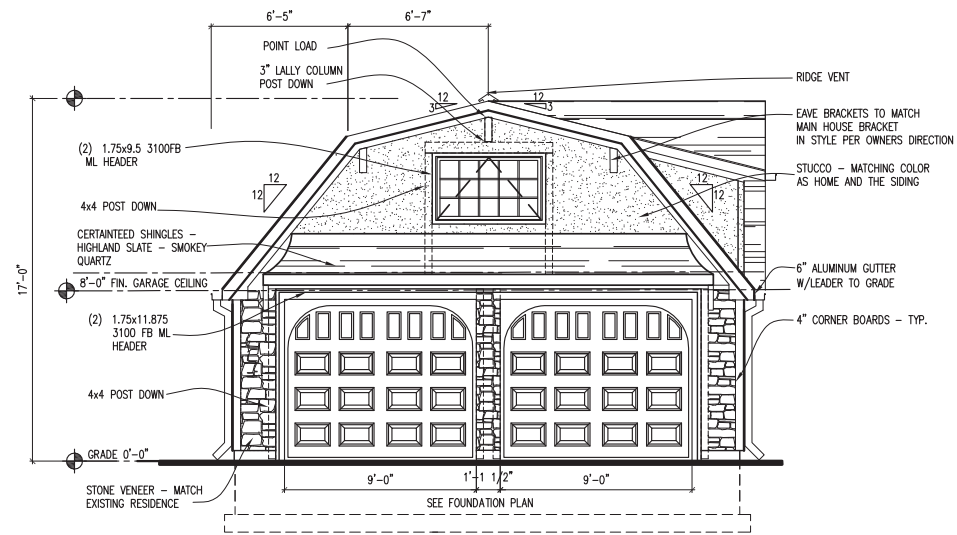
- NEW ROOF CONSTRUCTION (TYPICAL)**
- NEW 30 YR ARCHITECTURAL SHINGLES (SELECTED BY OWNER)
 - 30 LB BUILDING FELT (36" WIDE GAF "WEATHER WATCH/STORM GUARD" AT EAVES, PEAKS, AND VALLEYS), OVER
 - 3" CDX PLYWOOD SHEATHING, OVER
 - 2x8 ROOF RAFTERS @16" O.C.
 - PROVIDE 2x8 GAMBREL RAFTERS WITH PLATE CONNECTORS
 - ICE AND WATER SHIELD UNDERLAYMENT SHALL BE INSTALLED
 - MINIMUM 1/2" WIDE AND 1/4" DEPT TIE EXTENDING EACH END

PREVIOUS SUBMISSION



FRONT ELEVATION - OPTION "A"

SCALE: 1/4" = 1'-0"



FRONT ELEVATION - OPTION "B"

SCALE: 1/4" = 1'-0"

CURRENT SUBMISSION

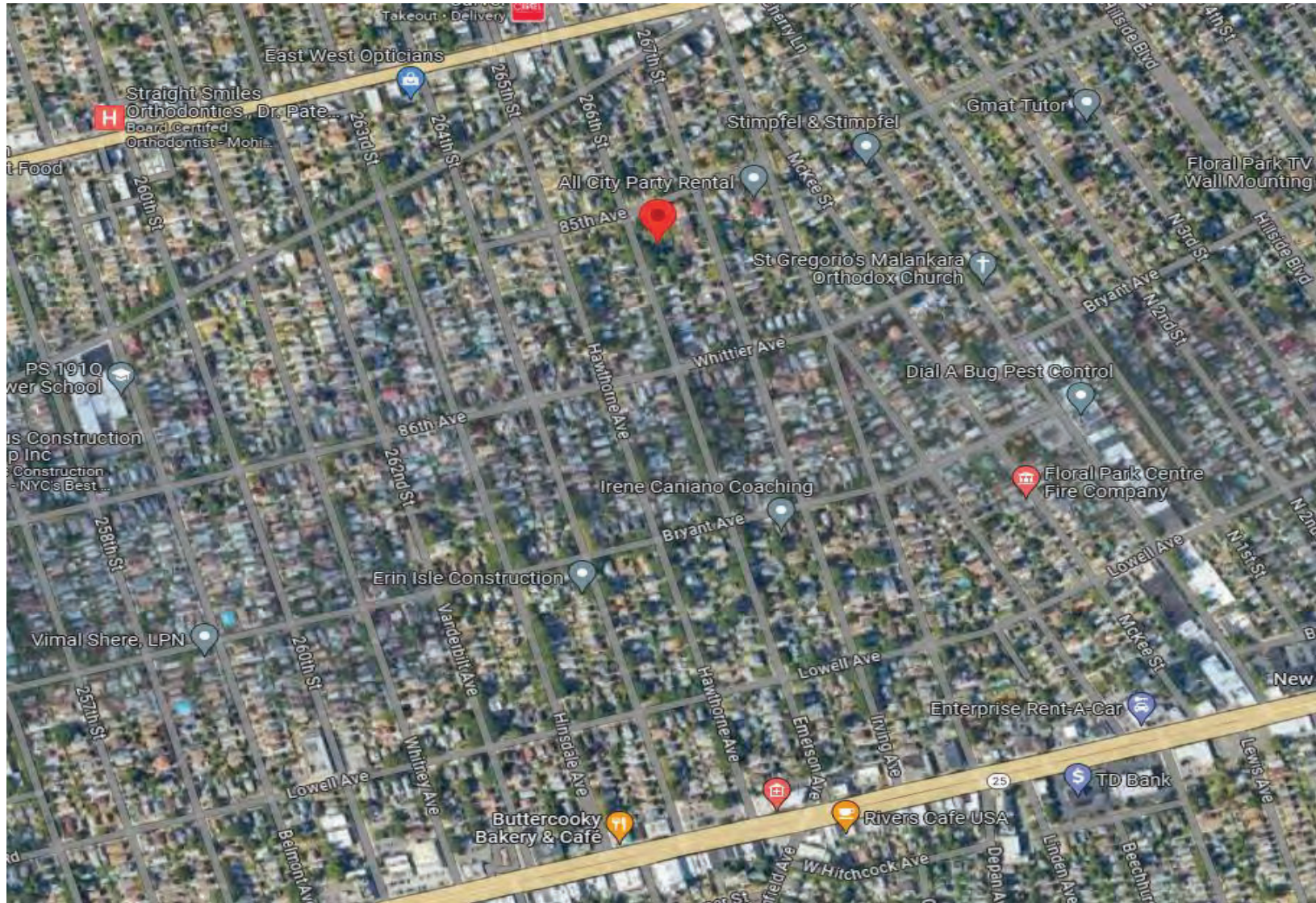
Case No.	Approximate Time	Address #	Street	Description	Owner	Design Professional
5	8:50 p.m.	141,143,145	Emerson Avenue	Re-submittal	Kuldeep Waraich	William Cook, RA



141,143,145 Emerson Avenue (Side View)



141,143,145 Emerson Avenue (Aerial View)





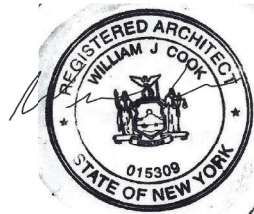
1 FACADES
188-23 SCALE 1/8" = 1'



NOTES	
REVISED	DATE
SHEET CONTENT	
WILLIAM J COOK RA <small>EMAIL: BILLCOOKRA@ICLOUD.COM</small> <small>435 MAPLE AVE.</small> <small>WESTBURY, NY, 11590</small> <small>516-820-9732</small>	
DRAFTED BY: DVC	
PROJECT NAME AND ADDRESS:	
NEW HOUSE AND GARAGE FOR 141 EMERSON AVE, FLORAL PARK NY	
DATE 8/14/23	SHEET # 19 OF 19
AS SPECIFIED	ARB-19



1 WEST ELEVATION
 VRS:JF SCALE 1/8" = 1'



NOTES:

NO.	REVISION/ISSUE	DATE

SHEET CONTENT:

**WILLIAM J COOK
 RA**
 EMAIL: BILLCOOKRA@ICLOUD.COM
 435 MAPLE AVE.
 WESTBURY, NY, 11590
 516-820-9732

DRAFTED BY: DVC

PROJECT NAME AND ADDRESS:
 NEW HOUSE AND GARAGE FOR
 141 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23 SHEET # 15 OF 19

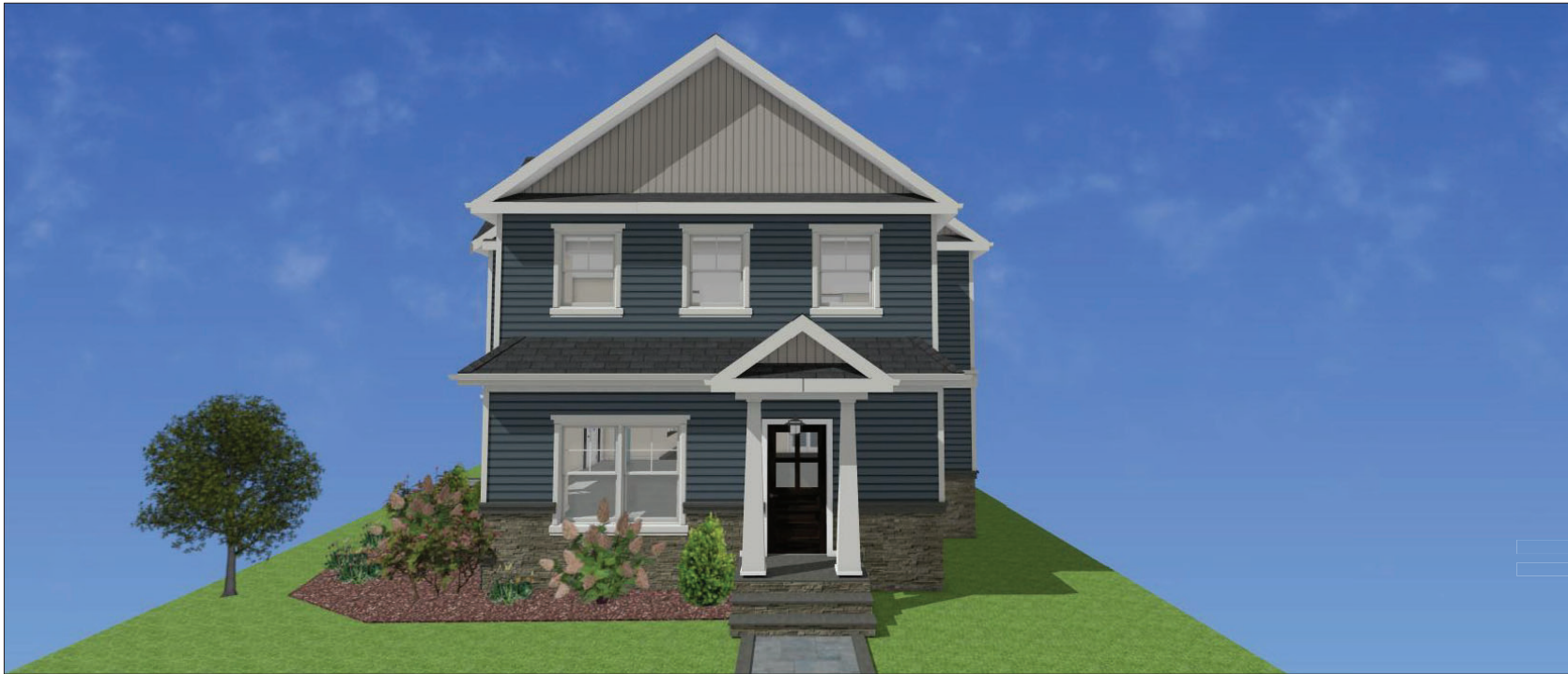
ARB-15
 AS SPECIFIED



EVERETT
PREMIUM NON-WOVEN HOUSEWRAP
THE HOME DEPOT
EVERETT
PREMIUM NON-WOVEN HOUSEWRAP
EVERETT
PREMIUM NON-WOVEN HOUSEWRAP
EVERETT
PREMIUM NON-WOVEN HOUSEWRAP

WOOD
WASTE
RECYCLING

ANDERSEN



1 WEST ELEVATION
 ARB-18 SCALE 1/8" = 1'

NOTES:

REV 12/1/23	
REVISION/ISSUE	DATE

SHEET CONTENT:

**WILLIAM J COOK
 RA**
 EMAIL: BILLCOOKRA@ICLOUD.COM
 435 MAPLE AVE.
 WESTBURY, NY, 11590
 516-820-9732

DRAFTED BY: DVC

PROJECT NAME AND ADDRESS:
 NEW HOUSE AND GARAGE FOR
 145 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23 SHEET # 18 OF 22

ARB-18
 AS SPECIFIED





NOTES:

Blank area for notes.

REVISION	ISSUE	DATE
REV 12/1/23		

SHEET CONTENT:

Blank area for sheet content.

**WILLIAM J COOK
RA**

EMAIL: BILLCOOKRA@ICLOUD.COM
435 MAPLE AVE.
WESTBURY, NY, 11590
516-820-9732

DRAFTED BY: DVC

Blank area for project name and address.

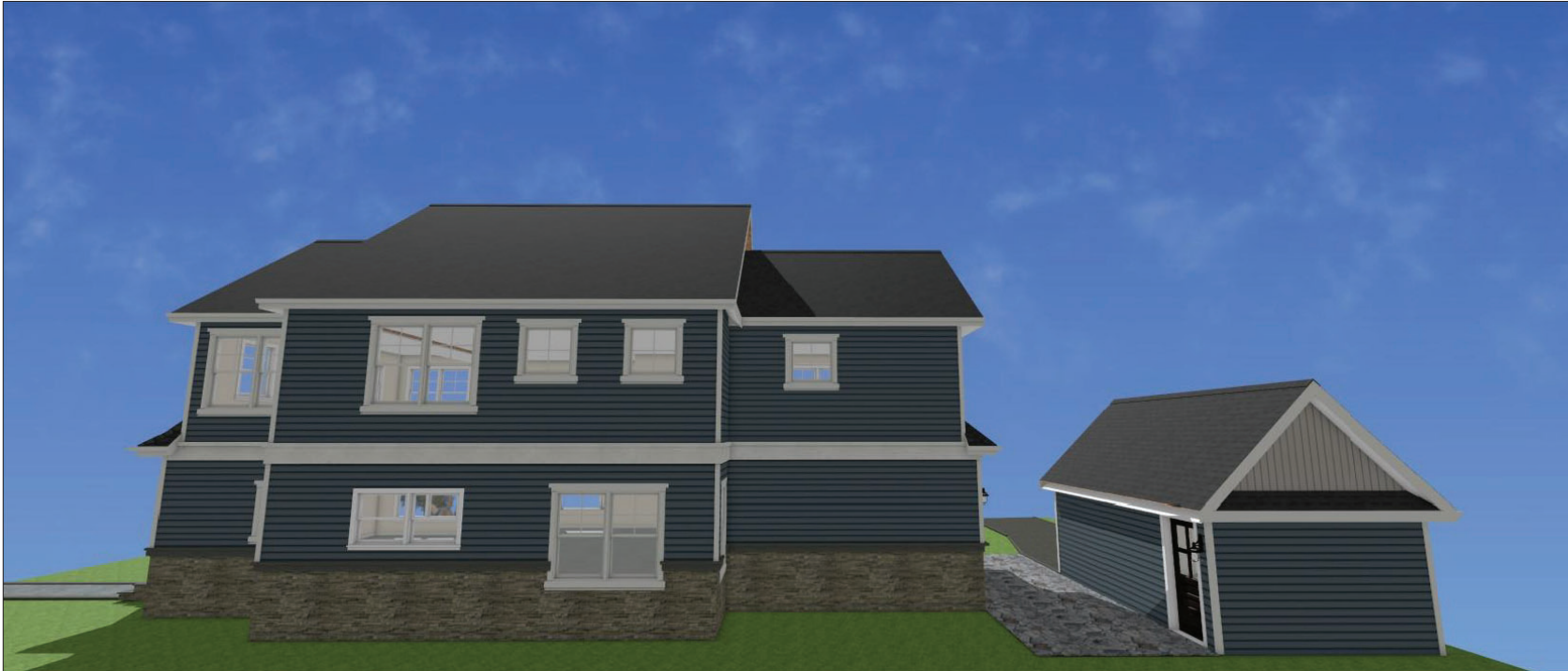
PROJECT NAME AND ADDRESS:
NEW HOUSE AND GARAGE FOR
145 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23 SHEET # 19 OF 22

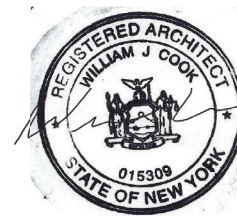
AS SPECIFIED ARB-19

1 NORTH ELEVATION 1
SCALE 1/8" = 1"





1 SOUTH ELEVATION
1/8" = 1'



NOTES:

REV 12/1/23	
REVISION/ISSUE	DATE

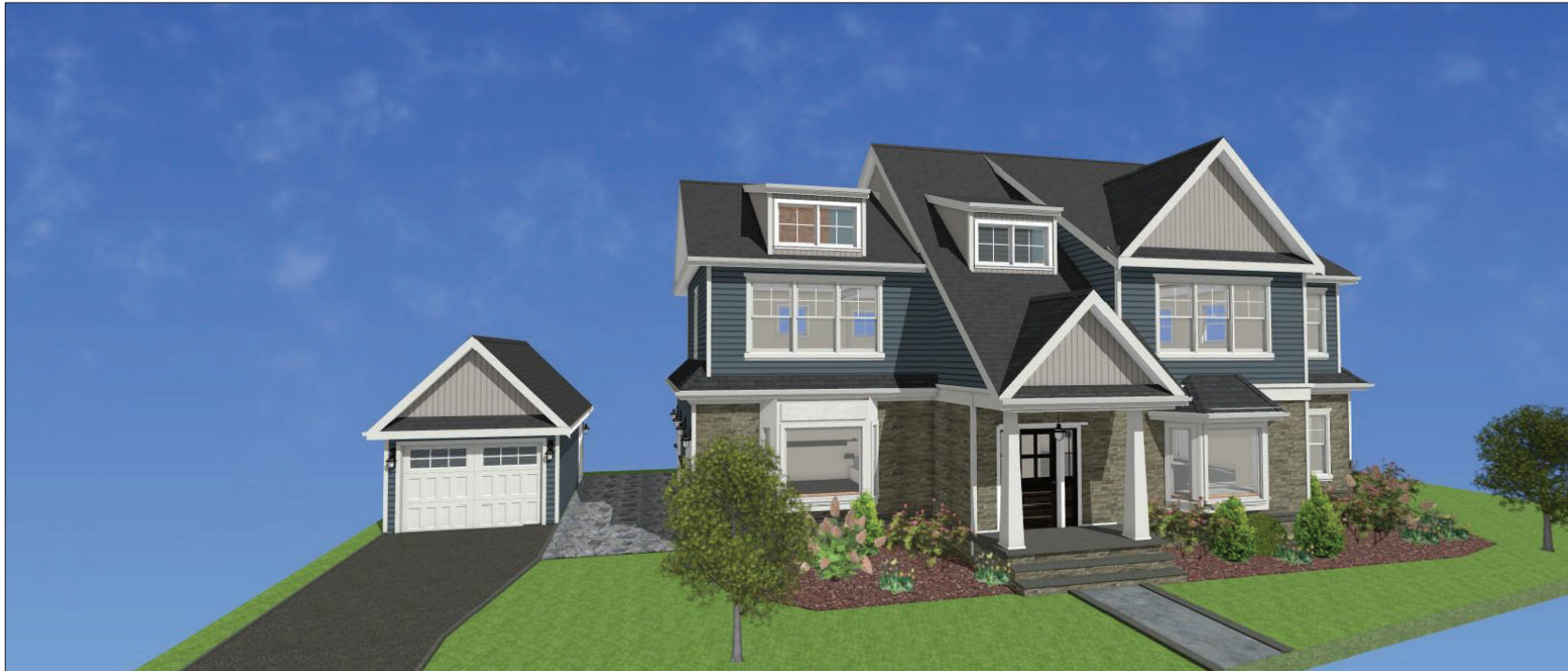
SHEET CONTENT:

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 435 MAPLE AVE.
 WESTBURY, NY, 11590
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DRAFTED BY: DVC

PROJECT NAME AND ADDRESS:
 NEW HOUSE AND GARAGE FOR
 145 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23	SHEET # 20 OF 22
AS SPECIFIED	ARB-20



1 NORTH ELEVATION 2
URS SCALE 1/8" = 1'

NOTES:

REV 12/1/23	
REVISION/ISSUE	DATE

SHEET CONTENT:

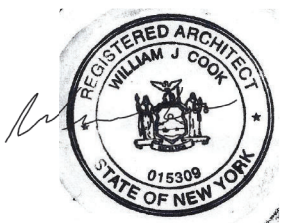
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PROJECT NAME AND ADDRESS:
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DATE 8/14/23 SHEET # 22 OF 22

AS SPECIFIED ARB-22





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1 WEST ELEVATION
REV-14 SCALE 1/8" = 1'



NOTES:

REV 12/1/23	
REVISION/ISSUE	DATE

SHEET CONTENT:

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PROJECT NAME AND ADDRESS:
 NEW HOUSE AND GARAGE FOR
 143 EMERSON AVE, FLORAL PARK NY

DATE 8/14/23 SHEET # 15 OF 20

AS SPECIFIED ARB-15

